What will be in the Concept Plan?

- The planning process
- Considerations for success
- Land use plan
- Service plan for water, stormwater and sewer
- Transportation plan
- Implementation strategies



Next Steps

- Team is working on the Draft Concept Plan
- Present Draft for Council Feedback
- Finalize Concept Plan

- Additional Documents that will be developed:
 - Metro Regional Framework Plan Memo
 - Draft Comprehensive Plan Amendment for Wilsonville
 - Draft Comprehensive Plan Amendment for Tualatin
 - Intergovernmental Agreements for a variety of topics



Thank You!

Further questions or comments: www.basaltcreek.com

Aquilla Hurd-Ravich, project manager ahurd-ravich@ci.tualatin.or.us
503-691-3028

Miranda Bateschell, project manager bateschell@ci.wilsonville.or.us
503-570-1581



NAME EMAIL OR ADDRES JERRY SHARROW SHARP MI Decker ERIC ROUSE JERRYSHARP @FRONTIERE. CE maggijd & concastino Crouser Summitteevelopment group, con Kelsey Lewis Kleurspei-tualatuorus Brent Beebe brent objected quail. KEVIN FORMSai OMAlley k Ferrasciomallege ga Kper 180 gmail. con Kristin akervallego Knotin Akenvall ROBERT KELLOGG robertekellogg oyahor. JACKIE ROO Jackie _ root Chopm



Den House

You are invited to a Basalt Creek Open House.

Come learn about the preferred land use plan, parks and open space, pedestrian, bike and transit networks. The project team will be available to answer questions.

We invite the public to attend an Open House:

Thursday, April 28, 2016 5:30-7:30 pm

> Juanita Pohl Center 8513 SW Tualatin Rd. Tualatin, Oregon



The Basalt Creek Concept Planning area is generally located between the southern edge of Tualatin and the northern boundary of Wilsonville. Because concept planning is a joint effort between Tualatin and Wilsonville, the Cities maintain an independent website for the project at www.basaltcreek.com.



City of Tualatin's project contact is **Aquilla Hurd-Ravich**, Planning Manager, 503.691.3028.

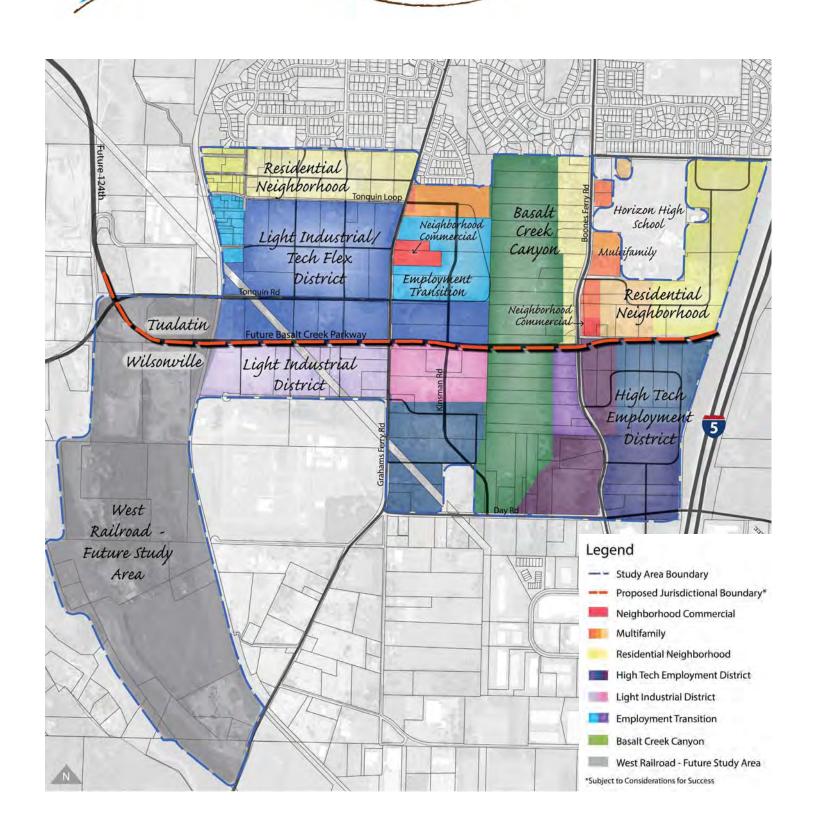
City of Wilsonville's project contact is **Miranda Bateschell**,

Long-Range Planning Manager, 503.570.1581.



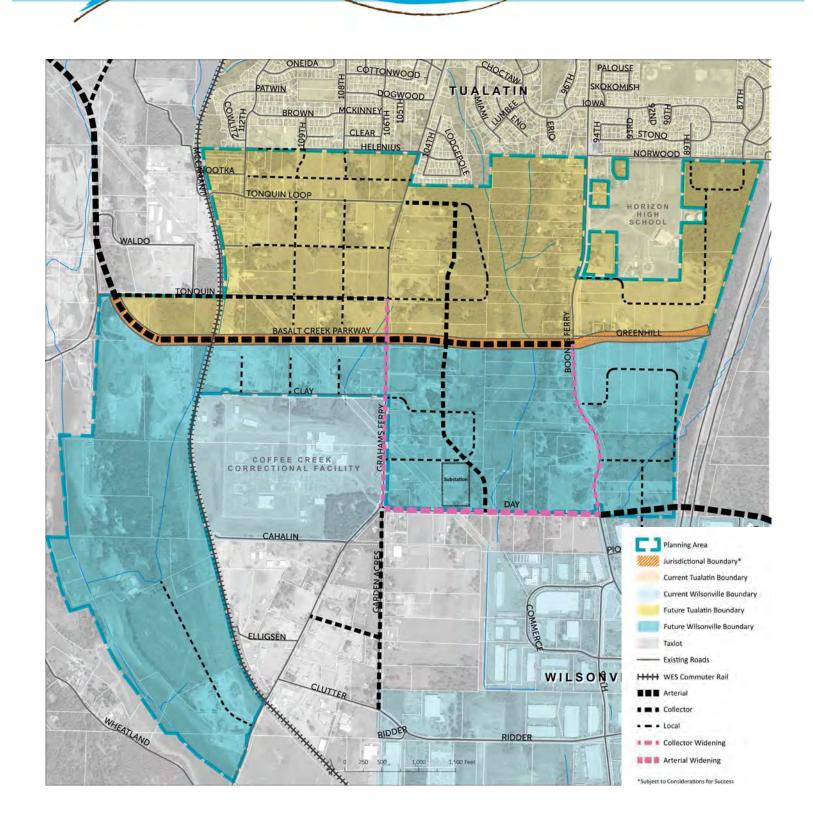


THE LAND USE CONCEPT

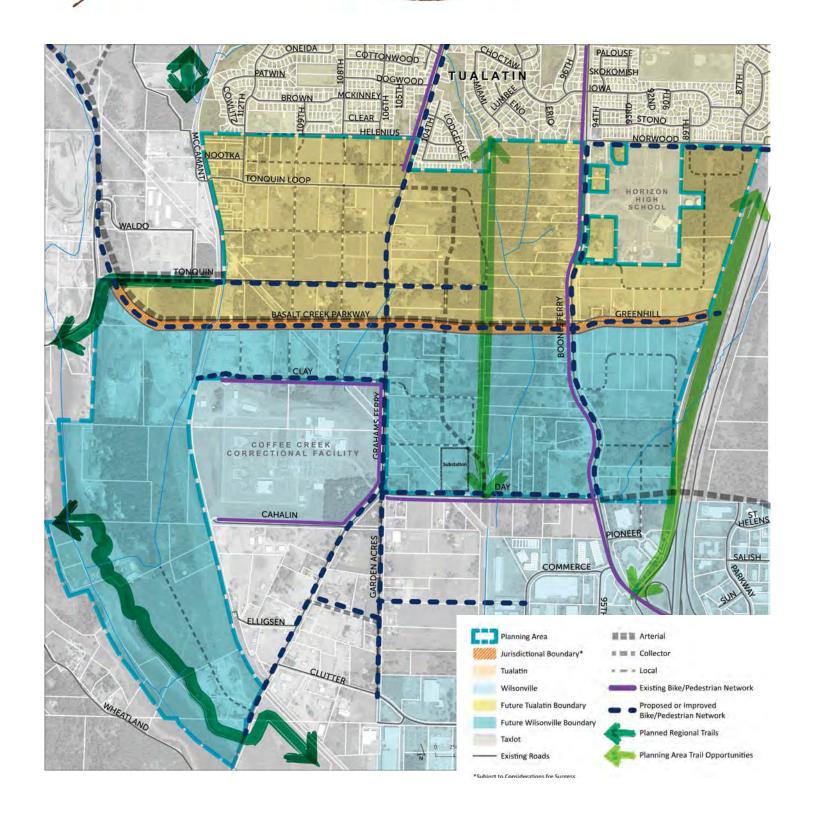




THE ROAD NETWORK CONCEPT

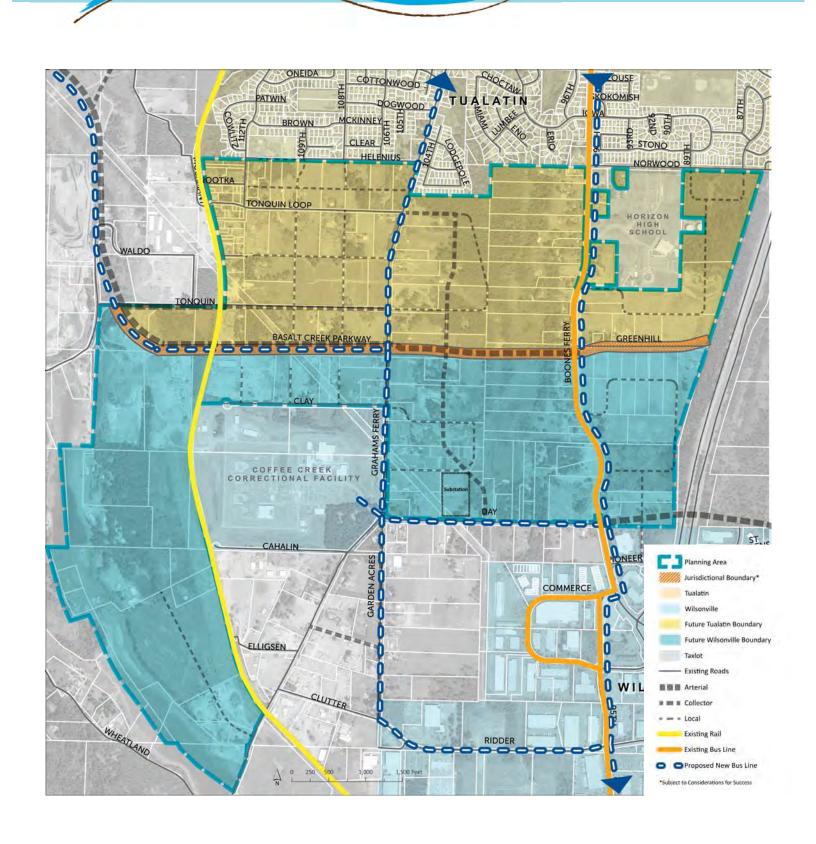


Basalt Creek PEDESTRIAN & TRAIL CONCEPT Plan NETWORK



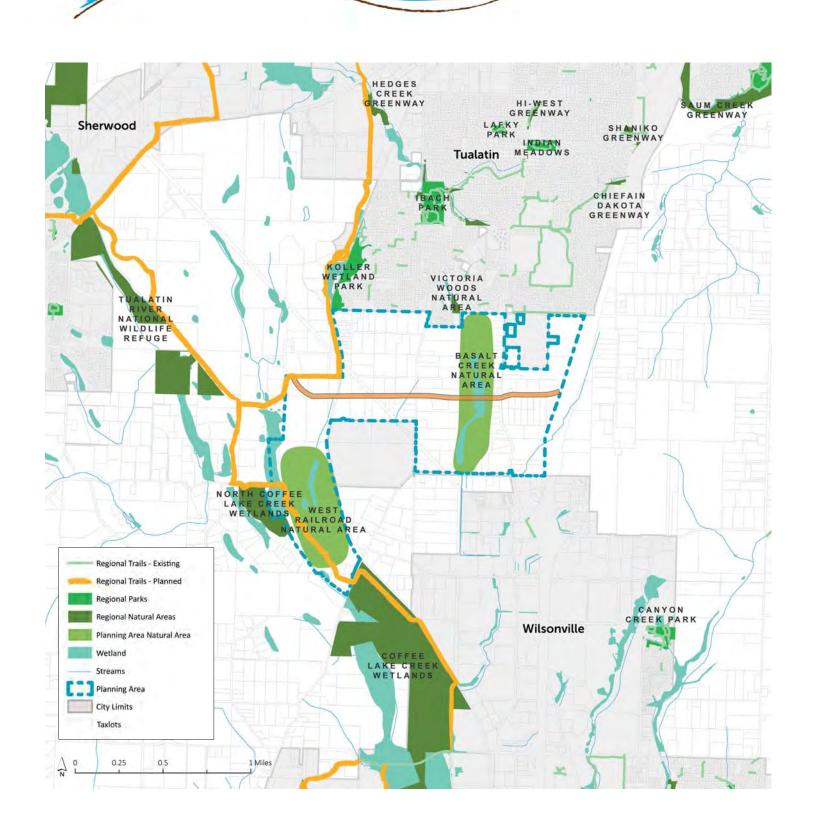
Basalt Creek concept Plan

CONCEPTUAL TRANSIT NETWORK



Basalt Creek concept Plan

EXISTING REGIONAL PARKS & NATURAL AREAS





WHAT TYPES OF PARK FACILITIES & AMENITIES WOULD YOU LIKE TO SEE IN THE BASALT CREEK AREA?

PLACE A DOT STICKER BELOW THE FACILITY AND/OR AMENITY YOU PREFER!



NEIGHBORHOOD PARK 15-20 ACRES



POCKET PARKS < 1 ACRE



NATURE INTERPRETIVE **AREAS (E.G. CENTERS, KIOSKS, OVERLOOKS)**



CONSERVATION AREAS



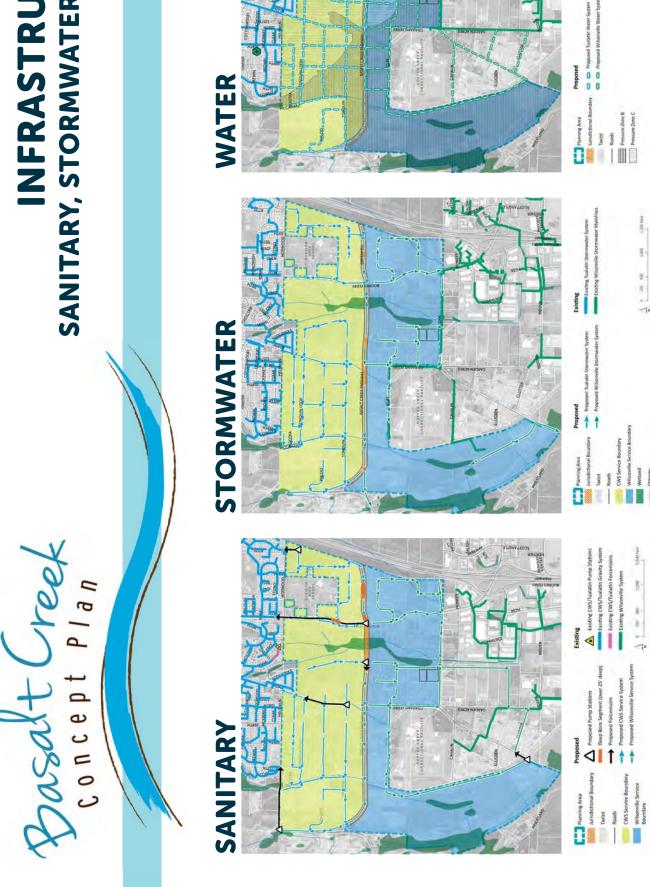
OUTDOOR EDUCATION



PUBLIC ART

Basalt Creek

INFRASTRUCTURE SANITARY, STORMWATER & WATER



Armstrong took a variety of dorf school, among other pursis on art — from the Universitheater and music. Over the after contemplating the piece plinmedia.com.

rated his career as a sculptor in decades, working as a holistic eventually earned a master's in turns, from acrylic and oil paint- at the edge of the canvas that Contact Jake Durimun at 300 000 the process. healer and instructor at a Wal-humanities — with an empha-ing to leatherwork, sculpture, helps to "frame" the work, and 1281 ext. 113 or jbartman@pam-ing to leatherwork, sculpture, helps to "frame" the work, and 1281 ext. 113 or jbartman@pam-ing to leatherwork, sculpture, helps to "frame" the work, and 1281 ext. 113 or jbartman@pam-ing to leatherwork, sculpture, helps to "frame" the work, and 1281 ext. 113 or jbartman@pam-ing to leatherwork, sculpture, helps to "frame" the work, and 1281 ext. 113 or jbartman@pam-ing to leatherwork, sculpture, helps to "frame" the work, and 1281 ext. 113 or jbartman@pam-ing to leatherwork, sculpture, helps to "frame" the work, and 1281 ext. 113 or jbartman@pam-ing to leatherwork, sculpture, helps to "frame" the work, and 1281 ext. 113 or jbartman@pam-ing to leatherwork, sculpture, helps to "frame" the work, and 1281 ext. 113 or jbartman@pam-ing to leatherwork, sculpture, helps to "frame" the work, and 1281 ext. 113 or jbartman@pam-ing to leatherwork, sculpture, helps to "frame" the work, and 1281 ext. 113 or jbartman@pam-ing to leatherwork, and 1281 ext. 113 or jbar

Open house scheduled for Basalt Creek project

By MARK MILLER Pamplin Media Group

Residents and others curious about the Basalt Creek Concept Plan project will be able to learn more at an open house meeting later this month.

There will be information about the preferred land use plan, transportation networks, and parks and open spaces, among other topics of interest.

Basalt Creek is an area in between Tualatin to the north and Wilsonville to the south. It is included within the urban growth boundary, and both cities have expressed interest in annexing and developing land there - Tualatin mostly for residential use and Wilsonville mostly for industrial use.

After a lengthy process, the cities agreed late last year on a future jurisdictional boundary that will run along Basalt Creek Parkway, an east-west route to be constructed

through the Basalt Creek area. The parkway will meet up with Southwest Grahams Ferry Road in the east, with plans calling for it to be gradually extended out to Southwest Boones Ferry Road and eventually Interstate 5.

Basalt Creek is at the center of a major road project getting underway this spring, which will extend Southwest 124th Avenue south from where it intersects Southwest Tualatin-Sherwood Road in west Tualatin, expand Southwest Tonquin and Grahams Ferry roads, and construct the first phase of Basalt Creek Parkway. A new water line will also be built. That project is expected to conclude

One important consideration in Basalt Creek land use planning is the canyon that runs roughly north to south through part of the area. The canyon is considered environmentally sensitive, and a bridge will likely have to be built over it in or-

der to extend Basalt Creek Parkway east to Boones Ferry

Also undecided is how the area will be served by transit. At a joint meeting between the Tualatin and Wilsonville city councils, the idea of dividing the area by jurisdiction between TriMet and South Metro Area Regional Transit bus service was discussed, as was the idea of having SMART serve the entire area.

"I think what came out of that meeting is this is an issue we need to make sure we work through," said Aquilla Hurd-Ravich, a Tualatin city planner involved with the project.

Hurd-Ravich said some new information will be presented at the open house about possible bicycle and pedestrian routes and amenities, including trails and parks.

Although the open house is in Tualatin, Wilsonville's planning staff will also be represented, she said.



WHAT: Basalt Creek open house WHEN: April 28, 5:30-7:30 p.m. WHERE: Juanita Pohl Center, 8513 S.W. Tualatin Rd.

The Basalt Creek area in Wilsonville contains numerous rural parcels.

SPOKESMAN PHOTO:



One decision...so many benefits.

Business owners face many difficult decisions, but there's one that can simplify your banking needs. Look to TwinStar Credit Union for lower fees, dividend earning checking accounts, money saving office efficiency tools and a true service approach.

> Ask TwinStar business expert lake Hartough 503 783 7313



MEMORANDUM

TO: BASALT CREEK PROJECT MANAGEMENT TEAM (PMT)

FROM: LEILA AMAN, FREGONESE ASSOCIATES

SUBJECT: APPROACH FOR JUNE 17TH BASALT CREEK PUBLIC WORKSHOP

DATE: JUNE 12TH, 2014

The purpose of this memo is to outline proposed activities and presentation content for the June 17th Basalt Creek Concept Plan public workshop in order to solicit feedback from the PMT. Content includes:

- I. Workshop Agenda
- II. Detailed Workshop Agenda
- III. Facilitator and Note-Taker Roles

I. Workshop Agenda

The June 17th Workshop will last for 2.5 hours, and will consist of the following activities (with expected duration noted):

Goals and Objectives

- 1. Orient stakeholders to project tell the story of the Basalt Creek Area and describe the planning framework
 - a. Role of participants
 - b. Constraints on different land uses
 - c. Planning boundaries and assumptions
- Engage the public in a dynamic dialogue about planning for the Basalt Creek Area
- 3. Understand the individuals' goals and desires for the area so they can be incorporated into the planning process and communicated to elected officials
- 4. Increase future participation by the public in the Basalt Creek planning process

Schedule

5:45 – 6:10 *Welcome/sign-in* [25 min]

6:10 – 6:15 *Introductions* [5 min]

6:15 - 6:35 Background presentation [20 min]

6:35 – 7:00 Instant polling [25 min]

7:00 - 8:00 *Mapping Exercise* [60 min]

8:00 – 8:30 Wrap-up/Questions & Comments [20 min]

II. Detailed Workshop Agenda

Set-up [5:00 – 5:45] (All)

- Set up sign-in table with agendas, nametags, pens, sign-in sheets, comment cards, and "where do you live/work/own property" map for people to put stickers on (Erica + 1)
- Arrange and distribute materials to tables. Each table will be set-up with instant polling devices and map exercise materials for up to 10 participants (Erica +1)
- Set out refreshments (PMT)
- Set up and test projector/PowerPoint presentation (FA) (Leila)
- Post directional signage to help participants find the site / room (PMT)
- Facilitator and note-taker briefing 5:15 5:30 (John and all facilitators/note takers)

Welcome/Sign-in [5:45 – 6:10] – any volunteers to staff the sign-in table? Having 2 people on hand would be great.

- Upon arrival, participants will be asked to sign in and wear a nametag
- We will have a map for people to put a dot on where they live/ work?
- Participants will be asked to select a seat so as to have at least six people per table (rather than spreading out and leaving groups of 2-3 at each table)
- Encourage sitting with some "new" friends.
- Refreshments will be available for attendees to serve themselves and bring to their table (provided by the PMT)

Introductions [6:10 - 6:15]

Introductions of consultant team and public agency staff (John)

Background Presentation [6:15 – 6:35] (John)

- Presentation will be brief and straightforward, using minimal text with supporting graphics to tell the story of the Basalt Creek area and objectives of the planning process (including project timeline, public involvement plan, planning context, and existing conditions).
- Opportunities for public involvement will be highlighted
- Outline assumptions that are "set" and issues that are up for discussion/the focus of this
 process. It will be important for attendees to hear that this workshop is not revisiting the E-W
 connector alignment, the UGB boundary, whether the area will urbanize over time etc.
- Present guiding principles. We are asking workshop participants to help solve a problem (as
 defined by our councils)

Instant Polling [6:35 – 6:55] (John)

- At end of presentation, PowerPoint slides will transition into instructions for instant polling
- Set of approximately 20 multiple choice questions will ask stakeholders to rank project priorities (sourced from Guiding Principles)
- Questions and responses are integrated into the PowerPoint using TurningPoint software

- Polling results are collected using clickers remote devices that send instant polling results to the computer of the presenter
- Tallied results will be displayed immediately on the screen
- The general flow of questions will be as such:
 - o Icebreaker questions
 - o Demographic questions
 - o General questions about types of housing and employment desirable in area
 - o Questions to measure level of agreement with Guiding Principles

Map Exercise [6:55 – 7:55] (John, Facilitators and Note-takers)

At the conclusion of instant polling, slides will be presented explaining the map exercise, including the exercise goals, parameters, limits and expectations for the area. Table-sized maps of the planning area will function as mechanisms for workshop participants to communicate their ideas about what kind of changes they would like to see occur. At least one facilitator and one note-taker (project team staff) will be present at each table.

Materials

At each table, there will be:

- Table number (1x6)
- Map Exercise Instructions for each participant (10x6)
- A map "atlas" for with reference maps of the area containing contextual information. (3x6) These maps will include:
 - o Development Context
 - o Transportation
 - Trails, Natural Areas and Open Space
- One table-sized basemap of the planning area, including alignment of future roadways based on the Basalt Creek TRP (1x6)
- Markers and pens (several per table)
- Development chip sets (3x6)
- Scissors and glue (a few per table)

Map Exercise Description

This workshop will use large, table-sized maps that accurately represent the current physical features of the Basalt Creek Planning Area. The maps are the mechanism for stakeholders to communicate their ideas in the context of existing constraints and project commitments. While discussing goals for the area among small groups, participants may write, label, draw, sketch, and stick any ideas on the map or in the margins.

The following steps are guidelines to make sure groups have enough time to communicate ideas to the project team. Groups may spend more or less time on a task if needed; the facilitator and note-taker at the table will help pace the activity and keep track of time.

Step 1: Introductions (5 min)

In small groups of 6-10, individuals will have the opportunity to introduce themselves and share with the group what he or she hopes to accomplish with this exercise.

Step 2: Familiarize with the materials (5 min)

Base map, pens, reference maps and development chips.

Step 3: Identify the group's goals for the workshop map (15 min)

Goals can include anything that has to do with land use, employment, recreation, development, housing and transportation in the Basalt Creek area. Facilitators will help groups to understand which types of goals might be more salient than others, and to consider that suggestions for all-or-nothing-style approaches should be tempered with an appreciation of political realities. Groups might spend ten minutes talking and five minutes writing its goals on the map. Not everyone has to agree, but establishing common ground among group members can be encouraged by the facilitator.

Step 4: Place development chips on the map (15 min)

Groups may use the next fifteen minutes or so to place development chips on the map representing group members' desires for the Basalt Creek area. People should feel free to write questions or comments on the map as needed to clarify the concepts they are illustrating and the locations they pertain to.

Step 5: Draw in transportation infrastructure beyond the BCTRP- transit, local connector roads, trails, and bike lanes (10 min)

This can be done simultaneously with chip placement. Markers provided at the tables can be used by participants to draw in different types of transportation infrastructure, services and connections. People should feel free to write questions or comments on the map as needed to clarify the concepts they are illustrating and the locations they pertain to.

Step 6: Report Out (20 min)

Groups may spend a few minutes choosing a group member to present the map to the larger group. Presenters will spend five minutes in front of the larger group presenting their group's map. They will describe their group's main goals for the exercise, and briefly describe the strategy and resulting chip placement (and/or drawings) used to illustrate how those goals might be achieved in the Basalt Creek area.

Workshop Wrap-Up [7:55 - 8:15]

Concluding Comments (John)

Staff from the project team may give a brief summary of some of the major themes and concepts identified by groups through the map exercise. Next steps and opportunities for engagement will be presented. Participants will be encouraged to approach project team staff with questions or comments about the project. Maps will be collected, and the instant polling session file will be saved to a jump drive for later analysis.

Break-Down (All)

- Make sure all maps are labeled by table/group number before they are collected
- Collect sign-in sheet and any participant contact information provided
- Make sure to save TurningPoint session before closing PowerPoint presentation. Save back-up of TurningPoint session in second location.

III. Facilitator and Note-Taker Roles

Facilitator Role

Project team staff will act as neutral facilitators (one per table) for the small group map exercise in the second portion of the workshop. They will help familiarize participants with the materials and the process, answer questions, assist in resolving conflicts, and guide the group toward completing the tasks within the allotted time. Facilitator responsibilities may include:

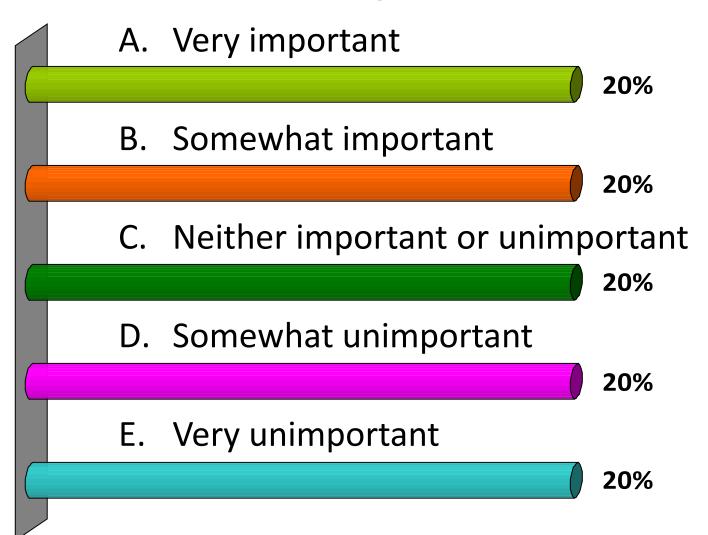
- Acting as a "scribe" for the group. The facilitator, along with the note-taker, may serve as
 a graphic hand, helping to make sure comments get recorded—especially those of
 quieter group members, or if groups are hesitant to mark up the map. Others in the
 group can and should draw and write on the map as well.
- Factual clarification. Facilitators may provide technical information as well as background information about different planning concepts. This may help the group to move through the tasks at hand, rather than spending time debating technical questions. The primary job of the facilitator will be to make sure the group is focusing on the difficult question of what is appropriate for the area over the long term.
- Moving the discussion along. With 6 to 10 people around a table, and a limited amount
 of time, it can be difficult to reach consensus. The facilitator will keep things rolling along
 when conversation gets bogged down.
- *Mediation*. The facilitator will work to ensure that side conversations or personality conflicts do not detract from the group's ability to focus on the task at hand.
- *Timekeeper*. The facilitator will track the time and make sure that the group stays on schedule

Note-Taker Role

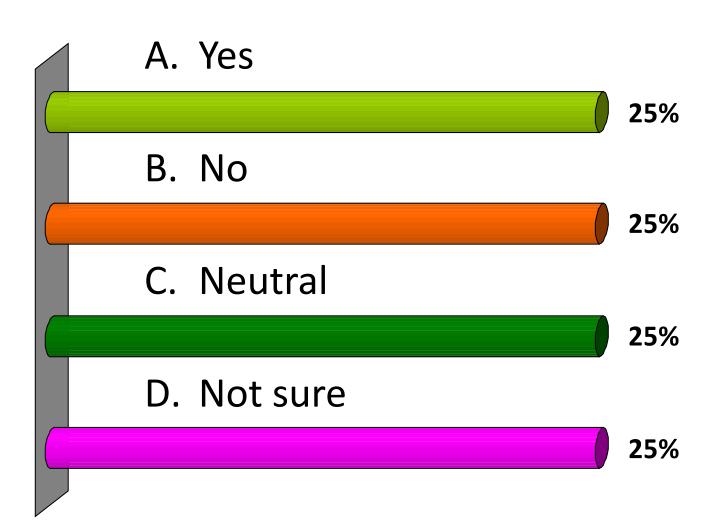
- Capture overarching themes and patterns of spoken comments on a large easel so group members can track the direction of the conversation throughout the exercise
- Record unique or novel comments and observations
- Note the extent to which particular concepts are supported or challenged by group members (both quantitatively and qualitatively)
- Ask for participants to repeat or clarify statements, when necessary, to accurately capture their sentiments

Some questions about your priorities for Basalt Creek.

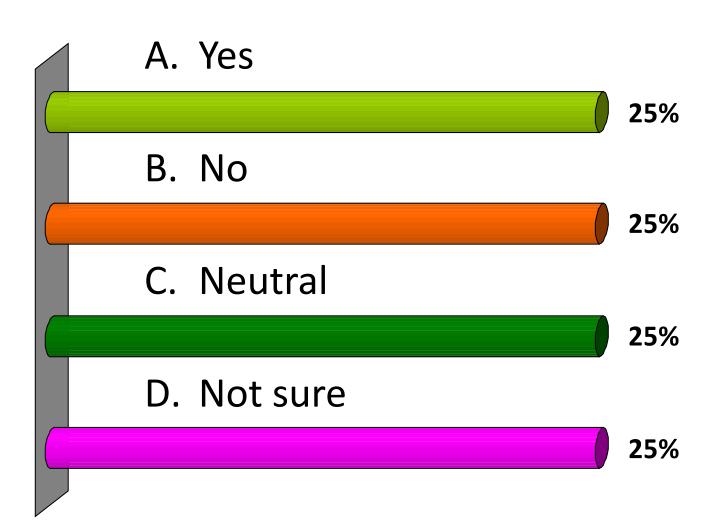
How important is it to have retail services in Basalt Creek to support existing and future neighborhoods?



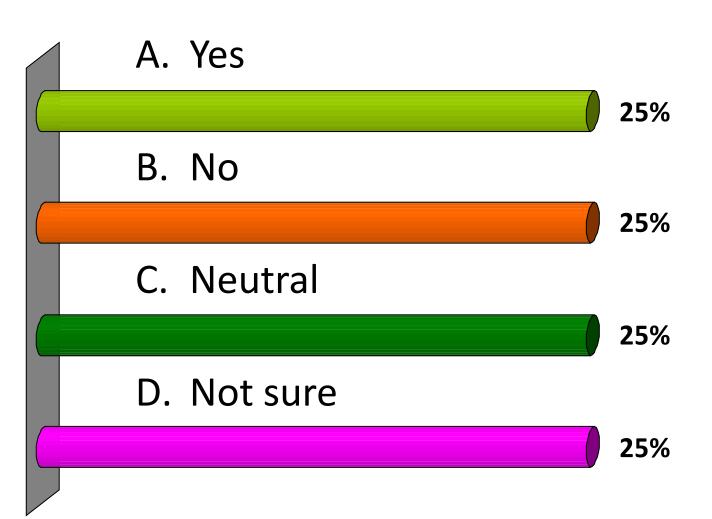
Is the following appropriate for Basalt Creek? Big Box retail (large-scale/auto-oriented)



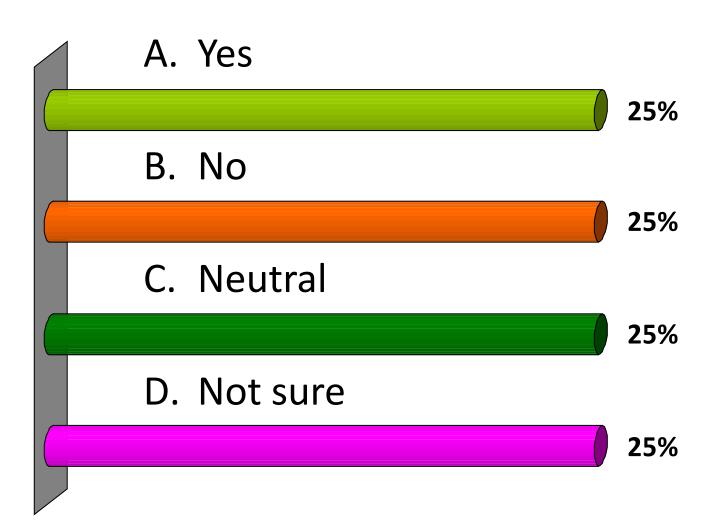
Is the following appropriate for Basalt Creek? Strip Retail (smaller scale/auto-oriented)



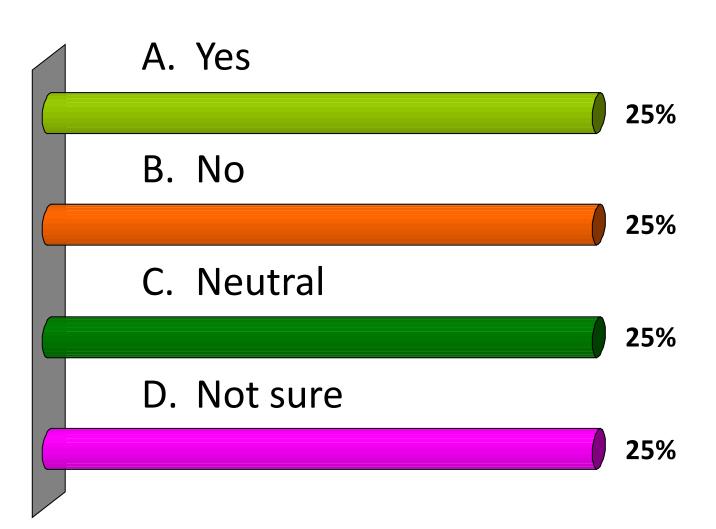
Is the following appropriate for Basalt Creek? Neighborhood Retail (small-scale/oriented to pedestrians, transit and cars)



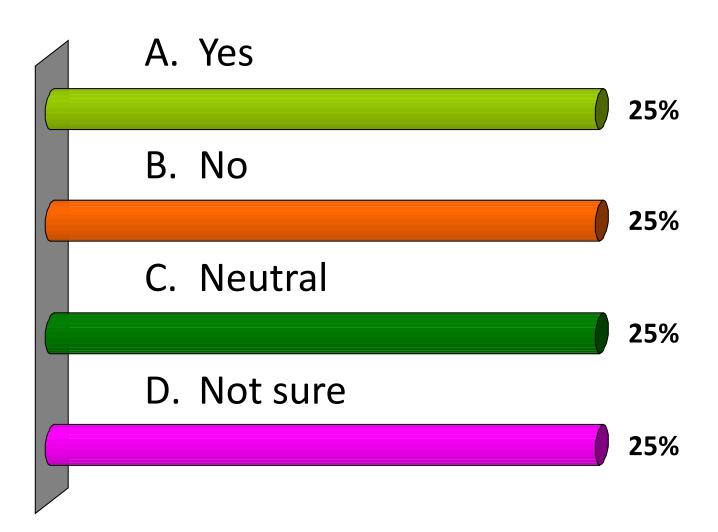
Is the following appropriate for Basalt Creek? Corner/convenience retail (single-use corner store)



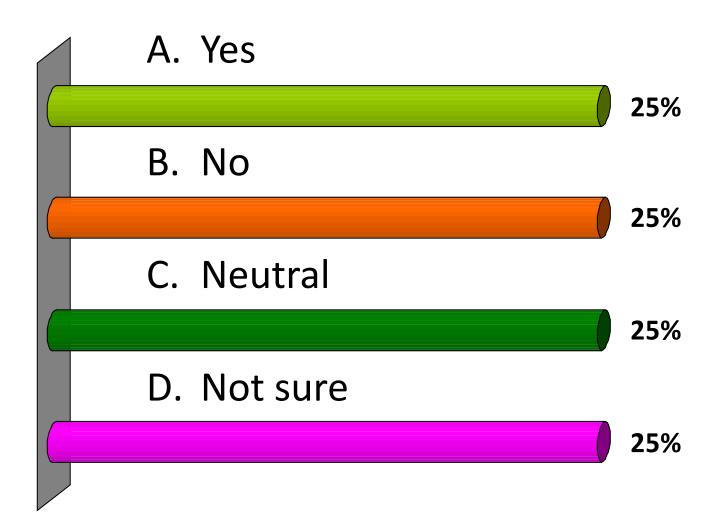
Is the following appropriate for Basalt Creek? Retail internally oriented to employees on a campus



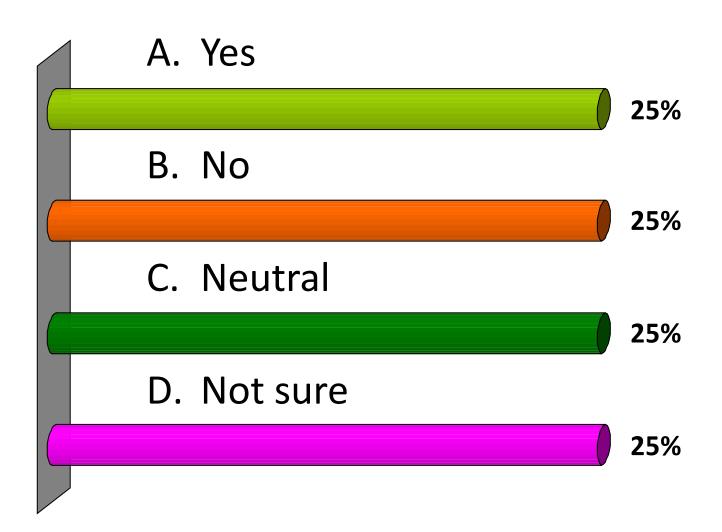
Supermarket



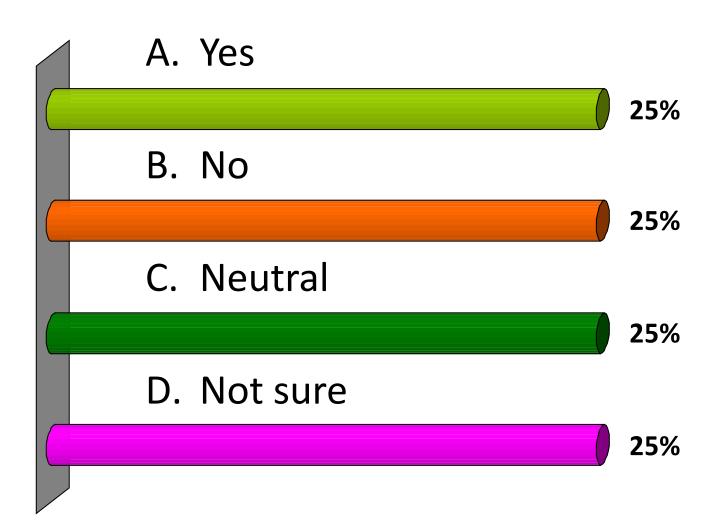
Restaurants



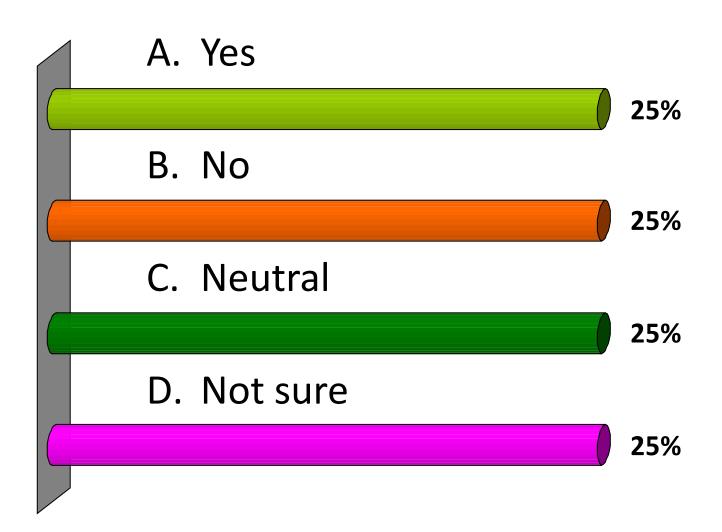
Medical Services



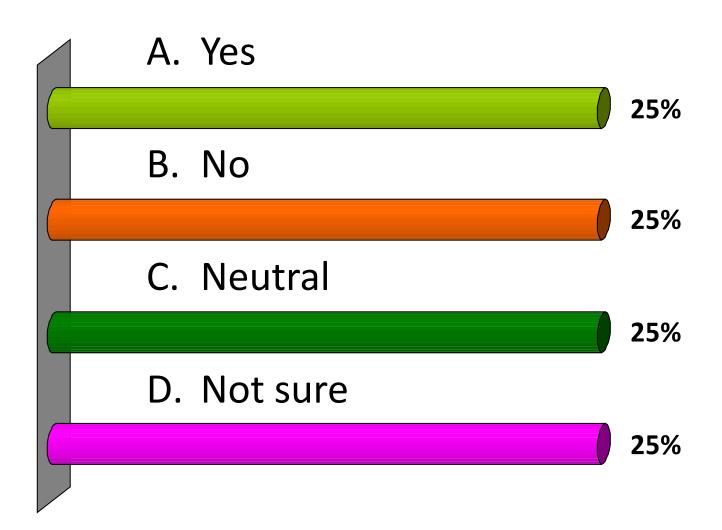
Builder's Supplies and Services



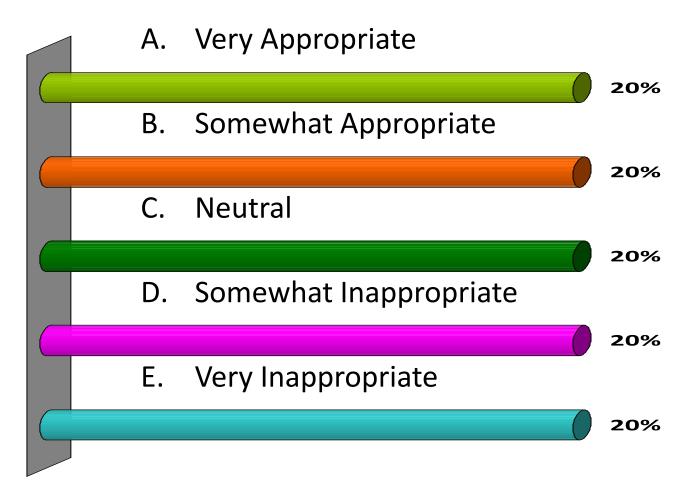
Farm Stands



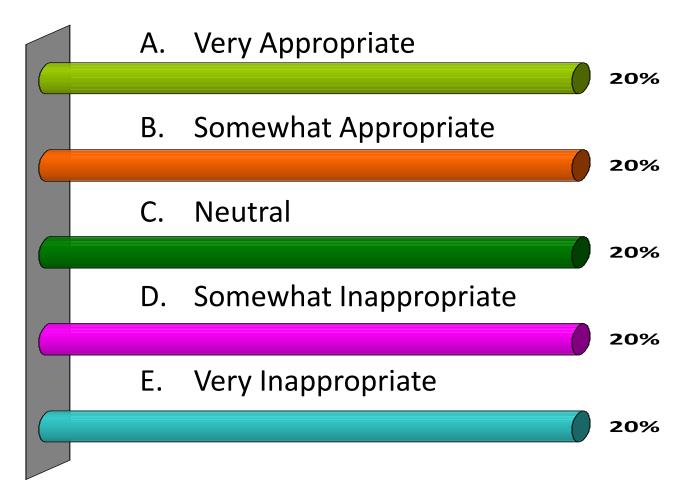
Coffee Shops



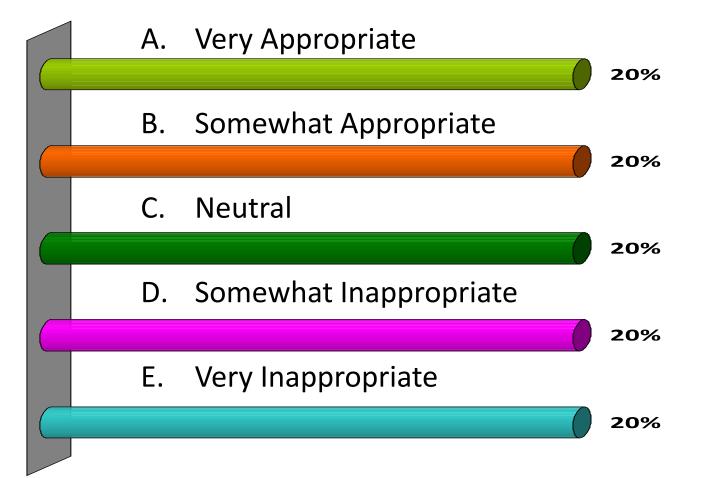
How appropriate is the following type of employment for this area? Office



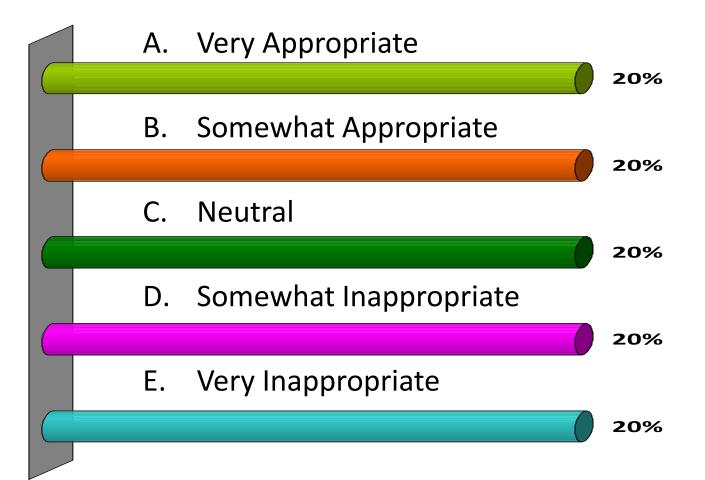
How appropriate is the following type of employment for this area? Warehousing



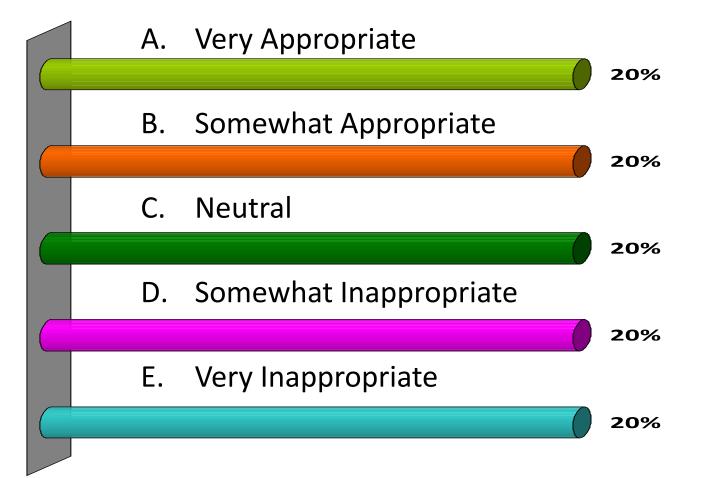
How appropriate is the following type of employment for this area? Light Manufacturing



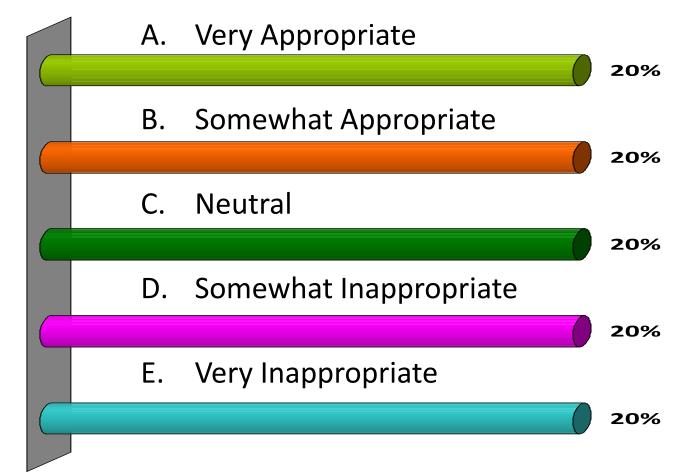
How appropriate is the following type of employment for this area? Industrial Flex Space



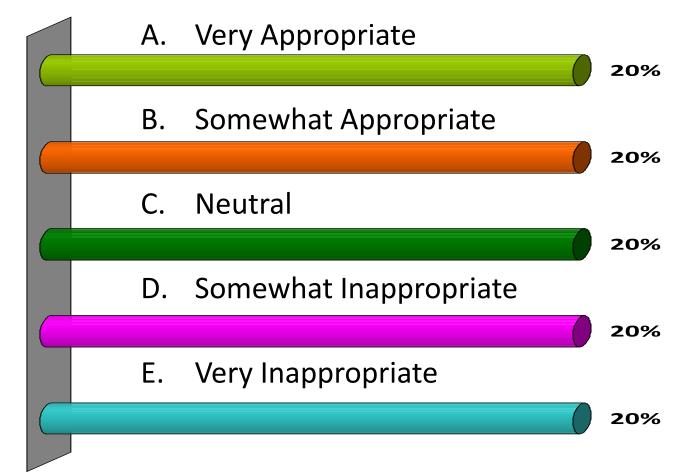
How appropriate is the following type of employment for this area? Small-Scale Retail



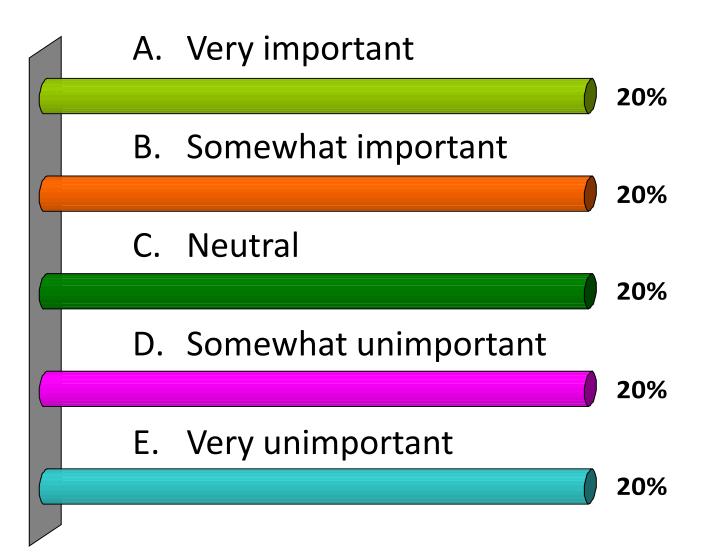
How appropriate is the following type of employment for this area? A mix of all



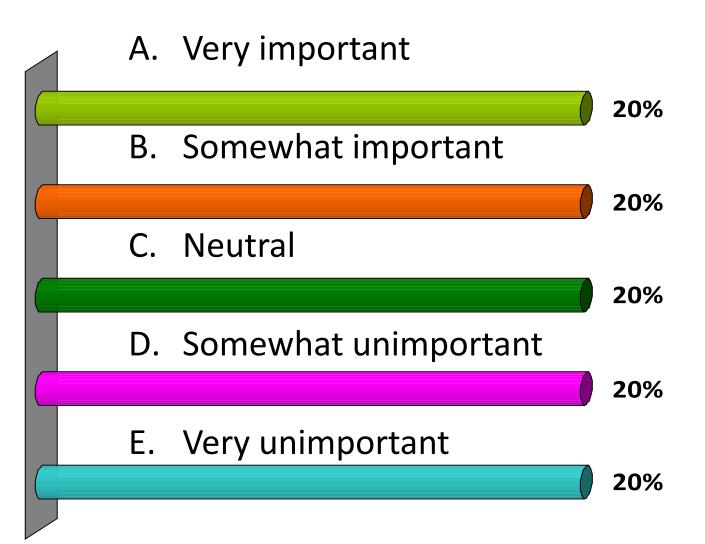
How appropriate is the following type of employment for this area? Other



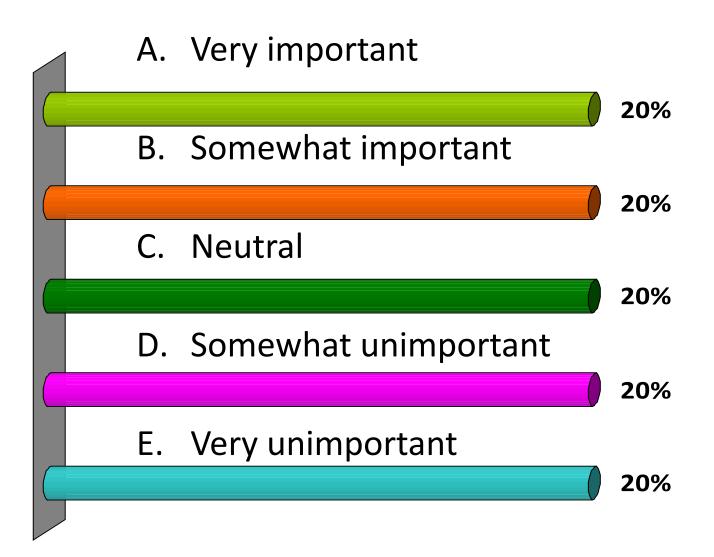
How important is protection of natural resources in Basalt Creek?



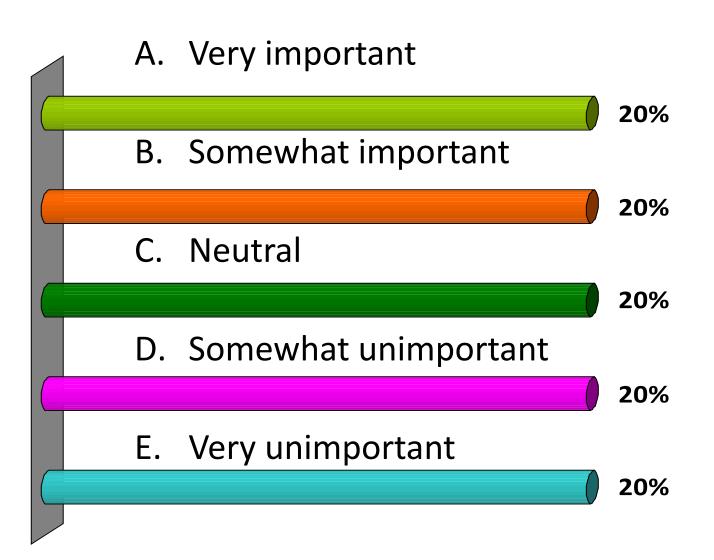
How important is protection of/ access to historic resources in Basalt Creek?



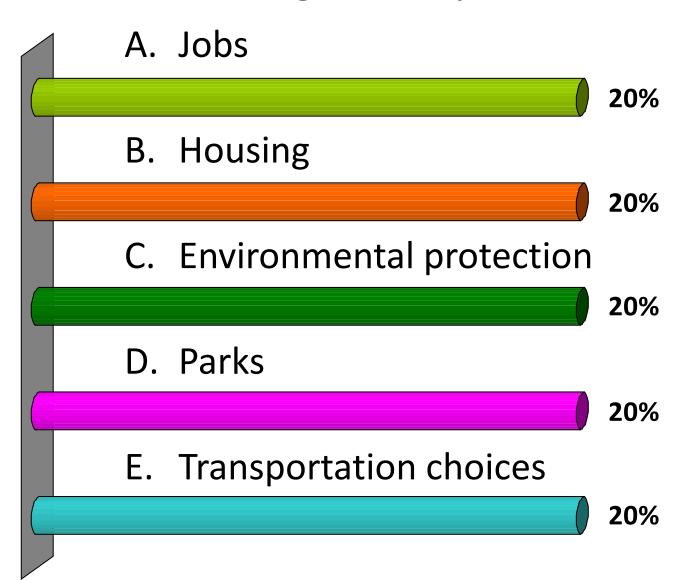
How important is it that the public have access to Coffee Lake and Basalt Creek?



How important are parks for the Basalt Creek Concept Plan?



How important is it to emphasize the following in this plan (rank 1-5)?



Map Exercise

Game pieces/Development Chips

Mixed Use



SUR CALL TO BEE TOWN

SUR CALL TO BE BEE TOWN

SUR CALL TO BEE TOWN

SUR CALL TOWN

SUR CALL TO BEE TOWN

SUR CALL TOWN

SUR

Residential

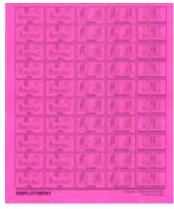
Commercial





Civic

Employment





Open Space

Housing over retail









Housing over retail







Office over retail









Employment Types

Office







Employment Types



Light industrial and flex space







Employment Types





Warehousing



Commercial

Restaurants





Commercial

Cafes, retail shops and grocery stores







Small Lot Single Family











Large Lot Single Family







Cottage Homes













Apartments and Condos, and Assisted Living











Civic

Libraries, parking, community centers









Civic

Senior Centers, Traffic calming





Open Space

Pedestrian and bicycle paths, trails, parks









Open Space

menades, playgrounds









BASALT CREEK CONCEPT PLAN

Attachment 9: <u>Boones Ferry Messenger</u>

File path:

https://www.ci.wilsonville.or.us/sites/default/files/fileattachments/planning/page/84121/c. bc_record_attachment.09. boones_ferry_messenger.pdf



BASALT CREEK CONCEPT PLAN

Attachment 9: Boones Ferry Messenger

SMART Transit Seeks Public Input to Guide New Initiatives

Tew state funding sources are creating an opportunity for Wilsonville's South Metro Area Regional Transit (SMART), to pursue additional and/or enhanced public transportation services.

Throughout June, SMART is seeking input from community stakeholders to help the agency prioritize future initiatives being considered, including:

- Adding new destinations such as Woodburn, Hillsboro, Oregon City and/or downtown Portland
- Eliminating fares on out-of-town destinations
- Converting bus fleet to alternative fuels electric and CNG
- Developing new SMART programs (vanpool, bikeshare, coordinated medical shuttles)
- Increasing current weekday service hours
- Increasing current weekend service hours
- Increasing frequency of current bus routes (i.e. less wait time between buses)

Visit www.ridesmart.com/surveyTMPupdate and

complete a very brief survey by June 30 to help

Community input will be analyzed and incorporated into the Transit Programs Enhancement

SMART is seeking guide SMART's priorities. input from community stakeholders to help the agency prioritize future initiatives.

Strategy, an amendment to the 2017 Transit Master Plan that guides SMART planning and decision-making, and satisfies an eligibility requirement for funding.

Preliminary survey results and project details are being presented to the Planning Commission at a work session on June 13, 6 pm, at City Hall.

To learn more about SMART's Transit Master Plan, visit: www.ridesmart.com/tmp or contact Nicole Hendrix, Management Analyst, at 503-685-9095, hendrix@ridesmart.com.

TAKE THE SMART SURVEY www.ridesmart.com/surveyTMPupdate

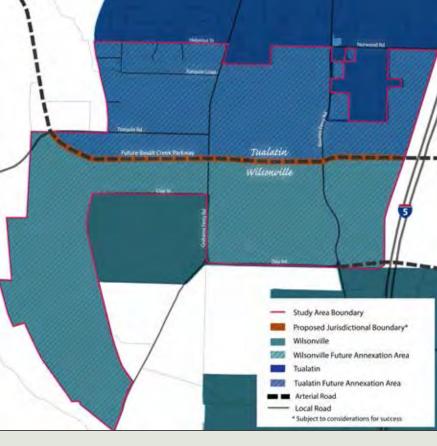
Wilsonville, Tualatin Resume Development of Vision for Basalt Creek Area

ualatin and Wilsonville are a L step closer to developing the Basalt Creek Concept Plan, which provides a vision for about 850 acres — generally located between the two cities — that is currently comprised of homes, rural industry, such as nurseries and farms, and beautiful natural areas.

Portland's regional government authority, Metro, recently approved the land-use designation for Basalt Creek's Central Subarea, determining that the subarea acreage remain designated for employment use. With a resolution in place, a project team from both cities is now developing the final draft concept plan.

The collaborative effort ensures that both cities are involved in creating a vision that appeals to members of both communities, provides adequate services, coordinates land use and transportation, and preserves the area's natural resources.

The planning team is seeking adoption of the concept plan by both city councils this August. In Wilsonville, the Planning Commission is reviewing the Basalt Creek Concept Plan at a work session on June 13, 6 pm, at City Hall. A City Council work session is scheduled for June 18, 5 pm, at City Hall.



Adoption hearings are scheduled for July 11 with the Planning Commission and August 6 with City

To learn more about the project or to sign up for project updates, visit www.BasaltCreek.com.

Visitor Surveys to Begin This Month at Several Summer Event Locations

Wilsonville Parks & Recreation is undertaking visitor surveying as part of the "Explore Wilsonville" tourism-development program.

In-person surveys are being conducted during the Festival of Arts, June 2-3, and occur throughout the summer at other events and locations in and near Wilsonville. More surveying is set for winter of 2019.

Survey results inform planning for future programs designed to enhance visitor experiences.

For more information, contact Brian Stevenson, Recreation Program Manager, at 503-570-1523; stevenson@ci.wilsonville.or.us.



29799 SW Town Center Loop E. (mail) 28879 SW Boberg Road (office) 503-682-7790

smart@ridesmart.com www.RideSMART.com

Free Minor Bike Repair June 2

MART hosts a transportation information booth at the Wilsonville Festival of Arts and provides free Art Tours by trolley at the top of each hour (noon-4 pm) on Saturday, June 2. Get a free bike check, courtesy of Performance Bicycle of Tualatin (10 am-4 pm); first-come, first-served Pull that bike out of storage, and we'll see you at Town Center Park.



Charbonneau Shopper Shuttle



Iffective June 21 a **L**new SMART shuttle service begins in Charbonneau.

Service is provided from Charbonneau Country Club, Spring Ridge and French Prairie at Louvonne to Fred Meyer and Safewayarea shopping centers. Service begins at 9 am and continues until the last drop off at 5 pm. For more details, visit www. ridesmart.com

Walk SMART Each Wednesday

oin Walk SMART at noon each Wednesday in June at various locations. Walks begin promptly at 12 pm, rain or shine.

Meet new friends and do some lunchtime networking. Bring your WALKSMART walking shoes to work with you.



Visit www.ridesmart.com/ walksmart for a full summer calendar of walking meeting locations.

Date	Meeting Location
June 6	Next Level Chiropractic
June 13	Theraputic Associates
June 20	American Family Kyle Bunch
June 27	FLIR main doors

June Proud Partners









Expanded Mid-Day Service to Canby Begins June 21

Canby 3X Express Service

Tn partnership with Canby CAT service, SMART is Lexpanding Canby 3X service with four additional mid-day trips. New service begins June 21.

> El servicio entre semana del Canby Transit Center a la estación de Wilsonville ha sido expandido.

> > Service **Begins** June 21

Weekday service from Canby Transit Center to Wilsonville Station has been expanded. Canby 3X-Express Service										
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April 2016 City of Wilsonville The Boones Ferry Messenger – **7**

Five-Year Forecast Looks at the City's Operating Accounts

Tn February, the Budget Committee heard a report **▲** from the City's Finance Director regarding the fiveyear financial forecast for the City's nine main operat-

Budget Committee Meetings • Weds, May 18, 6 - 10 pm • Weds, June 1, 6 - 10 pm • Weds, June 8, 6 - 10 pm City Hall, 29799 SW Town Center Loop East

ing funds. These funds include: the General Fund, Community Development, Building, Transit, Water Operating, Sewer Operating, Storm-

water, Street Lighting and the Road Operating Fund. In general, the City's operating funds are in a strong position and are maintaining healthy financial reserves. The presentation to the Budget Committee in

February however, identified particular challenges and opportunities for the City's General Fund, the Transit Fund and the Community Development Fund. These three funds may have to rely on reserves in the future to keep up with service demands.

The General Fund is comprised of property taxes and pays for services such as the Library, Parks and

In general, the City's operating funds are in a strong position and are maintaining healthy ing technological tools to financial reserves.

Police. Over the next five years, the City faces challenges in providing services and implementkeep up with the City's growth. The forecast demonstrates that the City's

reserves may have to be tapped in order to pay for on-going costs.

The City's South Metro Area Regional Transit (SMART) is actively exploring options to avoid using reserves for operations over the next five years. SMART relies on a payroll tax to fund approximately 70% of the transit agency's operation, the rest is funded by grants and fare revenue. Because overall payroll growth in the region is projected to be relatively flat in the near future, the payroll tax revenue is not keeping up with the cost to operate the system. Even with the addition of new jobs, an adjustment to the payroll tax may be necessary in order to ensure continued operation at current levels.

The Community Development Fund is responsible for land use, planning, engineering and administering the City's capital infrastructure, and code enforcement. This fund is struggling to avoid a deficit, and the City has engaged consulting services to review the fund's activities, fees and charges, with the goal of placing the fund on a firm financial foundation into the future.

The Street Lighting Fund is responsible for the electricity and maintenance of the City's street lights. Over the next five-years, the City is exploring retro-fitting fixtures with light-emitting diode (LED) bulbs using resources from the fund and in coordination with Portland General Electric.

The Road Operating Fund is funded by the gas tax and is used for street maintenance and repair, maintenance of sidewalks, pavement markings, signs and signals. Over the next five years, gas tax receipts are shown to grow very slowly, as people drive less and purchase more fuel efficient vehicles.

The Five-Year Forecast document is available online at www.ci.wilsonville.or.us/173/Financial-Forecasting.

The Budget Committee is scheduled to hear the City Manager's proposed budget for Fiscal Year 2016-17 on May 18, June 1 and if necessary, on June 8. These meetings are open to the public and public comment is encouraged. Proposed budget documents are expected to be available to the public on May 9 and will be posted online at www.ci.wilsonville.or.us/budget.

WHS Hosts Public University and Community College Night

The Wilsonville High School Counseling Department is hosting a Oregon Public University and Community College Night on Wednesday, April 6,

Oregon Public University and Community College Night • Wed, April 6, 6:30 pm, WHS 6800 SW Wilsonville Road

6:30 pm in the WHS Library and Pointe. Eight Oregon public uni-

versities and several local community colleges are planning to attend the college fair event. The evening begins with an overview and introduction from the universities, followed by an open house where attendees can talk to representatives of any or all of the schools. High school juniors who are just starting their search or planning on attending an Oregon university, as well as seniors looking at community colleges, should plan on attending this event. For more information contact Lyndi Tucker, WHS College & Career Center Coordinator, tuckerl@wlwv.k12.or.us.

Garden Club Holds Annual Plant Sale on Saturday, May 7

The Wilsonville Garden Club is holding an **L** annual plant sale on Saturday, May 7, at the Wilsonville Public Library, 8200 SW Wilsonville Road.

Wilsonville Garden Club **Annual Plant Sale** • Sat, May 7, 9 am Wilsonville Public Library 8200 SW Wilsonville Road

The sale begins at 9 am and lasts until the all the plants are sold which at past sales is usually before 2 pm.

The club's sale offers large selection of the very popular sun and shade hanging baskets, blooming annuals, perennials plus cuttings and divisions from club member's gardens and an assortment of Garden Gallery yard art.

All of the proceeds from the event go to support local horticulture education and scholarships.



New Car Dealership in North Wilsonville Launches Community Art Exhibition to Support Local Artists

Tn April, a new car dealership in north Wilsonville, **▲** Findlay Chrysler Jeep Dodge Ram of Wilsonville, is debuting the Findlay Community Art Exhibition on Friday, April 1.

"Findlay of Wilsonville embraces the art and culture that Portland and its surrounding suburbs have to offer, and we plan to share it with our customers," stated Laurie Tarter, Findlay Marketing Director.

The Findlay Community Art Exhibition hosts talented local artists by offering exhibition space in the dealership's main lobby to showcase local artists. Each month a new artist is selected to feature their art for approximately three to four weeks. Exhibitions begin with a gallery reception that includes refreshments and a chance to meet the artist.

"We are pleased to bring this dynamic new art event to the community," said Bruce Schneider, Managing Partner. The goal of the exhibition is to celebrate and



In April the Findlay car dealership is featuring art from photographer, Brian Belefanti of Portland shown here.

showcase the many talented artists who live here and to offer community members a place to enjoy great local art with their families. We encourage people of all ages to come enjoy this unique event and support area artists."

For the inaugural exhibition, Findlay of Wilsonville is partnering with the "Wandering Arts" series which is a program coordinated by the Tualatin Chamber Arts Committee to select the first artist to be featured at the monthly exhibition.

April's featured artist is photographer, Brian Belefanti of Portland. Brian photographs landscapes and environmental portraits utilizing a camera filtration system that involves shooting through liquids that are relevant to the subject being photographed. His work has taken him to Cuba, Montreal, the American South, Mexico, Spain, Nova Scotia, Portugal and Turkey. In 2006, he was named Photographer of the Year by the International Color Awards and has received numerous honors at the 2004 International Photography

The exhibition runs April 1 - April 30 and is open Monday - Saturday, 10 am - 7 pm, and on Sundays, 11 am – 5 pm. The general public is invited to attend the free Meet the Artist Reception on Thursday, April 14, 7 pm, at the new indoor car dealership located at 25600 SW Parkway Center Drive in Wilsonville.

Artists interested in learning more about the featured artists program should contact Laurie Tarter, Findlay Marketing Director, at 503-563-7222; ltarter@ findalyauto.com.

Long-Range **Planning Projects**

Basalt Creek Concept Plan

The Basalt Creek Concept Plan guides future development of the Basalt Creek area, an 800-acre unincorporated, rural area between

Wilsonville and Tualatin. Both the Wilsonville and **Tualatin City** Councils' are considering resolutions at upcoming meetings to acknowledge the discussion and



agreements from the December 16, 2015, joint Council Meeting. The Wilsonville City Council is scheduled to hear the matter on March 21.

In order to provide the public another opportunity to learn about and provide input on the preferred alternative for the Basalt Creek Con-

Basalt Creek Concept Plan Open House • Thurs, April 28, 5:30 pm

Tualatin Road, Tualatin

Juanita Pohl Center,8513 SW

cept Plan, the public is invited to attend an Open House on Thursday,

April 28, 5:30 pm. The open house is being held in Tualatin at the Juanita Pohl Center, 8513 SW Tualatin Road.

For more information visit www.BasaltCreek. com or contact Miranda Bateschell, Long-Range Planning Manager, at 503-570-1581; Bateschell@ ci.wilsonville.or.us.

Town Center Master Plan

ast fall, the Metro Council awarded the City of Last fall, the Metro Council awarded.

Wilsonville a \$320,000 grant to fund the majority of costs for Wilsonville's Town Center Master Plan proposal. The City is matching the grant with \$100,000 contribution to cover the longrange plan's total anticipated cost of \$420,000.

This project seeks to create a long-range plan and near-term actions for how the City's Town Center area can better serve the interests and needs of residents, workers and visitors. The plan will develop strategies for how the Town Center area can evolve into a more walkable, attractive and commercially vibrant, mixed-use district capable of supporting a range of businesses.

The Planning Department has created a Town Center project web page which will continue to be updated with project information at www. ci.wilsonville.or.us/TownCenter.

For more information Miranda Bateschell, Long-Range Planning Manager, at 503-570-1581; bateschell@ci.wilsonville.or.us.

water design standards; the use of iron pipes and

changes to comply with the City's odor code; and

fittings that are "made in the USA"; sanitary design

changes to the colors used to paint public and private

fire hydrants to make identification easier and faster.

from the City's Auditor that found the City's financial

statements are "free from material misstatement" and

conform to Generally Accepted Accounting Prin-

ciples, applicable state standards and also federal re-

quirements. The Council also heard from 2015 Lead-

ership Academy graduates, Lorie Loen and Kathryn

Martinez-Gilbertson, who, along with others, hosted

over \$1,100 in funds that they presented to Wilsonville

a Spaghetti dinner fundraiser in December raising

Under Communications, the Council heard a report

Reports from City Boards and Commissions

City Council Implements Marijuana Ban, Approves Zone Changes, Annexes Property and Updates Public Works Standards

On Monday, Jan. 4, the Wilsonville City Council made effective an ordinance that continues an existing ban within city limits on the sale and production of both medical- and recreational-marijuana products, including medical marijuana-processing sites, medical marijuana dispensaries, recreational marijuana producers, recreational marijuana processors, recreational marijuana wholesalers, and recreational marijuana retailers. The ban is permitted under state law by House Bill 3400 (2015). The law further requires that the ban be referred to the voters at the next statewide general election in November 2016, if the state-sanctioned ban is to remain in effect thereafter.

The City Council also held two public hearings and approved ordinances that amend the City's Zone Map from a "Public Facility" to "Village" zoning designa-

tion for two parcels of land located in the central area of the Villebois neighborhood. The zone change by homebuilder applicant Polygon Homes Northwest seeks to permit construction of 132 row houses. The first planned development, Brookside Terrace, includes 50 row houses on approximately 3.2 acres located northwest of SW Villebois Drive North between SW



Wilsonville Community Sharing board members accept donation check from Leadership Academy participants of funds raised at December's Spaghetti benefit dinner (*left to right*) Dick Spence, Taft Mitchell, Michelle Ripple, Mayor Tim Knapp, Lori Loen and Kathryn Martinez-Gilbertson.

Costa Circle West and SW Berlin Avenue. The second development, Camden Square and Royal Crescent at Villebois, includes 82 row houses located in the Villebois Village Center between Costa Circle and SW Villebois Drive. Both developments were previously reviewed and approved by the Development Review Board Panel A on December 14.

The City Council also held a public hearing and approved an ordinance that annexes into the City limits specific segments of SW Grahams Ferry Road and SW Tooze Road and also a 22-acre undeveloped property located within the Villebois Master Plan Area on the south side of Tooze Road. The City already has authority for the road and is required to maintain it. The approved annexation is needed in part to allow the investment of urban renewal funds in the Tooze Road improvement project, which is currently being designed to widen and improve the western section of Tooze Road just east of SW Grahams Ferry Road. A portion of the other property to be annexed is to be used, in part, for a public park.

The City Council also held a public hearing and approved an ordinance that amends the City's Public Work Standards to require: the use of warm mix asphalt for road improvements; changes to the storm

Under Mayor's Business, the Council recognized the City's Public Works Delora Kerber in being elected as the 2016 President of the Oregon Chapter of the American Public Works Association, also known as

APWA, which represents 800 professional engineers, technicians, operations staff, public works directors, business people, contractors and consultants.

At the meeting the City Council also decided to continue a resolution regarding the adjustments to the sales price of a 10-acre surplus property that the

City is selling to Polygon WLH LLC to the next City Council meeting that is planned to be held on Thursday, Jan. 21, 7 pm.

At work session prior to the City Council meeting, the Council heard updates and discussed plans to expand SMART's Compressed Natural Gas station, a proposal to study the City's role in bringing broadband fiber to the community and a proposal to terrace the hill in Murase plaza adjacent to the plaza's water feature.

Delora Kerber

Wilsonville and Tualatin Identify Preferred Jurisdictional Boundary for Basalt Creek Concept Planning Area

On Dec. 16, the Tualatin and Wilsonville City Councils held a joint meeting to discuss the

Basalt Creek Concept Plan and reached an agreement that the "Future Basalt Creek Parkway," a proposed road that is to run south of, and parallel, to Tonquin Road, is the preferred jurisdictional boundary between the two cities. Acceptance of the jurisdictional boundary as the preferred alternative allows project planners to move forward with finalizing the Basalt Creek Concept Plan for further consideration.

At the meeting the Councils discussed and provided staff guidance on "essential agreements" that need to be covered

and resolved in the concept plan to make the proposed

Future Basalt Creek Parkway

Tonquin Rd

Day Rd

Wilsonville

Ridder-Rd

boundary and associated land use plan successful. The areas to be further addressed in the plan include: land

uses, transportation (capacity, funding and planning), sanitary sewer, stormwater management, transit service and protections for the Basalt Creek Canyon that runs through the area.

Additional public feedback on the draft plan is to be sought early next year prior to presenting the draft plan to the two Councils for further discussion and potential adoption. For more information about future meetings and feedback opportunities visit www.BasaltCreek.com, or contact Miranda Bateschell, Long-Range Planning Manager,

at 503-570-1581; bateschell@ci.wilsonville.or.us.

Upcoming on the Council Agenda

The following issues are tentatively scheduled for consideration and or discussion by the City Council during February. Scheduling changes can and do occur; check for updated meeting information at the City's website home-page, www.ci.wilsonville.or.us.

Monday, February 1: SMART/Tri-Met Service boundary Basalt Creek area; Tooze Road project; Energy Trust results; Clackamas Community College bond project Update; substantial amendment to West Side URA; sidewalk repair grant program; minor amendment to the Year 2000 URA boundary.

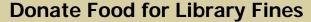
Thursday, February 18: Universal Health Services – annexation, zoning; cooperative utility agreement with WWSP/ODOT - Kinsman project; Republic Services rate increase request; Year 2000 minor URA amendment.

Planning Commission Update

At the Planning Commission meeting on January 13, the Commission elected Jerry Greenfield as 2016 Chair and Eric Postma as 2016 Vice Chair. The Planning Commission received an update and provided feedback on the Basalt Creek Concept Plan. The Commission also heard a report and provided suggestions for engaging the public and receiving input on the Town Center Master Plan project which is in the initial stages of implementation.

Development Review Board Update

n December 14, the Development Review Board (DRB) Panel A approved a Zone Map Amendment and various plans proposed by home builder Polygon Northwest for a development of 50 row houses, known as Brookside Terrace, located northwest of SW Villebois Drive North between SW Costa Circle West and SW Berlin Avenue. In addition the DRB Panel A also approved a second Zone Map Amendment and various other plans also proposed by home builder Polygon Northwest for a development of 82 row houses, known as Camden Square and Royal Crescent at Villebois, to be located in the Villebois Village Center between Costa Circle and SW Villebois Drive. At the same meeting the DRB also approved the annexation into the City limits of specific segments of SW Grahams Ferry Road and SW Tooze Road and also a 22-acre undeveloped property located within the Villebois Master Plan Area on the south side of Tooze Road. Finally the DRB approved design review for two single-family dwellings in Old Town to be located at 30580 SW Boones Ferry Road.



Reduce or eliminate your library overdue fines by bringing in cans or boxes of food during the month of February. Each can or box is worth a one dollar credit toward overdue fines, subject to

of library staff. The food bank prefers donations of:

the approval

- Breakfast cereals
- Canned fruit
 Please do not donate
 Ramen

noodles.
For more information about Wilsonville Community Sharing, please visit

their website:



www.WilsonvilleCommunitySharing.org.

All food is to be donated to Wilsonville Community Sharing for the assistance of needy area families. Please check expiration dates carefully! The food bank cannot accept or use expired food.

Reports from City Boards and Commissions

City Council Reduces First Violation Penalties for Lesser Offenses and Welcomes Sister City Delegation from Kitakata, Japan

n Nov. 2, the Wilsonville City Council held a public hearing and approved an ordinance that amends Chapter 10 of Wilsonville City Code to reduce the penalties for first violations of certain lesser offenses related to dog control, skateboarding and unauthorized camping on public property. Citations on these charges are reduced from criminal misdemeanors to civil infractions, along with lowering the maximum penalties and potential imprisonment that apply to these violations.

The Council continued until the Dec. 7 a public hearing on an ordinance that establishes the factors to be considered when setting franchise fees for use of the public right-of-way.

Under Mayor's Business the City Council approved the City Attorney's employment contract (see related article on page 1) and also the appointment of Dave Becker to the Parks and Recreation Advisory Board to fill the vacant unexpired term of Adam Rahmlow that runs until Dec. 31, 2018.

Under Communications, the City Council welcomed a 20-student delegation accompanied by two chaperones from Wilsonville's Sister City of Kitakata, Japan, who are visiting the U.S. until Nov. 7 (see related photo on page 1). Mayor Tim Knapp presented the delegation a gift to bring back to Mayor Shinya Yamaguchi of Kitakata, Japan. Also during this portion of the meeting, Library Director Pat Duke introduced the Library's new Outreach Librarian, Deborah Gitlitz, who is focused on reaching out to populations who are currently underserved by the Library and also promoting early-childhood literacy programs throughout the community.

Under New Business, the Council approved program guidelines governing the use of City funds for a utility-bill assistance program administered by Wilsonville Community Sharing, a local food-bank and

emergency-assistance provider. The program provides income-eligible community members short-term financial assistance in order to pay utility bills.

After the meeting, the members of the City Council, acting in their role as the Urban Renewal Agency Board, accepted the highest bid of \$5.1 million offered by Polygon WLH LLC for a 10-acre parcel of surplus property on Tooze Road originally acquired for use as a primary-school site in Villebois. All proceeds from the sale of the surplus property are to be returned to the Urban Renewal Agency.

At work session prior to the City Council meeting, the Council heard updates and discussed the Wilsonville-Metro Community Enhancement Program, laws and alternatives for regulating marijuana-related businesses in Wilsonville, Board and Commission terms of office and a proposed grant applications to ODOT for bike/ped trail and bridge improvements.



Mayor Tim Knapp presents Mr. Jiro Sato, a chaperone leading the Kitakata student delegation, a gift to give to Mayor Shinya Yamaguchi of Kitakata, Japan when he returns to Japan.

City Council Holds Well-Attended Public Hearing on Frog Pond Plan

n Oct. 19, the Wilsonville City Council held a well-attended public hearing on Resolution No. 2553 regarding the Frog Pond Area Plan that is designed to establish a vision for the mostly undeveloped 500-acre area surrounding the Frog Pond Grange on Stafford Road. Thirty-two individuals and organizational representatives testified on a wide range of issues, including residential density, traffic impact and quality of life. Due to excused absences of two councilors, the Council deferred action on the plan. A Council vote on the plan is expected no sooner than Monday, Nov. 16, at a meeting when a full City Council is expected to be available to take action on the plan and after all City Councilors have had the opportunity to watch and consider testimony from the public hearing. A video replay of the public hearing and the entire City Council meeting is available on line at www. ci.wilsonville.or.us/Oct19Meeting. For more information about the Frog Pond Plan, including all related documents and information, visit www.ci.wilsonville. or.us/FrogPond.

The Council also held a public hearing and authorized a supplemental budget adjustment for fiscal year 2015 - 2016 to account for new labor contracts with two employee unions and unfinished projects from the prior fiscal year.

Under New Business the Council approved the City Manager to enter into an agreement with Wilsonville Community Sharing, a local food-bank and emergency-assistance provider, to fund up to \$15,000 to help the non-profit organization complete a fundraising and strategic-visioning plan.

The Council voted to recommend to the Wilsonville Urban Renewal Agency to accept the highest bid offered by Polygon WLH LLC for a 10-acre parcel of surplus property on Tooze Road originally acquired for a primary-school site in Villebois.

Under the Consent Agenda the City Council authorized the City Manager to enter into a Professional Services Agreement with Ch2M-Hill Engineers, Inc. to design and obtain permits to construct and replace a Willamette River outfall pipe for the Wilsonville Wastewater Treatment Plant.

At work session prior to the City Council meeting, the Council heard updates and discussed draft guidelines for Wilsonville Community Sharing's Renter's Utility Bill Paying Assistance Program, Road Maintenance Task Force and the Transit Technology Upgrade project.

Joint Council Meeting to Discuss Basalt Creek Plan on Dec. 16

The Basalt Creek Concept Plan guides future development of the Basalt Creek area, an 800-acre unincorporated, rural area between Wilsonville and Tualatin. At a Wilsonville-Tualatin Joint City Council meeting in June, the Councils reviewed two options

Joint Council Meeting on Basalt Creek Plan • Wed, Dec 16, 6 pm City Hall, 29799 SW Town **Center Loop East**

for a jurisdictional boundary and land uses in the Basalt Creek planning area. Since that meeting, the Cities of Tualatin

and Wilsonville have considered alternative options with the goal of identifying a preferred alternative that satisfies the aspirations of both Cities, provides the best solution for the community, and meets regional government requirements for concept planning.

A meeting has been scheduled for the Wilsonville

and Tualatin City Councils to continue the discussion of jurisdictional boundary and land use options for the planning area. The joint Wilsonville and Tualatin City Council Meeting is to be held on Dec. 16, 6 - 8 pm, Wilsonville City Hall, 29799 SW Town Center

Input to date has been instrumental in guiding discussions and key questions during the planning process. A public open house is still being planned; however, a date has not yet been determined for this event. Please check the project website for the latest information, www.BasaltCreek.com. For more information or to submit comments contact Miranda Bateschell, Long-Range Planning Manager, 503-570-1581; bateschell@ci.wilsonville.or.us.

Upcoming on the Council Agenda

The following issues are tentatively scheduled for consideration and or discussion by the City Council during December. Scheduling changes can and do occur; check for updated meeting information at the City's website home-page, www.ci.wilsonville.or.us.

Monday, Dec. 7: Board and commission appointments; Energy Trust results; accept Canvass of Votes of Nov. 3 election; Marijuana ordinance 2nd reading; sidewalk repair grant program; substantial amendment to West Side URA; Coffee Creek UR District.

Wednesday, Dec. 16: Joint Council Meeting with the City of Tualatin regarding the Basalt Creek Plan. Monday, Dec. 21: No City Council Meeting.

November Planning Commission

At the Planning Commission meeting on Nov. 12, the Commission discussed the West Side Urban Renewal Plan Substantial Amendment, but no action was taken due to the lack of a quorum. The Commission also heard a report and asked questions regarding a Transportation Performance Modeling report.

Development Review Board Update

The Oct. 26 meeting of the Development Review Board Panel B and the Nov. 9 meeting of the DRB Panel A were both cancelled.

Library Board Report for October

uring the Library Board meeting in October various reports included:

- Teens held a Murder Mystery Night in October.
- The Play Group has started again, meeting Monday mornings at 9:30 am.
- New Outreach Librarian Deborah Gitlitz started
- Longtime Library Clerk John Smith is retiring as of the end of November (see article on page 7).
- Spanish classes have been so popular that the classes will continue into the winter with another Beginning 1 class and a new Beginning 2 class.
- The "How to Write a Novel in 30 Days" talk given by Andrea Erickson in preparation for National Novel Writing month saw 26 people in atten-
- The Library hosted a Red Cross blood drive event.
- All of the rain gutters around the building have been replaced.
- Friends of the Library reported due to various complications, the Book Notes Concert Series is canceled for the year, barring concerts in December and April.
- The Library Foundation reported that the Foundation's annual fundraising event in October raised approximately \$25,000.

The next regular meeting is scheduled for Wednesday, December 2 at 6:30 pm at the Library.

City Thanks Volunteers Who Serve

he Wilsonville City Council appreciates residents and business managers who volunteer their time and expertise to serve on City boards and commissions, and wishes to recognize the following individuals whose terms of service end in 2015.

- Cheryl Dorman, DRB Panel B member since December 2011
- Lenka Keith, DRB Panel A member since Dececember 2011
- Marta McGuire, Planning Commission member since March 2008
- Wendy Veliz, Budget Committee member since September 2011`



Community members are encouraged to remove leaves and other debris from storm drains to prevent localized flooding.

Learn About the Kinsman Road Extension Project at Open House on June 10

Design of the Kinsman Road extension project is nearing completion. However, before the design is finalized, the Wilsonville community is invited to view

Kinsman Road Extension Project Open House • Wed, June 10, 6 - 7:30 pm City Hall, 29799 SW Town Center Loop East the proposed roadway improvements and offer ideas on the final design details at an open house on Wednesday, June 10,

6 – 7:30 pm at Wilsonville City Hall, 29799 SW Town Center Loop East.

The Kinsman Road extension project provides an additional north-south roadway connection, linking Boeckman Road with Barber Street on the west side of

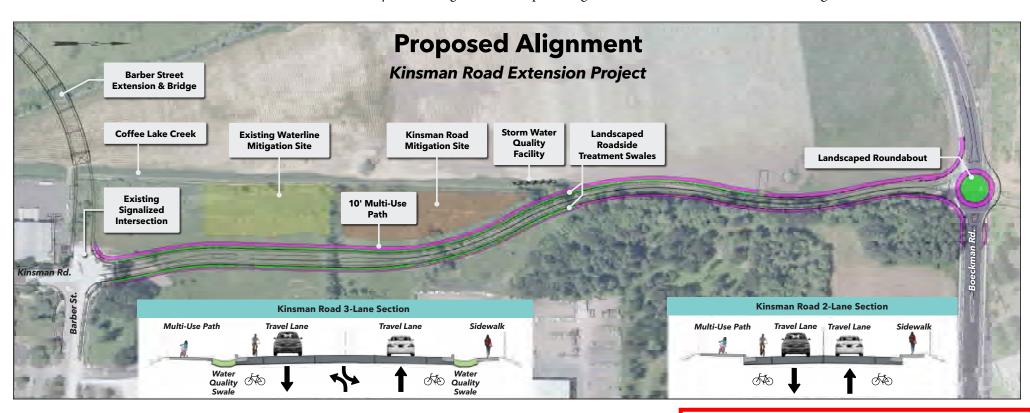
town. A challenging roadway design project, the Kinsman Road extension threads the needle between the Coffee Lake Creek wetlands, Bonneville Power utility lines, forested habitat and existing industrial development. The project incorporates some of the same design features utilized on Boeckman Road, such as wildlife crossing and storm water culverts, to preserve the wetland functions on both sides of the new roadway.

Along with the Barber Street Bridge currently under construction, the Kinsman Road extension project links Wilsonville's western residential neighborhoods with the City's industrial employment areas. The project is designed to alleviate traffic congestion on Boones Ferry and Boberg roads, while providing faster Boeck-

man Road access to the WES Commuter Rail Station. The extension of Kinsman Road is a key component of Wilsonville's vision for an interconnected system of transportation choices.

The Kinsman Road extension includes bike lanes, sidewalks, 10-foot wide multi-use pathway along the Coffee Lake Creek wetlands, stormwater improvements, a roundabout intersection at Boeckman Road and approximately 2.6 acres of habitat enhancement. Construction of the roadway extension is anticipated to begin in the spring of 2016.

For more information or to request meeting accommodations, contact Zachary Weigel, PE, Civil Engineer at 503 570-1565, weigel@ci.wilsonville.or.us.



Public Feedback on Draft Frog Pond Plan Considered by Planning Commission and City Council in June

The Frog Pond Area Plan, led by the City of Wilsonville, establishes the vision for the 500-acre Frog Pond area and defines expectations for the type of com-

munity the area is to be in the future.

After receiving direction from the Planning Commission and City Council, the project team drafted a preferred concept plan, which was presented to the public at an open house and through an on-line open house in April.

The project team has compiled the community's



feedback received through the open houses and published the input on the project website. This information along with final recommendations to key policy questions are to be presented to the Planning Commission and City Council for discussion in preparation for potential adoption of the Frog Pond Area Plan later this summer. Key meeting include:

- Wilsonville Planning Commission (Work Session): June 10, 6 pm, Wilsonville City Hall
- Wilsonville City Council (Work Session): June 15, 5 pm, Wilsonville City Hall

Materials are available online at the project website approximately one week prior to the meetings, www. ci.wilsonville.or.us/FrogPond. Written comments may be submitted to Chris Neamtzu, Planning Director, via email at Neamtzu@ci.wilsonville.or.us or in hard copy.

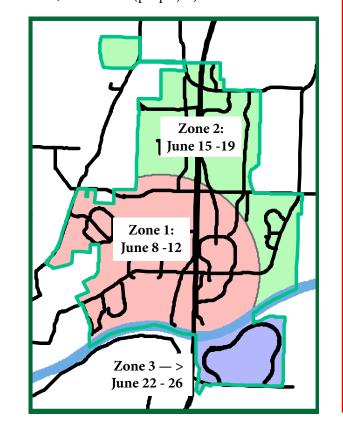
Water Mains Get "Spring Cleaning" with Hydrant Flushing in June

Every year Wilsonville's utilities crew flush the city's water mains to remove naturally occurring mineral deposits from the pipes. Annual flushing ensures optimal water quality for Wilsonville's residents and helps to maintain the infrastructure by exercising hydrants, valves and blow-off assemblies during the flushing process.

When the utilities crew is flushing in your area, you may also observe that the water in your home or the water coming out of a nearby hydrant appears to have an orange or rust-colored tint. This is a normal occurrence and the water is completely safe. The discoloration is caused by iron deposits in the pipes which get scoured out during flushing. If you observe discolored water in your home, simply run your COLD water for several minutes to clear your lines and flush your toilets once or twice. The water should run clear again within a few minutes.

If you observe a utility crew flushing in your area, make sure to give them plenty of room to work safely while sharing the roadway. Also, be aware that some flushing activities will take place at night to minimize traffic congestion. If you have any questions or concerns regarding the City's annual water main flushing program, please call the Public Works Department at 503-570-4092.

Here is the city's 2015 schedule for water main flushing: Zone 1 (pink) - June 8 -12; Zone 2 (green)- June 15 -19; and Zone 3 (purple) - June 22 - 26.



Tualatin and Wilsonville City Councils to Discuss Basalt Creek Plan and Jurisdictional Boundary

The Basalt Creek Concept Plan guides future development of the Basalt Creek area, an 800-acre unincorporated rural area between Wilsonville and Tualatin. Work continues on alternative options for future land use and infrastructure development. Over the

past month, the Wilsonville and Tualatin City Councils reviewed options for sanitary sewer service to the area.

to the area.

The next step is to identify a jurisdictional boundary and refine potential land uses

in the study



area. The Wilsonville City Council will be discussing boundary options and land use alternatives at two meetings in June:

- Wilsonville City Council (Work Session) June 1, 5 pm, Wilsonville City Hall (meeting materials posted May 25)
- Joint City Council Meeting June 17, 6 pm, Tualatin Police Training Room, 8650 SW Tualatin Road, Tualatin, OR (meeting materials posted June 10)

Planning is underway for a Public Open House in late summer following the Joint City Council Meeting, where citizens will be asked to give input on a preferred land use alternative for the planning area. Please check the project website for the latest information, www.BasaltCreek.com.

For more information and to submit written comments contact Miranda Bateschell, Long-Range Planning Manager, at 503-570-1581; bateschell@ci.wilsonville.or.us.

Reports from City Boards and Commissions

City Council Upholds Development Review Board Decision

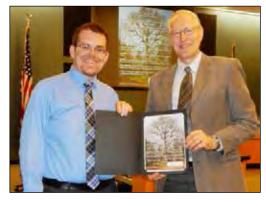
n April 6, the Wilsonville City Council held a public hearing and voted to affirm a decision of the Development Review Board (DRB) regarding a land partition application for a property located at 28205 Canyon Creek Road South. The City Council action upholds the DRB's conditional approval of the partition and reaffirms that the applicant is required to install sidewalks, curbs and gutters along the full property frontage within the Canyon Creek Road South right-of-way.

Under Communications, the City Council heard a report from Fire Chief Mike Duyck of Tualatin Valley Fire and Rescue (TVF&R) about the state of the fire district, which provides emergency services on contract to the City of Wilsonville (see page 3).

During the meeting, Mayor Tim Knapp issued four proclamations. The first proclamation requested by the Parkinson's Action Network declares April as Parkinson's Awareness Month. The second proclamation honors Americorps participants and recognizes the importance of their National Service. The third proclamation honors Arbor Day and the City of Wilsonville's

17-year-long designation by the National Arbor Day Foundation as a Tree City USA. The fourth procla-

mation
requested
by the
Children's
Center, a
nonprofit
childabuse
prevention
organization
serving
Clackamas



Mayor Tim Knapp and City Planner Dan Pauly holding the Arbor Day Proclamation.

County, declares April 2015 as "Child Abuse Prevention Month."

During work session prior to the City Council meeting, the Council heard reports regarding updates on Community Development projects and planning fees.

Upcoming on the Council Agenda

The following issues are tentatively scheduled for consideration by the City Council during May. Scheduling changes can and do occur; check for updated meeting information at the City's website homepage, www.ci.wilsonville.or.us.

Monday, May 4: Drinking Water Week proclamation; Montague Park zone change; resolution to increase planning fees; supplemental budget adjustment; resolution to authorize borrowing; form based code (worksession); erosion control (worksession); Morningside intersection realignment (worksession); Canyon Creek pedestrian crossing (worksession).

Monday, May 18: Public Works Week proclamation; form based code (worksession); transportation system performance modeling (worksession); Memorial Park master plan update (worksession); Metro Solid Waste Community Enhancement Grant (worksession); Tourism Promotion Committee formation (worksession).

Planning Commission Update

At the Planning Commission Meeting on April 8, the Commission heard reports, discussed and provided feedback on the Willamette River Water Supply Pipeline Project and the Memorial Park Master Plan update.

Development Review Board Update

On March 23, the Development Review Board Panel B approved a five-year temporary use permit to allow a model home and sales office located at 8730 and 8742 SW Vale Court for applicant Lennar Northwest, Inc.

At the April 13 meeting of the DRB Panel A, the Board recommended the City Council approve a zone map amendment for 3.58 acres near the center of Villebois to enable the development of a private park and adjacent streets. At the same meeting the DRB continued to May 11 the public hearing for applications to develop the park, known as Montague Park. The purpose for the continued hearing is for further testimony and discussion about whether to remove a pickleball/ basketball court planned in the park due to neighbors' noise concerns. The park's proposed amenities include a decorative water feature and entry plaza, play structures/area, benches, picnic tables, shelter, circuit training area, an amphitheater, and an artificial-turf putting green. Proposed completion of adjacent streets will make key connections in the Villebois street network.

City Council Approves Bus Purchases and Property Tax Exemptions

t the March 16 meeting of the Wilsonville At the March 10 meeting of and City Council, the Council adopted a resolution authorizing South Metro Area Regional Transit (SMART), the City's public transportation agency, to purchase two 35-foot, 35-passenger, low-floor, heavy-duty, clean-diesel buses. The purchase price of \$758,306 to acquire the two buses is to be financed primarily by a grant from the Federal Transportation Agency covering 84% of the cost (\$636,977), with the balance paid for by local matching-funds from SMART's purchase reserve fund. The new buses, which take approximately 18 months to be manufactured and delivered, replace two 1990 buses that now have nearly one million miles each of service use. To ensure the City is getting the best price for the vehicles without incurring additional procurement costs, SMART is "piggybacking" on Lane Transit District's prior request for proposals for buses and purchasing the buses from Gillig, the lowest responsible bidder. Under the Consent Agenda, the City Council

adopted five resolutions that renew property-tax exemptions under state law totaling \$44,730 for five, nonprofit multifamily properties with 366 rental units serving low-income and senior residents in Wilsonville. Together with other affordable housing subsidies, rents for low-income families, seniors, and individuals are lowered by approximately \$308,000 over a twelve-month period.

Under New Business, the Council set a hearing date of April 6 to consider an on the record Appeal of the Development Review Board Panel B's conditional approval of a two-parcel land partition for property located at 28205 SW Canyon Creek Road.

During worksession prior to the meeting, the Council received an update from the Willamette Water Supply Project regarding a new preferred pipeline route extending from Wilsonville to Hillsboro and is to be operational by 2026. The Council also discussed the City's branding strategy.

Library Board Report for March

 ${
m D}^{
m uring}$ the Library Board meeting in March reports included:

- Fifteen teens attended the March teen event and April teen event featured superheroes and comic books.
- The Teen Advisory Board (TAB) has six members, but seeks more to join.
- Library's in Clackamas County are considering use of RFID (radio-frequency identification) which would make check-out, check-in, inventory control, and security easier and less staff intensive. A consultant is to be hired to study feasibility.
- The library is pursuing a grant with Fred Meyer for

\$3500 to sponsor shows for the Summer Reading.

- Libraries throughout Clackamas County are receiving training in the "Reading for Healthy Families Oregon" curriculum, with a goal of training people to promote early-literacy for pre-k children. In support the library is holding early literacy Storytimes
- The library has a new exclusion policy for patrons who display unruly behavior.
- There was a 0% change in check-outs of downloadable materials over the same time last year, but over the past two years there was a 76% increase.

The next regular meeting is scheduled for May 27 at 6:30 pm at the Library.

Supporters gathered to celebrate Library's 33rd Birthday (left to right): Jan Reeve; Carla Styczynski; Hilly Alexander; Joe Brouillette; Library Director Pat Duke; Joan Mathews; Kay Jewett; Caroline Berry; Dick Spence; and Swapna Gajjala.

Basalt Creek Concept Plan Update

The Basalt Creek Concept Plan guides future development of the Basalt Creek area, an 800-acre unincorporated, rural area between Wilsonville and

Tualatin. Work continues on alternative options for future land use and infrastructure development in the Basalt Creek planning area. The project team recently completed geotechnical work to better understand the depth and hardness of bedrock in the Basalt Creek planning area, and an analysis of sanitary sewer alternatives



for serving the area. The next step is to identify service boundaries and refine potential land uses.

Input to date from stakeholders and members of the public has been instrumental in guiding discussions and key questions during the planning process. There will be more upcoming opportunities for the public to learn about and comment on the concept plan and a preferred alternative for future development. These include:

- Wilsonville City Council (Work Session): June 1, 5 pm, Wilsonville City Hall
- Joint Tualatin-Wilsonville City Council meeting: June 17, 6 pm, Tualatin Police Training Facility
- Public Open House: late summer, date TBD Please check the project website for the latest information, www.BasaltCreek.com. For more information, contact Miranda Bateschell, Long-Range Planning Manager, at 503-570-1581; bateschell@ci.wilsonville.or.us.

Reports from City Boards and Commissions

Council Moves to Update Wastewater Collection System Master Plan and Amend Use of Public Right-of-Way Rules

At the Feb. 2 Wilsonville City Council, the Council approved an update to the Wastewater Collection System Master Plan that was last modified in 2001. The purpose of updating the plan is to provide a 20-year guide for maintaining and operating the City's wastewater-collection system. The Plan identifies needed sewer lines and pump station upgrades and replacements to ensure that the system provides adequate service for current and future residents and businesses. The updated plan includes cost estimates to be used for general budgeting purposes and for likely inclusion in the Capital Improvement Program, which lists short- and long-term major capital investments that the City plans to complete.

The Council also held a first reading and adopted an ordinance to amend City code to allow the City

Under Communica-

During the workses-

sion prior to the meet-

ing, the Council heard

a report on the City's



Council received a report from the Office of Congressman Kurt Schrader by Whitlee Preim-Siddon, District Aide.

Asset Management Program which is a system that tracks the location, condition, required maintenance and replacement schedule for all City-owned assets. Municipal assets that already are or will be covered by the plan include roadways (signs, trees, irrigation and pavement), street lights (poles and lights), facilities (buildings, shelters and pumphouses), parks (sports fields, equipment, courts, lights and irrigation), water (pipes, hydrants, valves, meters and manholes), wastewater (valves, pipes and manholes), stormwater (catch basins, pipes, culverts manholes and ponds) and the City-owned water and wastewater treatment plants.



Local Boy Scouts (left to right) Logan Schoenacker, Joshua Wilcott and Briggs Moore attended the Feb. 2 City Council meeting to earn their governance merit badge.

Council Transfers Property to Urban Renewal Agency, Funds Study of Water Treatment Plant Expansion and Reviews Draft Plan for Frog Pond Area

n Jan. 22, the City Council approved a resolution authorizing the City Manager to transfer ownership of a 9.8-acre parcel of City-owned property located at 11650 SW Tooze Road to the City's Urban Renewal Agency. This property was purchased with Urban Renewal Agency funds in 2006, but ownership was vested with the City in order to facilitate a land exchange with the West Linn-Wilsonville School District. Subsequently, the recession made development of an elementary school at this site financially unfeasible and a new site was selected for the eventual Lowrie Primary School. The resolution approves transferring ownership of this land back to the Urban Renewal Agency so that the proceeds from any future sale of the land are returned to the Urban Renewal Agency.

City Council also approved a resolution authorizing the City to spend up to \$120,000 of the nearly \$1 million needed to study and plan for the future expansion of the Willamette River Water Treatment plant to potentially serve as a regional water treatment plant for both the City of Wilsonville and the customers of the Tualatin Valley Water District (TVWD), including the City of Hillsboro and others. An expanded plant will also help meet Wilsonville's future water demand needs and provide alternate source of water in the event of a disruption in water service from the current plant.

Under Mayor's Business, the Council voted to reappoint Mary Fierros Bower to the Development Review Board Panel A and also appointed Andrew Karr to the Budget Committee to fill a vacancy on the committee created by the recent resignation of Glenn Ohl.

The Council continued an ordinance that adopts the 2014 Update to the Wastewater Collection System

On the Consent Agenda the Council approved the City's 2015-16 state legislative agenda to guide City responses to specific legislative proposals that may arise during the upcoming 2015-16 session of the Oregon Legislative Assembly.

During the worksession well-attended by residents and property owners prior to the meeting, City Council and Planning Commission members held a special joint meeting to hear an update from staff and consultants on the draft Frog Pond area concept plan. Funded by a Metro grant, the City is planning for future residential development, parks and schools in the 500-acre study area. Major items of discussion included the type and density of residential development and the potential inclusion and location of a small-scale, neighborhood shopping area. Members of the two bodies provided staff feedback and direction on the draft plan which will be the topic of another round of community engagement this spring.

Basalt Creek Concept Plan Process Focuses on Providing Services to the Area

uring the past several months the cities of Tualatin and Wilsonville continue to make progress on

developing the Basalt Creek Concept Plan. Once complete, the plan guides the future development of the Basalt Creek region, an 800-acre unincorporated, rural area between Wilsonville and Tualatin.



In December at a joint meeting of the Wilsonville

and Tualatin City Councils, the city councilor members discussed an initial land-use, transportation and infrastructure scenario for the area. Since then, project work is focusing on determining the best way to provide sanitary-sewer service to the planning area. The project team is also gathering information about potential revenues, fees and development standards in order to

begin running and testing models of various land-use

Meetings originally planned for this spring are being delayed in order to provide the project team more time to study how to best provide sanitary sewer service to the area. The tentative schedule for additional meetings to review and discuss the plan includes:

- A Joint City Council meeting scheduled for June 17, rescheduled from February, to be held in City of Tualatin.
- A Public Open House will occur over the summer, originally planned for March.

For the latest information on meetings and developments visit the project website at www.BasaltCreek.com.

For more information or to provide comments about the plan, contact Miranda Bateschell, Long-Range Planning Manager, at 503-570-1581; Bateschell@ ci.wilsonville.or.us.

Upcoming on the Council Agenda

The following issues are tentatively scheduled for **L** consideration by the City Council during March. Scheduling changes can and do occur; check for updated meeting information at the City's website homepage, www.ci.wilsonville.or.us.

Monday, March 2: Councilor Dirksen, Metro Update (during worksession); 2006 Metro Spaces Bond Measure; Branding/City Logo; Business License Changes.

Monday, March 16: Mutual use agreement Landover HOA water services; Business License and Transit Tax payment overdue policy/process; and Willamette Water Supply Update: Pipeline Routing (during workssession).

Development Review Board Update

n Jan. 26, the DRB Panel B approved a five year Temporary Use Permit for a sales office and model homes in the Calais at Villebois subdivision along with associated parking, landscaping and other improvements. Also during the meeting Aaron Woods was elected as the 2015 Chair and Dianne Knight was elected as Vice-Chair.

On Feb. 9, the DRB Panel A approved an application for a conditional use permit for a home business of light-office duty for 10050 SW Wilsonville Road.



The home previously occupied by the Northwest Montessori School is approved for light-duty office use.

The board also approved the Final Development Plan (Architecture and Landscaping) for the Seville Row Homes (7 units) and for the Carvalho Row Homes (18 units). The Seville Row Homes are located on the northeast side of Barber Street between Villebois Drive and Ravenna Loop. The Carvalho Row Homes are located on both sides of Villebois Drive between Zurich Street and Barber Street.

January Library Board Report

uring the Library Board Meeting in January Library Director Patrick Duke and others gave reports on a variety of matters.

Youth services: 30 teens attended "Game Night" on Jan. 23. The March Teen event is on Friday, March 13, as a tie-in to the movie release of *Insurgent*.

Librarian's Report: Patrick Duke reported that a fire occurred in the outside book drop on Jan. 16. Library Operations Manager Kim Robben arrived before 7 am to smoke in the staff work area. She called 911 and Tualatin Valley Fire and Rescue and City Public Works staff. TVF&R extinguished the fire and monitored the library's carbon monoxide levels. According to the Fire Inspector, there was no evidence of cigarettes or any accelerants in the fire. Ten items were destroyed in the fire, with an approximate value of \$100. The library was closed for only part of the day of the fire and minor repairs have been made. The fire is being treated as arson by the Wilsonville Police Department.

History Pub: January's topic, the Willamette Locks, was very popular attracting an audience of 150 people.

Strategic Planning: Patrick Duke is planning to meet the chairs of the Library Board, Friends and Foundation to create an agenda for a joint meeting of the groups.

Budget Planning: Patrick Duke reported that he is working on the budget which is essentially a status quo budget, with a 1% increase in the Materials and Services budget and reclassifications of some staff members to better match their duties.

Anniversary of Library (Feb. 14, 1982): Pat Duke announced that the library turned 33 on Feb. 14.

The library is part of the Clackamas County earlylearning hub to address school readiness for at-risk youth. Every library in LINCC sent a staff member to a "Reading for Healthy Families" training, which trains caregivers how to talk with and teach parents to read to their children. Librarians Shannon Belford and Steven Engelfried trained.

The next Library Board Meeting is held on Wednesday, March 25, at 6:30 pm at the Library.

Public Workshop in June for Basalt Creek Urban-Area Planning

The cities of Wilsonville and Tualatin are collabo-I rating on a project to plan for the future development of the Basalt Creek region, the rural, unincorporated area between the two cities. The cities, together with Metro and Washington County, have agreed to create a plan that provides an orderly guide for urbanization. One of the outcomes of the Basalt Creek Concept Plan project is to establish the future boundary between the two cities. The Basalt Creek area is

The Basalt Creek area is important for the long-term growth of Wilsonville's industrial base and future family-wage jobs.

important for the long-term growth of Wilsonville's industrial base and future family-wage jobs.

One June 17, the cities plan to host an

interactive pubic workshop to gather information and start brainstorming about how the area could develop over time. The workshop utilizes a custom map-based exercise to gather information on community ideas for future land uses, multimodal transportation network (walking, bicycling, transit), and parks and open spaces.

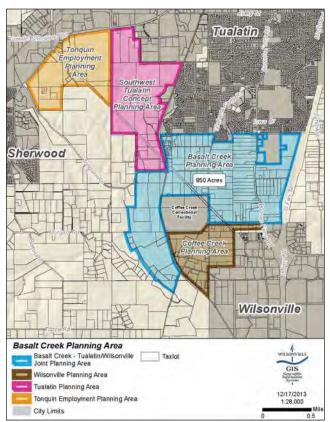
The meeting starts with a brief presentation, and then transitions into a set of questions designed to gather feedback from the attendees about their priorities for the project.

Following the group presentation and instant polling exercise, participants will divide into small groups for a collaborative mapping exercise. Participants will work together, with project staff, in small groups using maps and icons representing future development and other public investments. The project team will then digitize and analyze maps and comments from the public workshop to uncover themes and unique

solutions to create alternative development options.

The workshop is to be held on June 17, 6-9 pm at Horizon Community Church, 23370 SW Boones Ferry Road. Find more information about the workshop and the project at www.BasaltCreek.com.

For more information, contact Katie Mangle, Long-Range Planning Manager, at 503-570-1581; mangle@ ci.wilsonville.or.us.



Map showing major concept planning areas for future urbanization located in the Sherwood-Tualatin-Wilsonville 'triangle,' curving in the lower left portion.

In addition to the

phone calls, the City

due customers between

the month following

will not be called; the

home or business will

be the only warning

City Automates Utility Billing and Water Shut-Off Notification Process

tarting in June, the City is changing how utility Ocustomers who miss their payments are notified that they are at risk of having their water shut off. Instead of relying on door-hangers, the City will begin calling past-due utility customers to notify them of a pending water service shut-off. During June and July the City will still use door-hangers, but will discontinue the practice in August.

Past-due customers will receive two automated warning calls on the Thursday and Monday prior to their water being turned off on Tuesday. During the call, customers will be advised of their options to pay the amount due. These options include paying by phone at 503-682-1011, at www.ci.Wilsonville.or.us/ UtilityPayment or in person at City Hall. City Hall is open Monday through Friday, 8 am to 5 pm excluding holidays. After business hours, customers can also use the drop box at City Hall which is located on the west side of the building in the round-about area.

The new phone-based system is more efficient and cost-effective than the current process that involves City staff posting door hangers each month on homes throughout town. Additionally, some customers who may have been away and may check voice mail had no way of knowing that a notice had been left on their



Utility Billing Specialist Cricket Taylor at the drop box on the

west side of City Hall.

prior to shut-off.

The vast majority of Wilsonville's 5,160 utility customers pay their bills on time or before the end of the 10-day grace period. Many of Wilsonville's utility customers use the City's auto pay option and are much less likely to miss a bill payment or have to pay late charges or disconnect fees. To learn more about the auto pay option visit www.ci.Wilsonville.or.us/UtilityPayment or call 503-682-1011.

Dog-Leash Laws Expanded to all Public Property

n June 4 a new law goes into effect in Wilsonville requiring dogs to be on leashes while on all public property, which includes publicly-owned streets, parks, sidewalks and open spaces. Concern over conflicts involving dogs running off-leash on public property led to the new policy.

The law does not apply to private land and roads, nor does it apply to service animals or the off-leash dog area in Memorial Park that is located east of the baseball fields.

The new law, which expands upon an existing dog-leash law already in effect for City parks, was approved at the May 5 City Council meeting. During the public hearing prior to adoption, the Council heard only support for the change and no members of the public opposed the law.

Historically the City of Wilsonville relied on Clackamas County to enforce dog control laws in public spaces; due to budget cuts, however, County enforcement has halted.

The new ordinance is enforced by the Wilsonville

Police Department, which initially is focusing on voluntary compliance by educating dog owners about the expanded law. Violations of the law, however, are subject to a maximum penalty of up to a \$250 fine.

While most dog owners already clean up after their dogs, the new law includes a provision that now



WERK Day volunteers shoveling gravel to be laid on the path to Memorial parks Off Leash Dog Area.

requires dog owners to properly collect and dispose of their dog's waste or be subject a fine.

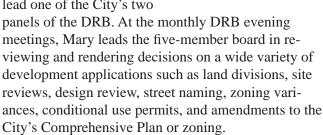
With compliance the new leash laws will help improve public safety, reduce conflicts between dogs and help protect our natural areas and wildlife habitat.

VOLUNTEER SPOTLIGHT: MARY FIERROS BOWER

ary Fierros Bower not only volunteers as Chair of Wilsonville's Development Review Board (DRB) Panel A, but she is also a professional designer with extensive experience in Oregon and California.

In 2005 Mary joined LRS Architects, an award-winning architecture, interior design and planning firm based in Portland.

As an associate and project manager with LRS, her architectural education and professional experience make her well qualified to lead one of the City's two



"Mary's passion for the community —when combined with her knowledge of quality site design, sustainability and architecture —make her a rare and

Mary's passion for the community—when combined with her knowledge of quality site design, sustainability and architecture—make her a rare and valuable asset on the Development Review Board.

valuable asset on the Development Review Board. The community is very fortunate to have Mary at the helm of many local development decisions," said Chris Neamtzu, City Planning Director.

Mary has an impressive professional background designing and

managing a variety of projects including high tech, mixed-use, commercial office, retail, tenant improvements, fire stations and custom residential projects.

Some of the projects that she is most proud of include a long-term relationship with a confidential high-tech client, and serving as project manager for the new Lents Town Center mixed-use project and for her work on the Clackamas County Fairgrounds master plan. Additionally, while in California, she was lead designer for the Santa Cruz City Hall renovation and for Boston Properties in the San Francisco Bay area and served as design review consultant for "The Cloisters," a prominent housing development in Morro Bay, CA.

Mary is committed to designing and supporting developments that have a reduced impact on our environment. As a LEED (Leadership in Energy and Environmental Design) accredited professional, Mary is very familiar with best practices and latest developments in sustainable design and green building. "Sustainability to the built environment is important because I have the opportunity to create environmentally friendly, timeless and beautiful architecture for future generations to enjoy."

Mary received her Bachelor of Architecture from California Polytechnic State University, College of Architecture. She has been a volunteer on Wilsonville's DRB since May 2011, was elected to Chair in 2013, and is serving as Chair once again for 2014.

Mary has lived in Charbonneau since 2005 with her husband Allen Bower and seven-year-old son AJ. When she is not designing or reviewing new developments she enjoys spending time with her family, jogging and playing Wii with her son.



WERK Day volunteers from Wilsonville High School hauling

October 2013

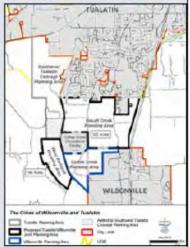
Tualatin and Wilsonville City Councils to Hold Joint Meeting

City Councils of the cities of Tualatin and Wilsonville are scheduled to hold a special joint work session on Tuesday, October 29, 6 p.m., at Wilsonville City Hall, 29799 SW Town Center Loop East. The two elected bodies plan to discuss goals, visions and expected outcomes of the Basalt Creek/West Railroad concept planning process that is being funded primarily by a \$350,000 Metro community planning and development grant.

The 775-acre Basalt Creek/West Railroad area is located between Tualatin and Wilsonville in unincorporated Washington County. Jurisdiction

of the area will ultimately be divided between the two cities, both of which envision it including green spaces, a small amount of retail, employment and residential uses.

Both cities see the area contributing,



along with Wilsonville's Coffee Creek and Tualatin's Southwest Concept Plan areas, to the major "southwest employment area" that is expected to grow substantially in the future. Both councils recently adopted a "Transportation Refinement Plan" for the area. For more information, contact Katie Mangle, Long-Range Planning Manager, at 503-570-1581; mangle@ci.wilsonville.or.us.



BASALT CREEK CONCEPT PLAN

Attachment 10: <u>Mailed/Emailed Updates to</u>

Interested Parties

File Path:

https://www.ci.wilsonville.or.us/sites/default/files/fileattachments/planning/page/84121/c bc_record_attachment.10._mailed_e-mailed_updates.pdf



BASALT CREEK CONCEPT PLAN

Attachment 10: Mailed / E-mailed Updates to Interested

Parties

July 2018 Basalt Creek Concept Plan project update notice



June 29, 2018

Greetings,

Thank you for your continued interest in the Basalt Creek Concept Plan project.

The project team is preparing a final draft concept plan for the Basalt Creek Planning Area for adoption by both Councils in July and August 2018. Please note upcoming meetings scheduled for this project:

Washington County Board of County Commissioners Work Session: July 10, 2018, 8:30 a.m. at Hillsboro Civic Center, 150 E Main Street Hillsboro, OR 97123 (materials will be posted on the County's website at https://www.co.washington.or.us/boc/)

Wilsonville Planning Commission Public Hearing: July 11, 2018, 6PM at City Hall, 29799 SW Town Center Loop E. (materials will be posted on the City's website at http://www.ci.wilsonville.or.us).

Tualatin Planning Commission Meeting (Informational): July 19, 2018 at 6:30PM at the Juanita Pohl Center, 8513 SW Tualatin Road, Tualatin, OR 97062 (materials will be posted one week in advance on the City's website at https://www.tualatinoregon.gov).

Tualatin City Council Public Hearing: July 23, 2018 at 7PM at the Juanita Pohl Center, 8513 SW Tualatin Road, Tualatin, OR 97062 (materials will be posted one week in advance on the City's website at https://www.tualatinoregon.gov).

Please stay current on concept planning news by signing up for email updates on the project website at www.BasaltCreek.com. Information about additional upcoming meetings will be included in future email updates as well as on the website project calendar. If you have questions or desire more information, please feel free to contact:

Miranda Bateschell

Planning Manager

City of Wilsonville | Community Development Dept | Planning Division

Phone: 503-570-1581 | Email: bateschell@ci.wilsonville.or.us

Karen Perl Fox

Senior Long-Range Planner

City of Tualatin | Community Development Dept | Planning Division

Second June 2018 Notice of Upcoming Public Meetings:

Revises and Updates June 2018 Notice to Correct the Time of the June 25, 2018 Tualatin City Council Work Session to 5PM.



June 4, 2018

Greetings,

Thank you for your continued interest in the Basalt Creek Concept Plan project.

The project team is preparing a final draft concept plan for the Basalt Creek Planning Area for adoption by both Councils in August 2018. Please note upcoming meetings scheduled for this project:

Wilsonville Planning Commission Work Session: June 13, 2018, 6PM at City Hall, 29799 SW Town Center Loop E. (materials will be posted on the City website at http://www.ci.wilsonville.or.us).

Wilsonville City Council Work Session: June 18, 2018, 5PM at City Hall, 29799 SW Town Center Loop E. (materials will be posted on the City website at http://www.ci.wilsonville.or.us).

Tualatin City Council Work Session: June 25, 2018 at 5PM at the Juanita Pohl Center, 8513 SW Tualatin Road, Tualatin, OR 97062 (materials will be posted one week in advance on the City's website at https://www.tualatinoregon.gov).

Please stay current on concept planning news by signing up for email updates on the project website at www.BasaltCreek.com. Information about additional upcoming meetings will be included in future email updates as well as on the website project calendar. If you have questions or desire more information, please feel free to contact:

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Karen Perl Fox

Senior Long-Range Planner

City of Tualatin | Community Development Dept | Planning Division

June 2018 Notice of Upcoming Public Meetings



June 1, 2018

Greetings,

Thank you for your continued interest in the Basalt Creek Concept Plan project.

The project team is preparing a final draft concept plan for the Basalt Creek Planning Area for adoption by both Councils in August 2018. Please note upcoming meetings scheduled for this project:

Wilsonville Planning Commission Work Session: June 13, 2018, 6PM at City Hall, 29799 SW Town Center Loop E. (materials will be posted on the City website at http://www.ci.wilsonville.or.us).

Wilsonville City Council Work Session: June 18, 2018, 5PM at City Hall, 29799 SW Town Center Loop E. (materials will be posted on the City website at http://www.ci.wilsonville.or.us).

Tualatin City Council Work Session: June 25, 2018 at 7PM at the Juanita Pohl Center, 8513 SW Tualatin Road, Tualatin, OR 97062 (materials will be posted one week in advance on the City's website at https://www.tualatinoregon.gov).

Please stay current on concept planning news by signing up for email updates on the project website at www.BasaltCreek.com. Information about additional upcoming meetings will be included in future email updates as well as on the website project calendar. If you have questions or desire more information, please feel free to contact:

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Karen Perl Fox

Senior Long-Range Planner

City of Tualatin | Community Development Dept | Planning Division

May 2018 Notice of Upcoming Public Meetings



May 1, 2018

Greetings,

Thank you for your continued interest in the Basalt Creek Concept Plan project.

On April 19, the Metro Council approved the Metro Chief Operating Officer's recommendation regarding the matter of the land use designation for the Central Subarea located within the Basalt Creek Planning Area. That recommendation stated the Central Subarea should be designated as an employment use and is posted on the project website at www.BasaltCreek.com. Meeting materials from the Metro Council meeting are available online at https://oregonmetro.legistar.com/Calendar.aspx.

The project team is preparing a final draft concept plan for the Basalt Creek Planning Area consistent with Metro's decision for adoption by both Councils in August 2018.

Upcoming meetings are scheduled for the adoption process and will be included in future email updates as well as on the website project calendar. Please stay current on concept planning news by signing up for email updates on the project website at www.BasaltCreek.com.

If you have questions or desire more information, please feel free to contact:

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Planning Manager

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Karen Perl Fox

Senior Long-Range Planner

City of Tualatin | Community Development Dept | Planning Division

Second April 2018 Notice of Upcoming Public Meetings



April 6, 2018

Greetings,

Thank you for your continued interest in the Basalt Creek Concept Plan project.

A brief informational Basalt Creek Planning Area item was added to the Wilsonville Planning Commission agenda for April 11, 2018. The purpose of the item is to provide the Planning Commissioners with the Metro Chief Operating Officers (COO) recommendation on the Central Subarea land use within the Basalt Creek Planning Area issued March 27, 2018. Staff will not be making a presentation at that meeting.

Notice regarding the Metro COO recommendation referenced above was previously provided and the document was previously posted and is available on the project website at www.BasaltCreek.com.

The Wilsonville Planning Commission meeting begins at 6PM and is located at 29799 SW Town Center Loop East, Wilsonville, OR 97070. The meeting agenda and materials and attachments for it are posted here:

<u>https://www.ci.wilsonville.or.us/AgendaCenter</u>. The meeting can also be viewed online here: http://www.ci.wilsonville.or.us/207/Planning-Commission.

Please stay current on concept planning news by signing up for email updates on the project website at www.BasaltCreek.com. Information about upcoming meetings will be included in future email updates as well as on the website. Information will also be posted on the individual city's websites at the addresses listed below. If you have questions or desire more information, please feel free to contact:

Miranda Bateschell

Planning Manager

City of Wilsonville | Community Development Dept | Planning Division

Phone: 503-570-1581 | Email: <u>bateschell@ci.wilsonville.or.us</u>

http://www.ci.wilsonville.or.us/865/Basalt-Creek

Karen Perl Fox

Senior Long-Range Planner

City of Tualatin | Community Development Dept | Planning Division

April 2018 Notice of Upcoming Public Meetings



April 3, 2018

Greetings,

Thank you for your continued interest in the Basalt Creek Concept Plan project.

Metro's Chief Operating Officer issued a recommendation to the Metro Council on March 27, 2018 regarding the matter of the land use designation for the Central Subarea located within the Basalt Creek Planning Area. That recommendation is posted on the project website at www.BasaltCreek.com.

A decision by the Metro Council on this issue is anticipated at their meeting on April 19, 2018 between 2 - 5PM. Meeting materials are anticipated to be available online from Metro by end of day April 12th at https://oregonmetro.legistar.com/Calendar.aspx.

Please stay current on concept planning news by signing up for email updates on the project website at www.BasaltCreek.com. Information about upcoming meetings will be included in future email updates as well as on the website project calendar. If you have questions or desire more information, please feel free to contact:

Karen Perl Fox

Senior Long-Range Planner City of Tualatin | Community Development Dept | Planning Division

Phone: 503-691-3027 | Email: kperlfox@ci.tualatin.or.us

Miranda Bateschell

Planning Manager

City of Wilsonville | Community Development Dept | Planning Division

Second February 2018 Notice of Upcoming Public Meetings



February 23, 2018

Greetings,

Thank you for your continued interest in the Basalt Creek Concept Plan project.

The Cities of Tualatin and Wilsonville received a report from Metro staff to its Chief Operation Officer dated February 21, 2018 pertaining to the Basalt Creek Planning Area. This report includes a Metro staff recommendation regarding the specific land use for the Central Subarea and initiates a decision-making process that includes the timeframe for Metro to conclude its decision. The Metro staff report is posted to the City of Tualatin website at www.tualatin.gov/planning on the Basalt Creek Concept Plan page.

Please stay current on concept planning news by signing up for email updates on the project website at www.BasaltCreek.com. Information about upcoming meetings will be included in future email updates as well as on the website project calendar. If you have questions or desire more information, please feel free to contact:

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Senior Long-Range Planner

City of Tualatin | Community Development Dept | Planning Division

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Miranda Bateschell

Planning Manager

City of Wilsonville | Community Development Dept | Planning Division

February 2018 Notice of Upcoming Public Meetings



February 8, 2018

Greetings,

Thank you for your continued interest in the Basalt Creek Concept Plan project.

The Intergovernmental Agreement (IGA) between the Cities of Tualatin, Wilsonville, Metro, and Washington County, that provides for a process to determine the land use designation of the Central Subarea in the Basalt Creek Planning Area, has been fully executed. The fully executed IGA is posted to the project website at www.BasaltCreek.com.

Please stay current on concept planning news by signing up for email updates on the project website at www.BasaltCreek.com. Information about upcoming meetings will be included in future email updates as well as on the website project calendar. If you have questions or desire more information, please feel free to contact:

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Miranda Bateschell

Planning Manager

City of Wilsonville | Community Development Dept | Planning Division

December 2017 Notice of Upcoming Public Meetings



December 1, 2017

Greetings,

Thank you for your continued interest in the Basalt Creek Concept Plan project.

An Intergovernmental Agreement (IGA) between the Cities of Tualatin, Wilsonville, Metro, and Washington County that would provide for a process to determine the land use designation for the Central Subarea of the Basalt Creek Planning Area is proposed for consideration by the two City Councils. The subject draft IGA is posted to the project website at www.BasaltCreek.com and will be posted in advance to the City's websites as noted below:

Tualatin City Council Meeting: December 11, 2017, 7PM at the Juanita Pohl Center, 8513 SW Tualatin Road, Tualatin, OR 97062 (materials will be posted one week in advance on the City's website at https://www.tualatinoregon.gov).

Wilsonville City Council Meeting: December 18, 2017, 7PM at City Hall, 29799 SW Town Center Loop E, Wilsonville, OR 97070 (materials will be posted one week in advance of the meeting on the City's website at http://www.ci.wilsonville.or.us).

Please stay current on concept planning news by signing up for email updates on the project website at www.BasaltCreek.com. Information about upcoming meetings will be included in future email updates as well as on the website project calendar. If you have questions or desire more information, please feel free to contact:

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Miranda Bateschell

Planning Manager

City of Wilsonville | Community Development Dept | Planning Division

Second November 2017 Notice of Upcoming Public Meetings



Greetings,

Thank you for your continued interest in the Basalt Creek Concept Plan project.

An Intergovernmental Agreement (IGA) between the Cities of Tualatin and Wilsonville, Metro and Washington County is proposed for consideration by the two City Councils. The IGA provides a process to determine the land use designation for the Central Subarea of the Basalt Creek Planning Area:

The Tualatin City Council agenda item below has been postponed from tonight's City Council meeting, and will be rescheduled to the December 11, 2017 Tualatin City Council meeting. Tualatin City Council Meeting: November 13, 2017 at 7PM at the Juanita Pohl Center, 8513 SW Tualatin Road, Tualatin, OR 97062 (materials will be posted one week in advance on the City's website at https://www.tualatinoregon.gov).

The Wilsonville City Council agenda item listed below will also be postponed and will be rescheduled to the December 18, 2017 Wilsonville City Council meeting. Wilsonville City Council Meeting: November 20, 2017, 7PM at City Hall, 29799 SW Town Center Loop E, Wilsonville, OR 97070 (materials will be posted one week in advance of the meeting on the City's website at http://www.ci.wilsonville.or.us).

Please stay current on concept planning news by signing up for email updates on the project website at www.BasaltCreek.com. Information about upcoming meetings will be included in future email updates as well as on the website project calendar. If you have questions or desire more information, please feel free to contact:

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Senior Long-Range Planner

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Miranda Bateschell

Planning Manager

City of Wilsonville | Community Development Dept | Planning Division

November 2017 Notice of Upcoming Public Meetings



Greetings,

Thank you for your continued interest in the Basalt Creek Concept Plan project.

An Intergovernmental Agreement (IGA) between the Cities of Tualatin and Wilsonville, Metro and Washington County is proposed for consideration by the two City Councils. The IGA provides a process to determine the land use designation for the Central Subarea of the Basalt Creek Planning Area:

Tualatin City Council Meeting: November 13, 2017 at 7PM at the Juanita Pohl Center, 8513 SW Tualatin Road, Tualatin, OR 97062 (materials will be posted one week in advance on the City's website at https://www.tualatinoregon.gov).

Wilsonville City Council Meeting: November 20, 2017, 7PM at City Hall, 29799 SW Town Center Loop E, Wilsonville, OR 97070 (materials will be posted one week in advance of the meeting on the City's website at http://www.ci.wilsonville.or.us).

Please stay current on concept planning news by signing up for email updates on the project website at www.BasaltCreek.com. Information about upcoming meetings will be included in future email updates as well as on the website project calendar. If you have questions or desire more information, please feel free to contact:

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Senior Long-Range Planner City of Tualatin | Community Development Dept | Planning Division

Phone: 503-691-3027 | Email: kperlfox@ci.tualatin.or.us

Miranda Bateschell

Planning Manager

City of Wilsonville | Community Development Dept | Planning Division

August 2017 Notice of Upcoming Public Meetings



Greetings,

Thank you for your continued interest in the Basalt Creek Concept Plan project.

At the July 24, 2017 Tualatin City Council Work Session, KPFF, Engineering Consultant, presented findings from a development feasibility analysis they prepared, which was commissioned by the City of Wilsonville on the "central subarea" of the Basalt Creek Concept Plan Area. The report is available at

http://www.ci.wilsonville.or.us/DocumentCenter/View/12092

Please stay current on concept planning news by signing up for email updates on the project website at www.BasaltCreek.com. Information about upcoming meetings will be included in future email updates as well as on the website project calendar. If you have questions or desire more information, please feel free to contact:

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Planning Manager

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Phone: 503-570-1581 | Email: <u>bateschell@ci.wilsonville.or.us</u>

Karen Perl Fox

Senior Long-Range Planner

City of Tualatin | Community Development Dept | Planning Division

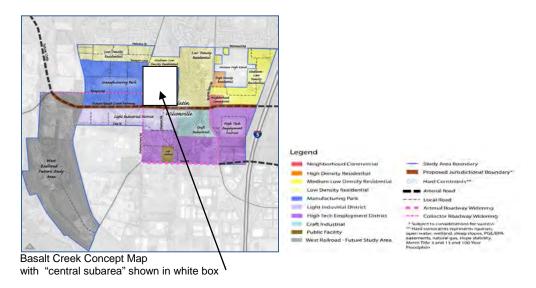
July 2017 Notice of Upcoming Public Meetings



Thank you for your continued interest in the Basalt Creek Concept Plan project. Please note there is an upcoming work session scheduled for this project:

Tualatin City Council Work Session: July 24, 2017, 5PM at the Juanita Pohl Center, 8513 SW Tualatin Road, Tualatin, OR 97062 (materials will be posted on the City's website at https://www.tualatinoregon.gov/city-council/city-council-work-session-127.

KPFF, Engineering Consultant, will present initial findings from a development feasibility analysis they prepared, which was commissioned by the City of Wilsonville on the "central subarea" of the Basalt Creek Concept Plan Area. KPFF provided a similar presentation before the Wilsonville City Council on May 1, 2017.



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Miranda Bateschell

Planning Manager

City of Wilsonville | Community Development Dept | Planning Division

May 2017 Notice of Upcoming Public Meetings



Greetings,

Thank you for your continued interest in the Basalt Creek Concept Plan project. Please note there is a work session scheduled for this project this coming Monday:

Wilsonville City Council Work Session: May 1, 2017, 5PM at City Hall, 29799 SW Town Center Loop E. (materials will be posted on the City website at http://www.ci.wilsonville.or.us).

Wilsonville staff will present initial findings from a development feasibility analysis being conducted on the "central subarea" of the Basalt Creek Plan Area. A draft will be available at the work session and posted online after the meeting. Staff apologizes for the late scheduling and notice of the upcoming work session.

Please stay current on concept planning news by signing up for email updates on the project website at www.BasaltCreek.com. Information about upcoming meetings will be included in future email updates as well as on the website project calendar. If you have questions or desire more information, please feel free to contact:

Miranda Bateschell

Long Range Planning Manager

City of Wilsonville | Community Development Dept | Planning Division

Phone: 503-570-1581 | Email: <u>bateschell@ci.wilsonville.or.us</u>

Karen Perl Fox

Senior Planner

City of Tualatin | Community Development Dept | Planning Division

April 2017 Notice of Upcoming Public Meetings



Greetings,

Thank you for your continued interest in the Basalt Creek Concept Plan project.

Wilsonville Council will discuss the Basalt Creek Concept Plan next week:

Wilsonville City Council Work Session: April 17, 2017, 5PM at City Hall, 29799 SW Town Center Loop E. (materials are posted on the City website at http://www.ci.wilsonville.or.us).

Please stay current on concept planning news by signing up for email updates on the project website at www.BasaltCreek.com. Information about upcoming meetings will be included in future email updates as well as on the website project calendar. If you have questions or desire more information, please feel free to contact:

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Senior Planner

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Miranda Bateschell

Long Range Planning Manager

City of Wilsonville | Community Development Dept | Planning Division

March 2017 Notice of Upcoming Public Meetings



Greetings,

Thank you for your continued interest in the Basalt Creek Concept Plan project.

Wilsonville staff will give a presentation at the Wilsonville City Council work session on Monday, March 20, 2017.

Wilsonville City Council Work Session: March 20, 2017, 5PM at City Hall, 29799 SW Town Center Loop E. (materials will be posted on City website at http://www.ci.wilsonville.or.us).

The Wilsonville City Council work session follows the Tualatin City Council work session held on February 13, 2017 in which the Tualatin Council provided the following direction: 1) Show the Basalt Creek central subarea as residential on the Tualatin side of the anticipated jurisdictional boundary (see map) 2) Work with Intergovernmental Agreement (IGA) partners including City of Wilsonville, Washington County and Metro, and 3) Discuss the possibility of a WES station with Tri-Met near the WES line. Please stay current on concept planning news by signing up for email updates on the project website at www.BasaltCreek.com. Information about upcoming meetings will be included in future email updates as well as on the website project calendar. If you have questions or desire more information, please feel free to contact:

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Miranda Bateschell

Long Range Planning Manager

City of Wilsonville | Community Development Dept | Planning Division

February 2017 Notice of Upcoming Public Meetings



Greetings,

Thank you for your continued interest in the Basalt Creek Concept Plan project.

Tualatin staff will give a presentation at the Tualatin City Council Work Session on February 13, 2017. The primary focus will be the Council's direction on the Basalt Creek Land Use Concept Map dated October 2016. This meeting follows the Council's recent receipt of a site evaluation of the "central subarea" in the Basalt Creek Planning Area, which was commissioned by Washington County, dated January 11, 2017. This study considered the feasibility of employment land use in the central subarea north of the anticipated jurisdictional boundary.

Tualatin City Council Work Session: February 13, 2017, 5PM, at the Juanita Pohl Center (materials posted February 6, 2017 on City website at www.tualatinoregon.gov).

Please stay current on concept planning news by signing up for email updates on the project website at www.BasaltCreek.com. Information about upcoming meetings will be included in future email updates as well as on the website project calendar. If you have questions or desire more information, please feel free to contact:

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Miranda Bateschell

Long Range Planning Manager

City of Wilsonville | Community Development Dept | Planning Division

December 2016 Notice of Upcoming Public Meetings



Greetings,

Thank you for your continued interest in the Basalt Creek Concept Plan project.

Tualatin staff will give a presentation before the Tualatin Planning Commission on December 15, 2016. The primary focus will be to report on the exploration of the Basalt Creek central subarea on the Tualatin side of the jurisdictional boundary per Tualatin's Council direction at their October 10, 2016 Work Session. The project team continues to make progress moving towards finalization of the Concept Plan.

Tualatin Planning Commission Meeting: December 15, 2016, 6:30 PM, at the Juanita Pohl Center (materials will be posted on the City website at www.tualatinoregon.gov).

Please stay current on concept planning news by signing up for email updates on the project website at www.BasaltCreek.com. Information about upcoming meetings will be included in future email updates as well as on the website project calendar. If you have questions or desire more information, please feel free to contact:

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Miranda Bateschell

Long Range Planning Manager

City of Wilsonville | Community Development Dept | Planning Division

Second November – December 2016 Notice of Upcoming Public Meetings



Greetings,

Thank you for your continued interest in the Basalt Creek Concept Plan project.

This notice is a follow-up to our earlier notice this month. Tualatin staff will give a presentation at the Tualatin Council Work Session on November 28, 2016. The primary focus will be to follow-up regarding the Council's direction to explore the central subarea on the Tualatin side of the jurisdictional boundary from the October 10, 2016 Council Work Session. The project team continues to make progress moving towards finalization of the Concept Plan.

Tualatin City Council Work Session: November 28, 2016, 5PM, at the Juanita Pohl Center (materials posted November 21, 2016 on City website at www.tualatinoregon.gov).

Please stay current on concept planning news by signing up for email updates on the project website at www.BasaltCreek.com. Information about upcoming meetings will be included in future email updates as well as on the website project calendar. If you have questions or desire more information, please feel free to contact:

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Miranda Bateschell

Long Range Planning Manager

City of Wilsonville | Community Development Dept | Planning Division

November – December 2016 Notice of Upcoming Public Meetings



Greetings,

Thank you for your continued interest in the Basalt Creek Concept Plan project.

In November through December, the Cities of Tualatin and Wilsonville anticipate follow up presentations before their respective Councils at a Council Work Session. The dates have not yet been finalized. Another notice will be sent out when the dates are available. The primary focus will be discussion of possible refinements to the land use map in consideration of public feedback. The project team continues to make progress on the Considerations for Success and moving towards finalization of the Concept Plan. An update on this progress will be provided at upcoming Council Work Sessions.

Please stay current on concept planning news by signing up for email updates on the project website at www.BasaltCreek.com. Information about upcoming meetings will be included in future email updates as well as on the website project calendar. If you have questions or desire more information, please feel free to contact:

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Senior Planner

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Miranda Bateschell

Long Range Planning Manager

City of Wilsonville | Community Development Dept | Planning Division

Second October 2016 Notice of Upcoming Public Meetings



Greetings,

Thank you for your continued interest in the Basalt Creek Concept Plan project.

The City of Tualatin has an item scheduled before their Planning Commission on October 20, 2016. The primary focus is discussion of proposed refinements to the Concept Map moving toward finalization of the Concept Plan considering public feedback, further work by staff, consultant and direction from its City Council.

• Tualatin City Planning Commission Meeting: October 20, 2016, 6:30PM, at the Juanita Pohl Center (materials are on the City website at www.tualatinoregon.gov).

Please stay current on concept planning news by signing up for email updates on the project website at www.BasaltCreek.com. Information about upcoming meetings will be included in future email updates as well as on the website project calendar. If you have questions or desire more information, please feel free to contact:

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Miranda Bateschell

Long Range Planning Manager

City of Wilsonville | Community Development Dept | Planning Division

October 2016 Notice of Upcoming Public Meetings



Greetings,

Thank you for your continued interest in the Basalt Creek Concept Plan project.

In October, the Cities of Tualatin and Wilsonville will each have an item scheduled before their respective Councils at a Council Work Session. The primary focus is discussion of proposed refinements to the Concept Map moving toward finalization of the Concept Plan considering public feedback, further work by staff and consultant and Council direction. Each City will also provide a project update.

- Tualatin City Council Work Session: October 10, 2016, 5PM, at the Juanita Pohl Center (materials posted October 3, 2016 on City website at www.tualatinoregon.gov).
- Wilsonville City Council Work Session: October 17, 2016, 5PM at Wilsonville City Hall (materials posted October 10, 2016 on City website at www.ci.wilsonville.or.us).

Please stay current on concept planning news by signing up for email updates on the project website at www.BasaltCreek.com. Information about upcoming meetings will be included in future email updates as well as on the website project calendar. If you have questions or desire more information, please feel free to contact:

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Miranda Bateschell

Long Range Planning Manager

City of Wilsonville | Community Development Dept | Planning Division

September 2016 Notice of Upcoming Public Meetings



Greetings,

Thank you for your continued interest in the Basalt Creek Concept Plan project.

Wilsonville and Tualatin have continued to work on final modifications to the land use model to reflect the Councils' visions and to finalize the land use concept.

In September, the Cities of Tualatin and Wilsonville each have an item scheduled before their respective Councils to extend the Intergovernmental Agreement between the two cities and Washington County that allows us to continue and finish this planning work:

- Tualatin City Council Meeting: September 12, 2016, 7PM, at the Juanita Pohl Center (materials posted September 6, 2016).
- Wilsonville City Council Meeting: September 19, 2016, 7PM at Wilsonville City Hall (materials posted September 12, 2016).

In addition, each City is planning to meet with their Council during Fall 2016 followed by a Joint Meeting of the Councils. The Project Management Team is working on dates for the fall meetings. Please stay current on concept planning news by signing up for email updates on the project website at www.BasaltCreek.com. Information about upcoming meetings will be included in future email updates as well as on the website project calendar. If you have questions or desire more information, please feel free to contact:

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Miranda Bateschell

Long Range Planning Manager

City of Wilsonville | Community Development Dept | Planning Division

August 2016 Notice of Upcoming Public Meetings



Greetings,

Thank you for your continued interest in the Basalt Creek Concept Plan project.

Wilsonville and Tualatin have continued to work on final modifications to the land use model to reflect the Councils' visions and to finalize the land use concept. Each City is planning to meet with their Council in the Fall 2016 followed by a Joint Meeting of the Councils. The Project Management Team is working on a calendar of upcoming meeting dates.

Please stay current on concept planning news by signing up for email updates on the project website at www.BasaltCreek.com. Information about upcoming meetings will be included in future email updates as well as on the website project calendar. If you have questions or desire more information, please feel free to contact:

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Miranda Bateschell

Long Range Planning Manager

City of Wilsonville | Community Development Dept | Planning Division

July 2016 Notice of Upcoming Public Meetings



Greetings,

Thank you for your continued interest in the Basalt Creek Concept Plan project. Wilsonville and Tualatin staff each met with their City Councils in June 2016 regarding the land uses in the planning area, and we are working on final modifications to the model to reflect the Councils' visions and to finalize the land use concept.

Please stay current on concept planning news by signing up for email updates on the project website at www.BasaltCreek.com. Information about upcoming meetings will be included in future email updates as well as on the website project calendar. If you have questions or desire more information, please feel free to contact:

Karen Perl Fox

Senior Planner

City of Tualatin | Community Development Dept | Planning Division

Phone: 503-691-3027 | Email: kperlfox@ci.tualatin.or.us

Miranda Bateschell

Long Range Planning Manager

City of Wilsonville | Community Development Dept | Planning Division

June 2016 Notice of Upcoming Public Meetings



Greetings,

Thank you for your continued interest in the Basalt Creek Concept Plan project.

Upcoming:

- Wilsonville City Council Work Session: June 6, 2016 (Open to the public)
 - Briefing related to Concept Plan
 - o Materials currently available at www.ci.wilsonville.or.us
- Tualatin City Council Work Session: June 13, 2016 (Open to the public)
 - Briefing related to Concept Plan
 - o Materials available June 6, 2016 at www.tualatinoregon.gov/citycouncil

Please stay current on concept planning news by signing up for email updates on the project website at www.BasaltCreek.com. Information about upcoming meetings will be included in future email updates as well as on the website project calendar. If you have questions or desire more information, please feel free to contact:

Karen Perl Fox

Senior Planner

City of Tualatin | Community Development Dept | Planning Division

Phone: 503-691-3027 | Email: kperlfox@ci.tualatin.or.us

Miranda Bateschell

Long Range Planning Manager

City of Wilsonville | Community Development Dept | Planning Division



Thank you for your continued interest in the Basalt Creek Concept Plan project.

The Basalt Creek open house was held on April 28th and it was a huge success. Thank you to everyone who attended the event. If you were unable to attend the event, you can review the open house materials on the project website at www.basaltcreek.com.

Future Engagement Opportunities:

- Tualatin Planning Commission: Briefing of the Open House in April. May 19, 2016 at 6:30 pm, Juanita Pohl Center (meeting material posted May 16, 2016)
- Tualatin City Council Work Session: Fall 2016
- Wilsonville City Council Work Session: Fall 2016

Please stay current on concept planning news by signing up for email updates on the project website at www.BasaltCreek.com. Information about upcoming meetings will be included in future email updates as well as on the website project calendar. If you have questions or desire more information, please feel free to contact:

Karen Perl Fox

Senior Planner

City of Tualatin | Community Development Dept | Planning Division

Phone: 503-691-3027 | Email: kperlfox@ci.tualatin.or.us

Miranda Bateschell

Long Range Planning Manager

City of Wilsonville | Community Development Dept | Planning Division



Thank you for your continued interest in the Basalt Creek Concept Plan project.

The Project Management Team start discussing Parks and Open Space, Schools, Bike, Pedestrian and Trails, and Transit with the project's Agency Review Team. The Project Management team is also preparing for a public open house on the preferred alternative and to develop a draft Basalt Creek Concept Plan. We hope to see you at the open house!

Future Engagement Opportunities:

• **Public Open House**: April 28, 2016 from 5:30 pm – 7:30 pm at the Juanita Pohl Center (8513 SW Tualatin Rd Tualatin, OR 97062).

Please stay current on concept planning news by signing up for email updates on the project website at www.BasaltCreek.com. Information about upcoming meetings will be included in future email updates as well as on the website project calendar. If you have questions or desire more information, please feel free to contact:

Aquilla Hurd-Ravich

Planner Manager

City of Tualatin | Community Development Dept | Planning Division

Phone: 503-691-3028 | Email: ahurd-ravich@ci.tualatin.or.us



Thank you for your continued interest in the Basalt Creek Concept Plan project.

The Project Management Team is reaching out to partner agencies for input. Now that the preferred jurisdictional boundary has been determined it is time to start discussing Parks and Open Space, Schools, Bike, Pedestrian and Trails, and Transit.

The Project Management Team is also busy laying out next steps to prepare for a public open house on the preferred alternative and to develop a draft Basalt Creek Concept Plan. Additionally, the Project Management Team is finalizing an updated project schedule. Stay tuned for updates.

<u>Upcoming Presentations</u>:

- Wilsonville City Council Work Session: Resolution acknowledging the agreements of the December 2015 Joint Council meeting, and briefing of the upcoming project schedule. March 7, 2016, 5:00pm, Wilsonville City Hall (meeting materials posted February 29, 2016).
- Tualatin City Council Work Session: Resolution acknowledging the agreements of the December 2015 Joint Council meeting, and briefing of the upcoming project schedule. March 14, 5:00 pm, Juanita Pohl Center (meeting materials posted March 7, 2016)

Future Engagement Opportunities:

 Public Open House: A Public Open House is tentatively being planned for April; however, a date has not yet been determined for this event. More information will be available in future email updates.

Please stay current on concept planning news by signing up for email updates on the project website at www.BasaltCreek.com. Information about upcoming meetings will be included in future email updates as well as on the website project calendar. If you have questions or desire more information, please feel free to contact:

Aquilla Hurd-Ravich

Planner Manager

City of Tualatin | Community Development Dept | Planning Division

Phone: 503-691-3028 | Email: ahurd-ravich@ci.tualatin.or.us



Happy New Year,

Thank you for your continued interest in the Basalt Creek Concept Plan project.

On December 16, 2015 the Tualatin and Wilsonville City Councils met and agreed upon a preferred jurisdictional boundary option along the future Basalt Creek Parkway (just south of Tonquin Road). The two Councils also discussed considerations that will lead to a successful community and agreed these issues need to be incorporated into the Basalt Creek Concept Plan.

With this clear direction, the Project Management Team is busy laying out next steps to prepare for a public open house on the preferred alternative and to develop a draft Basalt Creek Concept Plan. Stay tuned for updates.

Upcoming Presentations:

- Wilsonville Planning Commission Meeting: Briefing of the Joint Council Meeting in December. January 13, 2016, 6:00pm, Wilsonville City Hall (meeting materials posted January 6, 2016).
- Tualatin Planning Commission: Briefing of the Joint Council Meeting in December. January 21, 6:30 pm, Juanita Pohl Center (meeting materials posted January 14, 2016)

Future Engagement Opportunities:

Public Open House: A Public Open House is still being planned; however, a
date has not yet been determined for this event. More information will be
available in future email updates.

Please stay current on concept planning news by signing up for email updates on the project website at www.BasaltCreek.com. Information about upcoming meetings will be included in future email updates as well as on the website project calendar. If you have questions or desire more information, please feel free to contact:

Aquilla Hurd-Ravich

Planner Manager

City of Tualatin | Community Development Dept | Planning Division

Phone: 503-691-3028 | Email: ahurd-ravich@ci.tualatin.or.us



Thank you for your continued interest in the Basalt Creek Concept Plan project.

Since the June 17, 2015 Joint City Council meeting, the Cities of Tualatin and Wilsonville have considered alternative options for a jurisdictional boundary and land uses in the Basalt Creek planning area. The goal of these discussions is to identify a preferred alternative that satisfies the aspirations of both Cities and provides the best solution for the local community while meeting regional government requirements for concept planning. A meeting is scheduled for December 16 for the Tualatin and Wilsonville City Councils to continue the discussion of jurisdictional boundary and land use options for the planning area.

<u>Upcoming Presentations</u>:

• **Joint Tualatin and Wilsonville City Council Meeting**: December 16, 6:00-8:00 pm, Wilsonville City Hall (meeting materials posted December 9).

Future Engagement Opportunities:

Public Open House: A Public Open House is still being planned; however, a
date has not yet been determined for this event. More information will be
available in future email updates.

Please stay current on concept planning news by signing up for email updates on the project website at www.BasaltCreek.com. Information about upcoming meetings will be included in future email updates as well as on the website project calendar. If you have questions or desire more information, please feel free to contact:

Cindy Luxhoj Hahn, AICP

Associate Planner

City of Tualatin | Community Development Dept | Planning Division

Phone: 503-691-3029 | Email: chahn@ci.tualatin.or.us



Thank you for your continued interest in the Basalt Creek Concept Plan project.

At the June 17, 2015 Joint City Council meeting, the Councils reviewed two options for a jurisdictional boundary and land uses in the Basalt Creek planning area. Since that meeting, the Cities of Tualatin and Wilsonville have considered alternative options with the goal of identifying a preferred alternative that satisfies the aspirations of both Cities and provides the best solution for the local community while meeting regional government requirements for concept planning. A meeting has been scheduled for the Tualatin and Wilsonville City Councils to continue the discussion of jurisdictional boundary and land use options for the planning area.

Upcoming Presentations:

• **Joint Tualatin and Wilsonville City Council Meeting**: December 16, 6:00-8:00 pm, Wilsonville City Hall (meeting materials posted December 9).

Future Engagement Opportunities:

Public Open House: A Public Open House is still being planned; however, a
date has not yet been determined for this event. More information will be
available in future email updates.

Please stay current on concept planning news by signing up for email updates on the project website at www.BasaltCreek.com. Information about upcoming meetings will be included in future email updates as well as on the website project calendar. If you have questions or desire more information, please feel free to contact:

Cindy Luxhoj Hahn, AICP

Associate Planner

City of Tualatin | Community Development Dept | Planning Division

Phone: 503-691-3029 | Email: chahn@ci.tualatin.or.us



Thank you for your continued interest in this project. The discussion by the Tualatin City Council about boundary and land use options has been postponed from the scheduled October 12, 2015 work session. A new date has not yet been determined. This is a follow up conversation to the discussion held during the August 24, 2015 work session. The project team is working to schedule the postponed Joint Council meeting and Public Open House. Information will be posted on the project website once dates are confirmed.

Upcoming Presentations:

<u>POSTPONED</u> Tualatin City Council (Work Session): Presentation at the
October 12 work session has been postponed. (You will be notified of a new date
when it is scheduled.)

Underway:

• **Public Open House** – A Public Open House is still being planned, however, a date has not yet been determined for this event. More detailed information will be available in future email updates.

If you haven't already, please sign up for email updates on the project website at www.BasaltCreek.com. Information about upcoming meetings will be included in future email updates as well as on the website project calendar. If you have questions or desire more information, please feel free to contact:

Cindy Luxhoj Hahn, AICP

Associate Planner

City of Tualatin | Community Development Dept | Planning Division

Phone: 503-691-3029 | Email: chahn@ci.tualatin.or.us

Supplemental September Notice of Upcoming Public Meetings



Greetings,

The Tualatin City Council will continue the discussion about boundary and land use options at the September 14, 2015 work session. This is a follow up conversation to the discussion held during the August 24, 2015 work session.

<u>Upcoming Presentations</u>:

- <u>CANCELLED</u> Joint Tualatin and Wilsonville City Council Meeting: September 8, 6:00-8:00 pm, Wilsonville City Hall
- Tualatin City Council (Work Session): September 14, 5:00pm, Juanita Pohl Center
- Tualatin Planning Commission: September 17, 6:30 pm, Juanita Pohl Center (meeting materials posted September 10) Project Update

Underway:

• **Public Open House** – A Public Open House is planned for Fall, where you will be asked to give input on the preferred alternative. More detailed information will be available in future email updates.

Thank you for your continued interest in this project. If you haven't already, please sign up for email updates <u>here</u>. For upcoming meetings, please view the project <u>calendar</u>. If you have questions or desire more information, please feel free to contact:

Cindy Luxhoj Hahn, AICP

Associate Planner

City of Tualatin | Community Development Dept | Planning Division



The Basalt Creek project team has decided to delay the Joint Council meeting, previously scheduled for September 8, 2015, due to several Councilors from each city being unable to attend. This schedule change also allows more time for analysis of boundary and land use options in the Basalt Creek Planning Area. A new meeting date will be posted as soon as it is confirmed.

Prior to this rescheduling, a boundary option was developed based on direction received from both City Councils in June. On August 17, 2015, that boundary option was presented to Wilsonville Council (materials are posted on the City website). Tualatin Council reviewed the same material on August 24, 2015 (see the City website for packet materials). The presentation from the June 17, 2015, Joint Council meeting is available on the project website at www.BasaltCreek.com.

Upcoming Presentations:

- <u>CANCELLED</u> Joint Tualatin and Wilsonville City Council Meeting: September 8, 6:00-8:00 pm, Wilsonville City Hall
- Tualatin Planning Commission: September 17, 6:30 pm, Juanita Pohl Center (meeting materials posted September 10) Project Update

Underway:

• **Public Open House** – A Public Open House is planned for Fall, where you will be asked to give input on the preferred alternative. More detailed information will be available in future updates.

Thank you for your continued interest in this project. If you haven't already, please sign up for email updates on the project website at www.BasaltCreek.com. For upcoming meetings, please view the calendar on the project website. If you have questions or desire more information, please feel free to contact:

Cindy Luxhoj Hahn, AICP

Associate Planner

City of Tualatin | Community Development Dept | Planning Division



The project team is making progress on developing a preferred alternative for a jurisdictional boundary and potential land uses for the Basalt Creek planning area based on direction received at the June 17 Joint Tualatin and Wilsonville City Council meeting. This preferred alternative will be the focus of the Basalt Creek Concept Plan. Please visit the project website at www.basaltcreek.com for the latest information.

Upcoming Presentations:

- Wilsonville Planning Commission: August 12, 6:00 pm, Wilsonville City Hall (meeting materials posted August 5) Project Update
- Wilsonville City Council (Work Session): August 17, 5:00 pm, Wilsonville City Hall (meeting materials posted August 10) Project Update and Joint Council Preview
- Tualatin City Council (Work Session): August 24, 5:00 pm, Juanita Pohl Center (meeting materials posted August 17) Project Update and Joint Council Preview
- **Joint Tualatin and Wilsonville City Council Meeting:** September 8, 6:00-8:00 pm, Wilsonville City Hall (meeting materials posted September 1) Presentation and discussion of a preferred alternative for a jurisdictional boundary and potential land uses.
- Tualatin Planning Commission: September 17, 6:30 pm, Juanita Pohl Center (meeting materials posted September 10) Project Update

Underway:

• **Public Open House** – A Public Open House is planned for Fall, where you will be asked to give input on the preferred alternative. More detailed information will be available in future email updates.

Thank you for your continued interest in this project. If you have questions or desire more information, please feel free to contact:

Cindy Luxhoi Hahn, AICP

Associate Planner

City of Tualatin | Community Development Dept | Planning Division



At the Joint Tualatin Wilsonville City Council meeting on June 17, the two City Councils discussed potential land uses and a jurisdictional boundary for the Basalt Creek planning area. The project team is now using the feedback from this meeting to address critical questions and develop a preferred alternative for the planning area, which will be the focus of the Basalt Creek Concept Plan. The project website at www.basaltcreek.com has been updated with materials from the Joint City Council meeting. Please visit for the latest information about this exciting and challenging project.

The project team has received numerous calls and emails asking about the status of planning for Basalt Creek. We are pleased that there is continued interest. A set of <u>Frequently Asked Questions (FAQ) has been posted on the project website</u> and the team encourages you to visit for more information about concept planning, annexation and development, and roads, utilities and other services.

Upcoming Presentations:

• Wilsonville Planning Commission: July 8, 6:00 pm, Wilsonville City Hall (meeting materials posted July 1) – Project Update

City Council work session meetings may be added in July and August, as the two cities refine a preferred alternative.

Underway:

• **Public Open House** – A Public Open House is planned for Fall, where you will be asked to give input on the preferred alternative. More detailed information will be available in future email updates.

Thank you for your continued interest in this project. If you have questions or desire more information, please feel free to contact:

Cindy Luxhoj Hahn, AICP

Associate Planner

City of Tualatin | Community Development Dept | Planning Division



We are pleased to report that the project team will be presenting alternative options for future land use and a jurisdictional boundary in the Basalt Creek planning area to individual City Councils and the Joint City Council in June. Refined infrastructure cost estimates for serving the area also will be presented. Feedback from these meetings will be used to develop a preferred land use alternative, which will be the focus of the Basalt Creek Concept Plan. Be sure to check the project website at www.basaltcreek.com for the latest information about this exciting and challenging project.

Upcoming Presentations:

To prepare for the upcoming Joint City Council meeting on June 17, the Tualatin and Wilsonville City Councils are being briefed on future land use alternatives and jurisdictional boundary options, as well as refined infrastructure cost estimates for serving the planning area. Scheduled presentations include:

- Tualatin City Council (Work Session): June 8, 5:00 pm, Juanita Pohl Center (meeting materials posted June 1)
- Wilsonville City Council (Work Session): Rescheduled to June 15, 5:00 pm, Wilsonville City Hall (meeting materials posted June 8)
- **Joint Tualatin and Wilsonville City Council Meeting**: June 17, 6:00-8:00 pm, Tualatin Police Training Room. Alternative land use scenarios will be presented and discussed.

Underway:

 Public Open House – Planning is underway for a Public Open House in August/September, following the Joint City Council Meeting, where you will be asked to give input on a preferred land use alternative for the planning area. More detailed information will be available in future email updates.

Thank you for your continued interest in this project. If you have questions or desire more information, please feel free to contact:

Cindy Luxhoj Hahn, AICP

Associate Planner

City of Tualatin | Community Development Dept | Planning Division



We continue to make progress on developing alternative options for future land use and infrastructure in the Basalt Creek planning area. Information gathered about the depth and hardness of bedrock was used to develop sanitary sewer alternatives and refined cost estimates for serving the area. This information is helping to identify possible service boundaries and development potential for future land use scenarios.

Your input on these land uses will be used to assist the creation of a preferred alternative for future development. Be sure to check the project website at www.basaltcreek.com for the latest information.

Upcoming Presentations:

The Tualatin and Wilsonville City Councils are being briefed on the most efficient option for providing sewer service to the planning area. In addition, to prepare for the upcoming Joint City Council meeting, the Tualatin and Wilsonville City Councils will also be briefed on future land use alternatives. Scheduled presentations include:

- Tualatin City Council (Work Session): May 11, 5:00 pm, Juanita Pohl Center (meeting materials posted May 4)
- Wilsonville City Council (Work Session): June 1, 5:00 pm, Wilsonville City Hall (meeting materials posted May 25)
- Tualatin City Council (Work Session): June 8, 5:00 pm, Juanita Pohl Center (meeting materials posted June 1)
- **Joint Tualatin and Wilsonville City Council Meeting**: June 17, 6:00-8:00 pm, Tualatin Police Training Room. Alternative land use scenarios will be presented and discussed.

Underway:

 Public Open House – Planning is underway for a Public Open House in August/September, following the Joint City Council Meeting, where you will be asked to give input on a preferred land use alternative for the planning area. More detailed information will be available in future email updates.

Thank you for your continued interest in this project. If you have questions or desire more information, please feel free to contact:

Cindy Luxhoj Hahn, AICP

Associate Planner

City of Tualatin | Community Development Dept | Planning Division



Work continues on alternative options for future land use and infrastructure development in the Basalt Creek planning area. In March, the project team completed geotechnical work to better understand the depth and hardness of bedrock in the Basalt Creek planning area. This information will be used to develop sanitary sewer alternatives and cost estimates for serving the area, which will in turn help identify potential land uses and service boundaries.

Your input on these land uses will be used to assist the creation of a preferred alternative for future development. Be sure to check the project website at www.basaltcreek.com for the latest information.

Upcoming Presentations:

Project work continues to focus on determining the best way to provide sewer service to the planning area and gathering information about revenue, fees and standards to help create the various development types that will be used in future land use scenarios. There is one presentation scheduled in April:

• Wilsonville City Council (Work Session): April 20, 5:00 pm, Wilsonville City Hall (meeting materials posted April 13)

A Joint City Council meeting has been scheduled for June 17 and a Public Open House will occur in August/September. More detailed information will be available in future email updates.

Underway:

- **Joint City Council Meeting** Alternative scenarios will be evaluated and presented to the Tualatin and Wilsonville Joint City Council on June 17 for their input.
- **Public Open House** Planning is underway for a Public Open House in August/September, following the Joint City Council Meeting, where you will be asked to give input on a preferred land use alternative for the planning area.

Thank you for your continued interest in this project. If you have questions or desire more information, please feel free to contact:

Cindy Luxhoj Hahn, AICP

Associate Planner

City of Tualatin | Community Development Dept | Planning Division



We are happy to report that progress continues to be made on alternative options for future land use and infrastructure development in the Basalt Creek planning area. Your input, to date and at an Open House in June/July, will be used to help create a preferred alternative for future development. Be sure to check the project website at www.basaltcreek.com for the latest information.

Upcoming Presentations:

Recent project work has focused on determining the best way to provide sewer service to the planning area and gathering information about revenue, fees and standards to help create the various development types that will be used in future land use scenarios. There are no presentations scheduled in March.

A Joint City Council meeting has been scheduled for June 17 and a Public Open House will occur in June/July. More detailed information will be available in future email updates.

Underway:

- **Joint City Council Meeting** Alternative scenarios will be evaluated and presented to the Tualatin and Wilsonville Joint City Council on June 17 for their input.
- Public Open House Planning is underway for a Public Open House in June/July, following the Joint City Council Meeting, where you will be asked to share your ideas about the land use and infrastructure alternatives to help create a preferred alternative for the planning area.

Thank you for your continued interest in this project. If you have questions or desire more information, please feel free to contact:

Cindy Luxhoj Hahn, AICP

Associate Planner

City of Tualatin | Community Development Dept | Planning Division



We are happy to report that progress is being made on alternative options for future land use and infrastructure development in the Basalt Creek planning area. Your input, to date and at an upcoming open house, will be used to help create a preferred alternative for future development. Be sure to check the project website at www.basaltcreek.com for the latest information.

Upcoming Presentations:

Since the Joint City Council meeting in December, project work has focused on determining the best way to provide sewer service to the planning area and gathering information about revenue, fees and standards to help create the various development types that will be used in future land use scenarios. There is one presentation scheduled in February:

• Tualatin City Council (Work Session): February 23, 5:00 pm, Juanita Pohl Center (meeting materials posted February 16)

Because of the need to analyze sewer service in more detail, the Joint City Council meeting originally scheduled for February 24 is being rescheduled to April/May and the Public Open House that was planned for March 31 will now occur in May/June. More detailed information will be available in future email updates.

Underway:

- Joint City Council Meeting Alternative scenarios will be evaluated using the Envision Tomorrow planning tool and presented to the Tualatin and Wilsonville Joint City Council in April/May for their input.
- **Public Open House** Planning is underway for a Public Open House in May/June where you will be asked to share your ideas about the land use and infrastructure alternatives to help create a preferred alternative for the planning area.

Thank you for your continued interest in this project. If you have questions or desire more information, please feel free to contact:

Cindy Luxhoj Hahn, AICP

Associate Planner

City of Tualatin | Community Development Dept | Planning Division



Happy New Year from the Basalt Creek Concept Plan project team! Over the holidays we have been busy with preliminary work on alternative options for future land use and infrastructure development in the planning area. With your input, these different scenarios will be used to help create a preferred alternative for future development. Be sure to check the project website at www.basaltcreek.com for the latest information.

Upcoming Presentations:

There are no presentations scheduled for January, but rest assured that the project team is working hard on the alternative scenarios. These will be evaluated using the Envision Tomorrow planning tool and presented to the Tualatin and Wilsonville Joint City Council in late February for their input.

Underway:

• **Public Open House** – Planning is underway for a Public Open House in March where you will be asked to share your ideas about all of the land use and infrastructure alternatives to help create a preferred alternative for the planning area.

Thank you for your continued interest in this project. If you have questions or desire more information, please feel free to contact:

Cindy Luxhoj Hahn, AICP

Associate Planner

City of Tualatin | Community Development Dept | Planning Division



The project team is happy to report that a base case land use scenario has been developed for the Basalt Creek Concept Plan area! This scenario is the first of three that will be developed during the course of the project to explore different opportunities and to help create a preferred alternative for future development of the area. Be sure to check the project website at www.basaltcreek.com for the latest information.

Upcoming Presentations:

There are several presentations scheduled for December:

- Wilsonville City Council (Work Session): December 1, 5:00 pm, Wilsonville City Hall (meeting materials posted November 24)
- Joint Tualatin & Wilsonville City Council Meeting: December 2, 6:00 pm, Wilsonville City Hall, Council Chambers (meeting materials will be posted November 25 on the <u>Tualatin</u> and <u>Wilsonville</u> websites)
- Tualatin Parks Advisory Committee (TPARK): December 9, Community Services Administration Building (meeting materials posted December 2)
- Wilsonville Planning Commission: December 10, 6:00 pm, Wilsonville City Hall (meeting materials posted December 3)
- Tualatin Planning Commission: December 18, 6:30 pm, Juanita Pohl Center (meeting materials posted December 11)

Underway:

- Land Use Alternatives The project team will start to develop two alternative options for land use and infrastructure early next year. These will be evaluated using the Envision Tomorrow planning tool over the next several months.
- **Public Open House** You will be asked to share your ideas about the alternatives at a Public Open House planned for March 2015.

Thank you for your continued interest in this project. If you have questions or desire more information, please feel free to contact:

Cindy Luxhoj Hahn, AICP

Associate Planner

City of Tualatin | Community Development Dept | Planning Division



The Basalt Creek Concept Plan project is moving right along! Be sure to check the project website at www.basaltcreek.com for new information. New posts include Themes, Frequently Asked Questions (FAQ), Workshop and Online Survey Results, and Goals and Outcomes.

Upcoming Presentations:

There are a few presentations scheduled for November and early December:

- Tualatin City Council (Work Session): November 24, 5:00 pm, Juanita Pohl Center, Tualatin (meeting materials posted <u>November 17</u>)
- Wilsonville City Council (Work Session): December 1, 5:00 pm, Wilsonville City Hall (meeting materials posted November 24)
- Joint Tualatin & Wilsonville City Council Meeting: December 2, 6:00 pm, Wilsonville City Hall, Council Chambers (meeting materials will be posted November 25 on the <u>Tualatin</u> and <u>Wilsonville</u> websites)

Underway:

- Base Case Scenario for Land Use and Infrastructure The project team has developed a 'base case' land use scenario for purposes of analyzing the infrastructure (public utilities and transportation) needs of the area. This information will be presented to the Joint Tualatin & Wilsonville City Councils at their meeting on December 2. This scenario, along with two alternative options to be developed early next year, will be evaluated using the Envision Tomorrow planning tool over the next several months.
- Public Open House You will be asked to share your ideas about the alternatives for land use and infrastructure at a Public Open House planned for spring 2015.

Thank you for your continued interest in this project. If you have questions or desire more information, please feel free to contact:

Cindy Luxhoj Hahn, AICP

Associate Planner

City of Tualatin | Community Development Dept | Planning Division



The Basalt Creek Concept Plan project is continuing on schedule. Please check the project website at www.basaltcreek.com to stay informed and involved.

<u>Upcoming Presentations</u>:

There are no presentations scheduled for October, but regular updates are being posted to the project website and more presentations are planned for November.

Underway:

- New Posts to the Project Website:
 - Themes Themes about jobs, shopping, housing, natural areas, transportation, and utilities based on input from a variety of public engagement activities.
 - Frequently Asked Questions (FAQ) A FAQ responding to frequent questions received by the project team about concept planning, annexation and development, and roads and utilities.
 - Workshop and Online Survey Results A summary of results of the public workshop held in June and the online survey that followed in July.
 - Goals and Outcomes Guiding principles that provide a framework for gathering input and developing measures that can help inform the decision making process.
- **Development Scenarios** Work continues on design of alternative mixes of development types (land use) for the Basalt Creek area that can be evaluated using the Envision Tomorrow planning tool. The development scenarios will form the basis for preliminary land use alternatives.

If you have questions or desire more information, please feel free to contact:

Cindy Luxhoj Hahn, AICP

Associate Planner

City of Tualatin | Community Development Dept | Planning Division



The Basalt Creek Concept Plan project schedule continues to be action-packed! Please check the project website at www.basaltcreek.com to stay informed and involved.

<u>Upcoming Presentations</u>:

There are several presentations about the project coming up in September. Here are meeting details:

- Tualatin City Council (Work Session): September 8, 5:00 pm, Juanita Pohl Center, Tualatin (meeting materials posted September 1)
- Tualatin Parks Advisory Committee (TPARK): September 9, Community Services Administration Building (<u>meeting materials posted September 2</u>)
- Wilsonville City Council (Work Session): September 15, 5:00 pm, Wilsonville City Hall (meeting materials posted September 8)
- Tualatin Planning Commission: September 18, 6:30 pm, Tualatin Police Training Room (meeting materials posted September 11)

Underway:

- Themes Themes about employment (jobs), retail (shopping), housing, natural
 areas, transportation, and infrastructure (utilities) are being developed based on
 input from a variety of sources such as the public workshop, online survey,
 interviews and focus groups, and the Tualatin and Wilsonville City Councils.
- Land Capacity Analysis A map of the study area is being created that identifies buildable lands and their suitability for different kinds of development.
- Development Scenarios Information about themes, and findings from the
 existing conditions inventory and the land capacity analysis will be used to design
 alternative mixes of development types (land use) for the Basalt Creek area that
 can be evaluated using the Envision Tomorrow planning tool. The development
 scenarios will form the basis for preliminary land use alternatives.

If you have questions or desire more information, please contact:

Cindy Luxhoj Hahn, AICP

Associate Planner

City of Tualatin | Community Development Dept | Planning Division



The Basalt Creek Concept Plan project is going strong! Please check the project website at www.basaltcreek.com to stay informed and involved.

Upcoming Presentations:

There are two presentations about the Basalt Creek Concept Plan project coming up in August. Here are meeting details:

- Wilsonville Planning Commission: August 13, 6:00 pm, Wilsonville City Hall Council Chambers (meeting materials will be posted August 6)
- Tualatin City Council (Work Session): August 25, 5:00 pm, Juanita Pohl Center, Tualatin (meeting materials posted August 18)

Underway:

- **Draft Existing Conditions Report** The project team is preparing a report and a map of existing natural and man-made conditions in the study area.
- Land Capability Analysis A map of buildable lands identifying areas that
 would be most appropriate for industrial employment and other uses is being
 prepared. This information will be used to develop alternative mixes of land
 use/development types for the area.

Thank you for your interest and please get in touch at any time if you have questions.

Best regards,

Cindy

Cindy L. Hahn, AICP

Associate Planner

City of Tualatin | Community Development Dept | Planning Division

We want to hear from you!

How do you think the Basalt Creek area should develop? What types of uses (housing, jobs, natural areas) should be included in this area?

Please go to the project website <u>www.basaltcreek.com</u> and take an online poll. It only takes about 5-10 minutes. Help us spread the word and share the link with others who care about what happens in this area.

JULY NOTICE OF UPCOMING PUBLIC MEETINGS



Greetings,

The Basalt Creek Concept Plan project is gathering momentum, with several activities scheduled in coming weeks. Please check the new project website at www.basaltcreek.com to stay informed and involved.

<u>Upcoming Presentations</u>:

There are several presentations about the Basalt Creek Concept Plan project coming up in July. Here are meeting details:

- Wilsonville City Council (Work Session): July 7, 5:00 pm, Wilsonville City Hall
 Willamette River 1 & 2 (meeting materials will be posted June 30)
- Tualatin City Council (Work Session): July 14, 5:00 pm, Juanita Pohl Center, Tualatin (meeting materials posted July 7)
- Joint Tualatin & Wilsonville City Council Meeting: July 16, 6:00 pm, Tualatin Police Training Facility, Tualatin (meeting materials will be posted July 9 on the <u>Tualatin</u> and <u>Wilsonville</u> websites)

Underway:

• Stakeholder Interviews & Focus Groups – The project team is conducting a limited number of in-depth interviews and focus groups this week and next with some property owners, developers, and neighbors of the study area.

- Draft Existing Conditions Report The project team is preparing a report to accompany the map of existing conditions in the study area. Project team members will be conducting field visits in July and August to help complete this task.
- Land Use Scenarios The project team is compiling input from the Community Workshop, an online survey, interviews and focus groups, as well as what we have learned about the transportation, environmental, population and housing, and other features of the Basalt Creek area to develop draft concepts of the types of development that are feasible over the next 20 years.

Thank you for your interest and please get in touch at any time if you have questions.

Best regards,

Cindy

Cindy L. Hahn, AICP

Associate Planner

City of Tualatin | Community Development Dept | Planning Division

Phone: 503-691-3029 | Email: chahn@tualatinoregon.gov

JUNE NOTICE OF UPCOMING PRESENTATIONS



Greetings,

The Basalt Creek Concept Plan project is now well underway, with a new project website at www.basaltcreek.com to help you stay informed and involved.

<u>Upcoming Presentations</u>:

There are several presentations about the Basalt Creek Concept Plan project coming up in June. Here are meeting details:

- Tualatin City Council (Meeting): Public Workshop Announcement; June 9,
 7:00 pm, Juanita Pohl Center, Tualatin (meeting materials will be posted June 2)
- Public Workshop: June 17, 6:00-8:30 pm (doors open at 5:30), Horizon Christian High School, Room 111, 23370 SW Boones Ferry Road, Tualatin
- Tualatin Planning Commission: June 19, 6:30 pm, Juanita Pohl Center, Tualatin (meeting materials will be posted June 12)
- Tualatin City Council (Work Session): June 23, 5:00 pm, Juanita Pohl Center, Tualatin (meeting materials posted June 16)

<u>Underway</u>:

- Draft Existing Conditions Report The project team is preparing a report to accompany the map of existing conditions in the study area. Project team members will be conducting field visits soon to help complete this task.
- Stakeholder Interviews and Focus Groups The project team will conduct a limited number of in-depth interviews and focus groups in June and July with some property owners, developers, and neighbors of the study area.

Thank you for your interest and please get in touch at any time if you have questions.

Best regards,

Cindy

Cindy L. Hahn, AICP

Associate Planner

City of Tualatin | Community Development Dept | Planning Division Phone: 503-691-3029 | Email: chahn@tualatinoregon.gov

EMAIL TO INTERESTED PARTIES LIST FOR BASALT CREEK

JUNE NOTICE OF UPCOMING PRESENTATIONS



Greetings,

The Basalt Creek Concept Plan project is now well underway, so I wanted to provide you notice of some upcoming presentations and pending activities. The project website at www.basaltcreek.com has been redesigned and I encourage you to logon to learn more and stay up to date about this exciting planning project!

Upcoming Presentations:

There are several presentations about the Basalt Creek Concept Plan project coming up in June. Here are meeting details:

- Tualatin City Council: Public Workshop Announcement; June 9, 7:00 pm, Juanita Pohl Center, Tualatin (meeting materials will be posted June 2)
- Public Workshop: June 17, 6:00-9:00 pm, Horizon Community Church & School
- Tualatin Planning Commission: Present Guiding Principles/Evaluation Measures and Draft Existing Conditions Report; June 19, 6:30 pm, Juanita Pohl Center, Tualatin (meeting materials will be posted June 12)
- Tualatin City Council: Present Guiding Principles/Evaluation Measures and Draft Existing Conditions Report; June 23, 5:00 pm, Juanita Pohl Center, Tualatin (meeting materials posted June 16)
- Agency Review Team: Present Guiding Principles/Evaluation Measures and Draft Existing Conditions Report; June 24, 3:00-4:30 pm, Location TBD

0

- Wilsonville City Council: April 21, 2014, 7:00 pm, Wilsonville City Hall (meeting materials will be posted April 14)
- Tualatin City Council: April 28, 2014, 5:00 pm, Juanita Pohl Center, Tualatin (meeting materials will be posted April 21)

These meetings are open to the public and we encourage you to come hear about the progress we are making.

Underway:

- **Site Analysis** The project team is working on a map of existing conditions in the study area and project team members will be conducting field visits to help complete this task.
- Stakeholder Contact List We are building our database of stakeholders, particularly residents and property owners who will play a key role in the discussions. Anyone can sign up to receive email updates via the <u>project</u> <u>website</u>, or by contacting me directly.

Coming Soon:

- Stakeholder Interviews and Focus Groups The consultants will conduct a limited number of in-depth interviews and focus groups in coming weeks with some property owners, developers, and neighbors of the study area.
- Computer Modeling The consultants will be using a computer program called Envision Tomorrow to build a range of alternatives for providing services and guiding land use development in the future. Input gathered from the site analysis, interviews, focus groups and public workshop all will help inform this process. If you are curious about this tool, you might want to check out the website at www.envisiontomorrow.org.

Thank you for your interest and please get in touch at any time if you have questions.

Best regards,

Cindy

Cindy L. Hahn, AICP

Associate Planner

City of Tualatin | Community Development Dept | Planning Division

Phone: 503-691-3029 | Email: chahn@tualatinoregon.gov

P.S. – Please let me know if no longer wish to receive emails about this project and I will remove you from the list.



BASALT CREEK CONCEPT PLAN

Attachment 11: Basalt Creek Concept Plan
Planning Commission Record Index

File path:

https://www.ci.wilsonville.or.us/sites/default/files/fileattachments/planning/page/84121/c. bc_record_attachment.11._basalt_creek_concept_plan_planning_comm_ission_record_index.pdf



BASALT CREEK CONCEPT PLAN

Attachment 11: Basalt Creek Concept Plan

Planning Commission Record Index

BASALT CREEK CONCEPT PLAN PLANNING COMMISSION RECORD INDEX LP18-0005

July 11, 2018

FINAL PLANNING COMMISSION RESOLUTION LP18-0005: BASALT CREEK CONCEPT PLAN	
PLANNING COMMISSION HEARING STAFF REPORT LP18-0005 (07.11.18)	
BASALT CREEK CONCEPT PLAN AND TECHNICAL APPENDICES	
CONCEPT PLAN FINDINGS REPORT	
PUBLIC MEETING INDEX RECORD	
JOINT CITY COUNCIL MEETING PACKETS AND MINUTES	
WILSONVILLE PC AND CC MEETING MINUTES EXCERPTS	
METRO RESOLUTION AND MEETING PACKET	
CITIZEN INPUT	
OPEN HOUSE SUMMARIES	
BOONES FERRY MESSENGER - BFM	
MAILED / EMAILED UPDATES TO INTERESTED PARTIES	
BASALT CREEK CONCEPT PLAN PLANNING COMMISSION RECORD INDEX	

ATTACHMENT 12 PC HEARING PRESENTATION 07.11.2018



BASALT CREEK CONCEPT PLAN

Attachment 12: Basalt Creek Concept Plan

Planning Commission Hearing

Presentation 07.11.2018

File path:

https://www.ci.wilsonville.or.us/sites/default/files/fileattachments/planning/page/8 4121/c. bc record attachment.12. bccp wilsonville pc ppt 7.11.2018 final.pdf



BASALT CREEK CONCEPT PLAN

Attachment 12: Basalt Creek Concept Plan

Planning Commission Hearing

Presentation 07.11.2018



Wilsonville Planning Commission Hearing

July 11, 2018

Tonight's Agenda

Staff Presentation

- Basalt Creek Planning Area
- Project History
- Basalt Creek Concept Plan
 - Process & Public Engagement
 - Key Elements in Plan
 - Implementation
- Next Steps

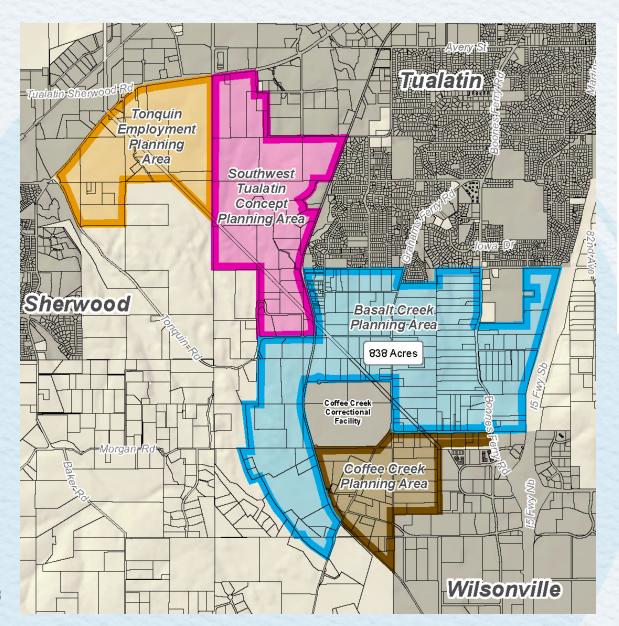
Public Comments

Discussion

Action



Basalt Creek Planning Area







Project History

- 2004: Metro brought Basalt Creek Planning Area into UGB
- 2010: Metro awarded CET Grant to fund Concept Planning
- 2011: Concept Planning Inter-governmental Agreement
- 2011-2013: Washington County, Metro, Tualatin, and Wilsonville with ODOT participating to define transportation spine
- 2013 Basalt Creek Transportation Refinement Plan adopted
- 2014-2016: Basalt Creek Concept Planning & Scenario Analysis
- 2017-2018: Central Subarea studies
- January 2018: IGA executed to resolve the Central Subarea land use designation
- May 2018: Central Subarea arbitration complete, 120-day adoption period begins
- July 2018: Basalt Creek Concept Plan draft for review



What is a Concept Plan?

- Identifies a vision and guides future land use and transportation decisions for the planning area.
- Ensures area has capacity to contribute to local and regional land use and transportation goals.
- Ensures compliance with state land use goals, regional policies, and other plans, including existing transportation plans.
- Sets the framework for future development and outlines implementation for future:
 - o urban services (transportation, water, sanitary sewer, and storm water systems)
 - o public services (such as transit, parks, and open space), and
 - o natural and cultural resources protection



Overview: Basalt Creek Concept Plan

- Establishes vision for urbanization of the Basalt Creek area
- Establishes new jurisdictional boundary between Cities of Tualatin and Wilsonville
- Identifies future land uses on Basalt Creek Land Use Concept Map
- Provides conceptual level plan for transportation and infrastructure
- Recommends high-level designs for transportation and infrastructure systems to support future development
- Includes implementation measures and phasing options



Guiding Principles

- Maintain and complement the Cities unique identities
- Capitalize on the area's unique assets and natural location
- Explore creative approaches to integrate jobs and housing
- Create a uniquely attractive business community unmatched in the metropolitan region
- Ensure appropriate transitions between land uses
- Meet regional responsibility for jobs and housing
- Design cohesive and efficient transportation and utility systems
- Maximize assessed property value
- Incorporated natural resource areas and provide recreational opportunities as community amenities and assets



Decision Making Process

Joint Council

Agency Review Team

Project Management Team



Public Engagement







Focus Groups 2014 Design Workshop 2014 Open House 2016

2014

Regular Mailed / E-mailed Updates
Over 45 Public Meetings

2018



Public Input at Design Workshop



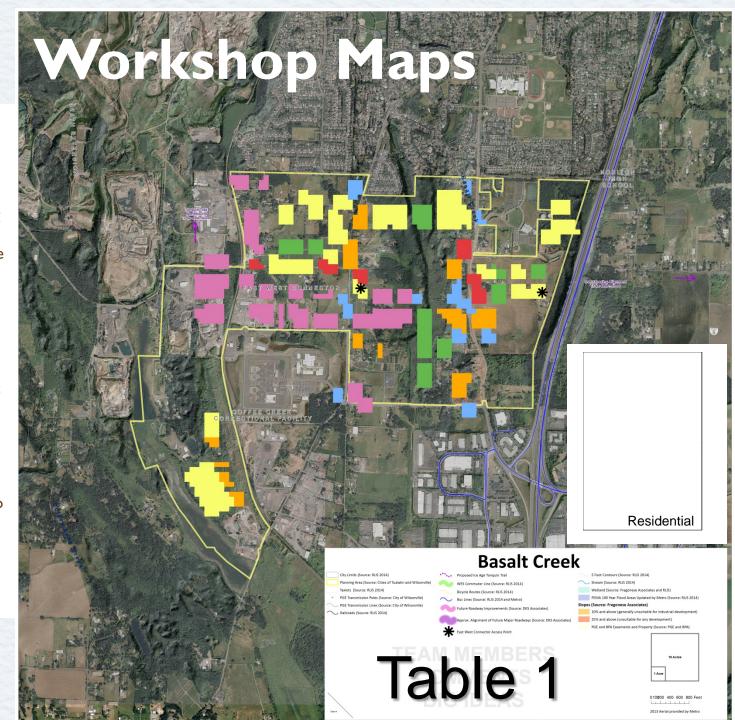
Community input helps guide scenario development and design process, April 2014

Goals

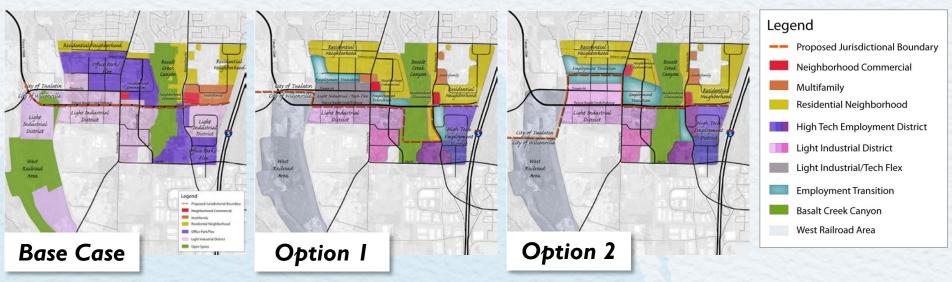
- Housing/schools close together
- •Public amenities around wetlands
- •Housing where there is transportation and other existing infrastructure
- •Transit options that allow people to make trips without their cars
- •Make the wetlands a source of pride and natural beauty (visual focal point/vistas)

Comments

- •Civic entertainment use public theater?
- •Seems like E-W Connector will determine how land uses are arranged
- •Couth the nursery along Graham's Ferry be encouraged to develop as a unique attraction?
- •This is an opportunity do something different provide public amenities that make the community proud.

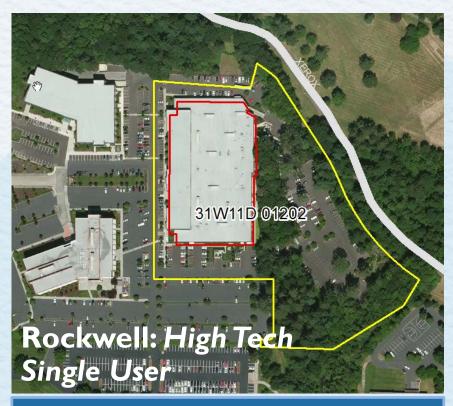


Scenario Iterations





Real Buildings Informed the Scenarios





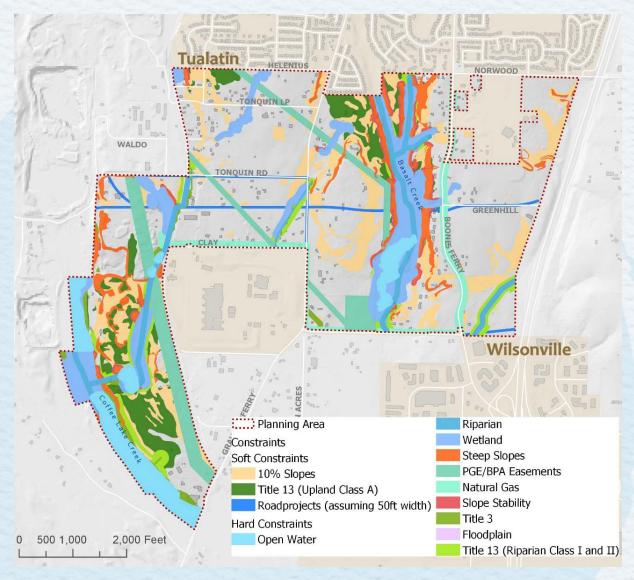
Gather Physical Info: Lot size, Building size, Parking, Landscaping

Gather Financial Info: Land value, Permits, SDCs, Construction cost, Taxes, Rent





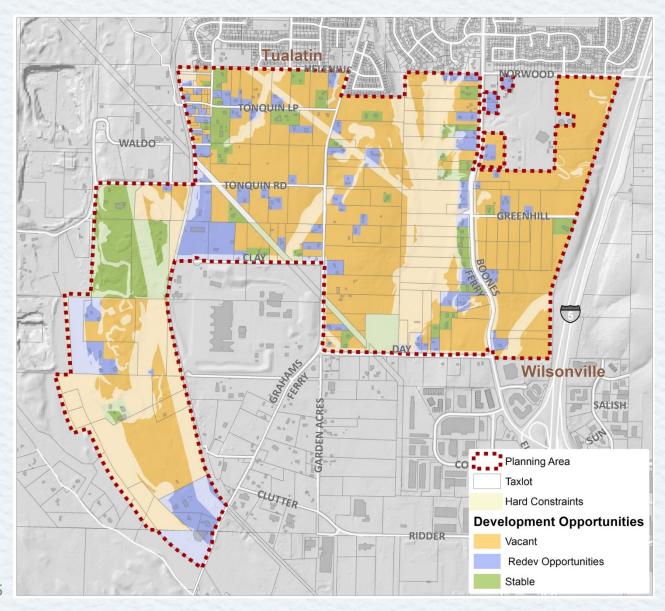
Natural Resources Map



- Open Water
- Streams
- Wetlands
- Floodplains
 (50% reduction of developable area)
- Title 3 Water Quality& Flood Managementprotections
- Title 13 Nature in Neighborhoods
 (20% reduction of developable area in areas designated Riparian Habitat Classes I and II)
- Steep Slopes
 (25% slopes and greater)



Suitable Sites (hard constraints removed)



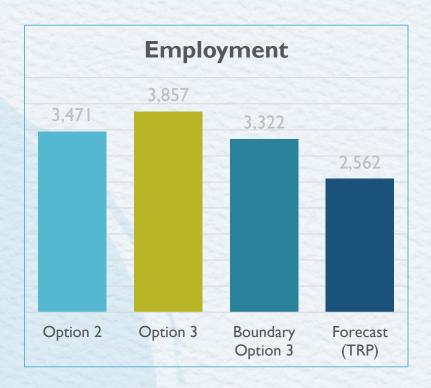
Indicators

Key Indicators

- Developable acres
- Housing units
- Jobs
- Trips

Other

- Housing Mix
- Job Mix
- Service Development Charges (SDCs) and Fees
- Estimated Tax Revenues





Key Elements: Basalt Creek Concept Plan

- Jurisdictional Boundary
- Land Use and Development
- Transportation
- Transit
- Bicycle, Pedestrian and Trail Network
- Natural Resources
- Parks and Open Space
- Utilities: Water, Sewer, Stormwater
- Implementation











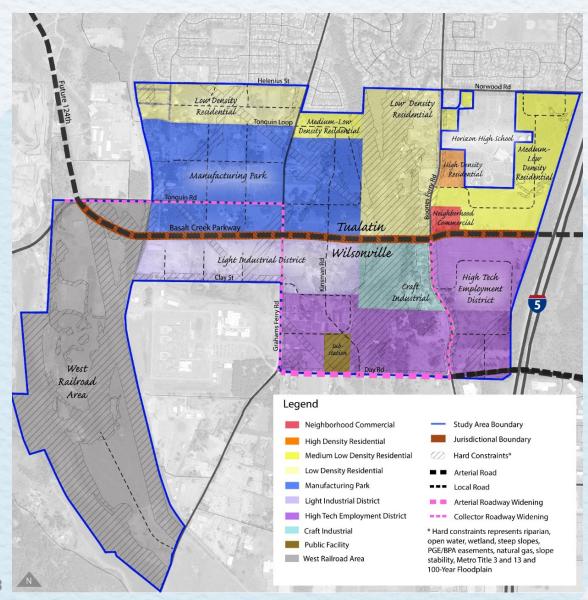








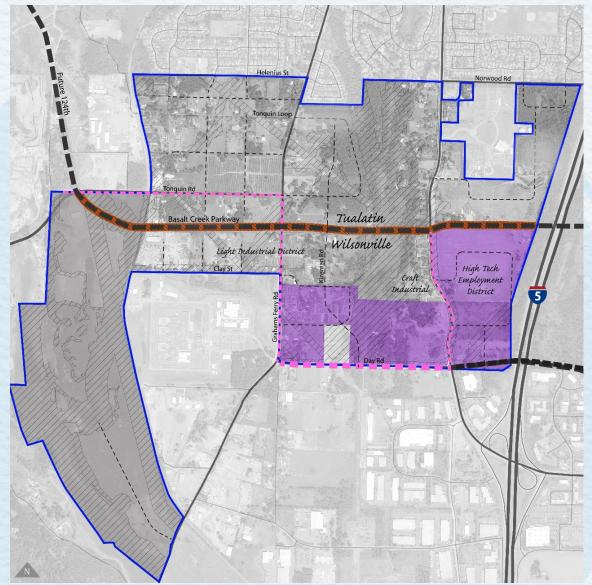
Land Use Plan/Jurisdictional Boundary



- Mix of employment and housing
- Buffer residential areas
- Provide regional employment capacity



High Tech Employment District

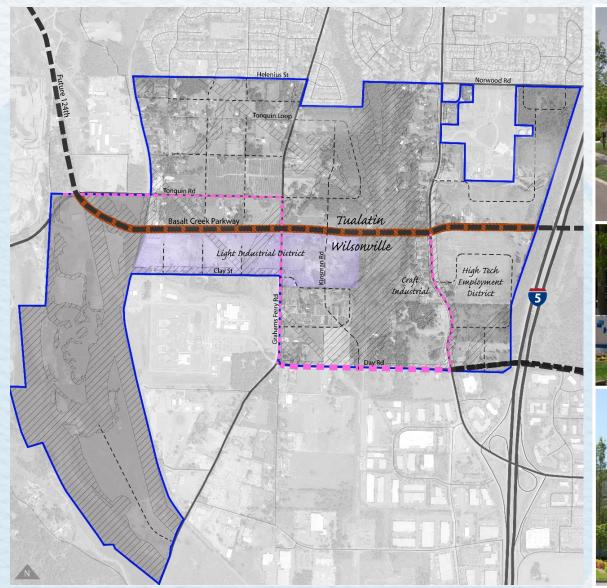








Light Industrial District

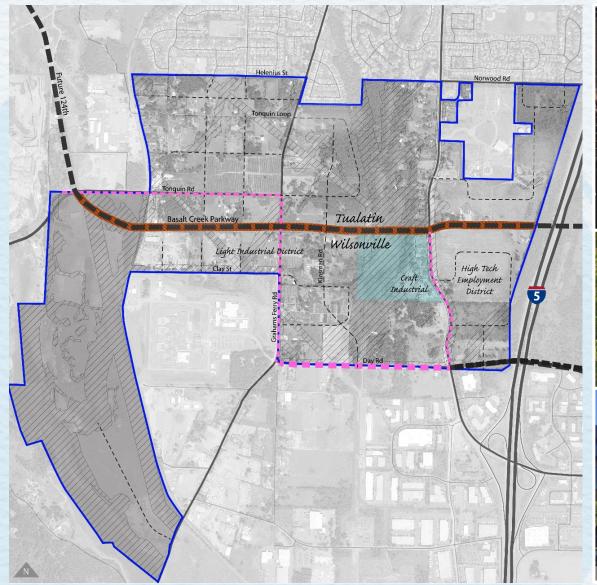








Craft Industrial









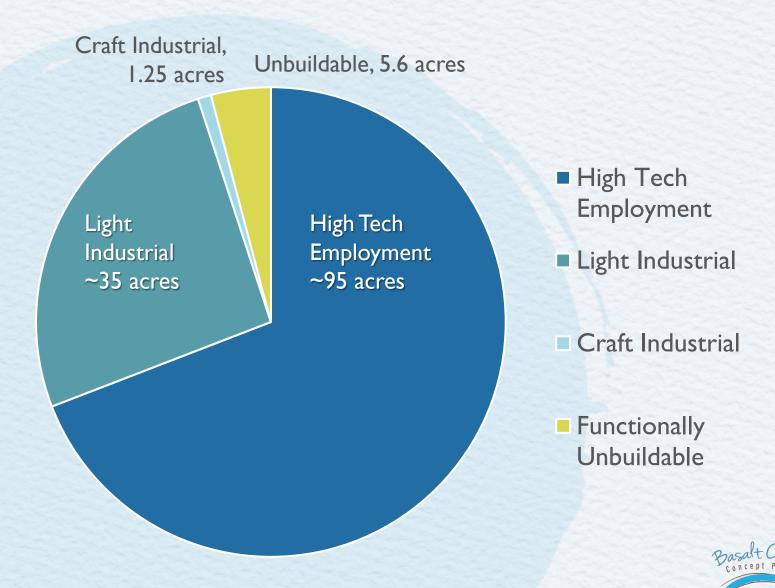
Snapshot: Land Use, Acreage, Trips

Indicator	Tualatin	Wilsonville
Employment Land Uses	96 ac (52%)	131 ac** (100%)
Residential Land Uses	88 ac (48%)	0 ac
Total Developable Acreage	184 ac*	131ac*
Households	575	6
Jobs	1,929	2,524
Trips	1,111	951
*unconstrained developable acres ** with possibility of 6 live/work units		

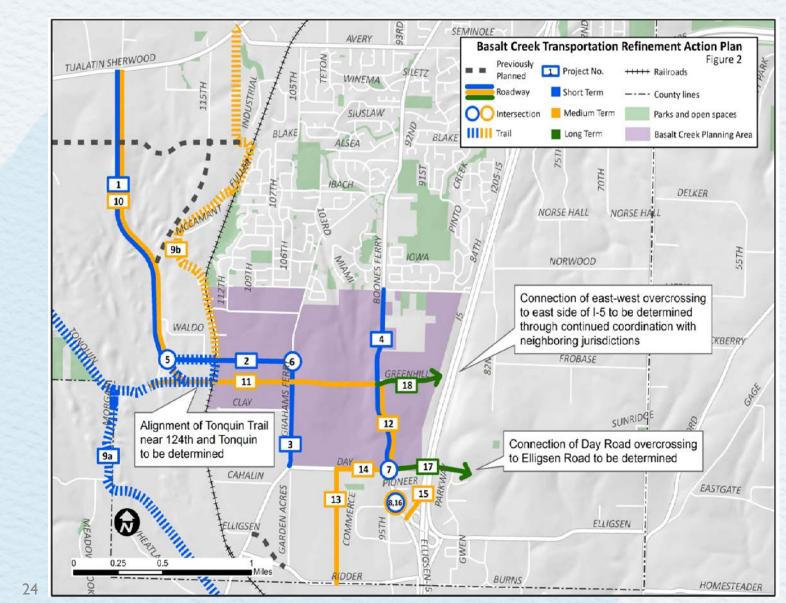


Wilsonville Land Use Mix

23

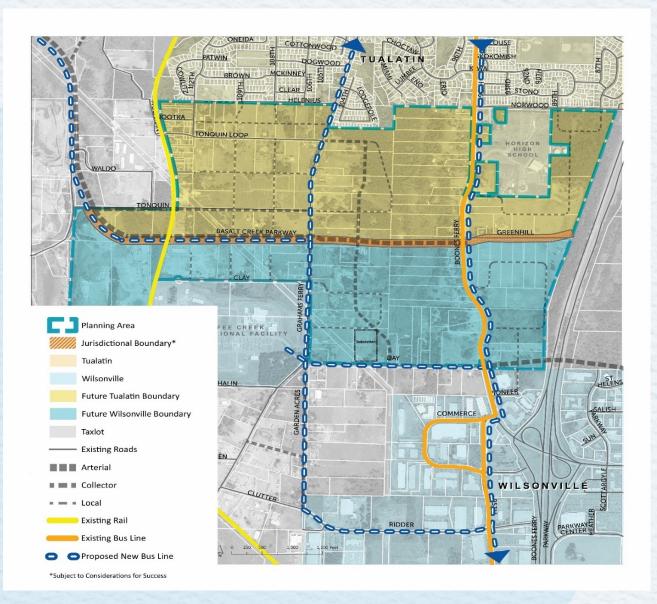


Transportation: Refinement Plan





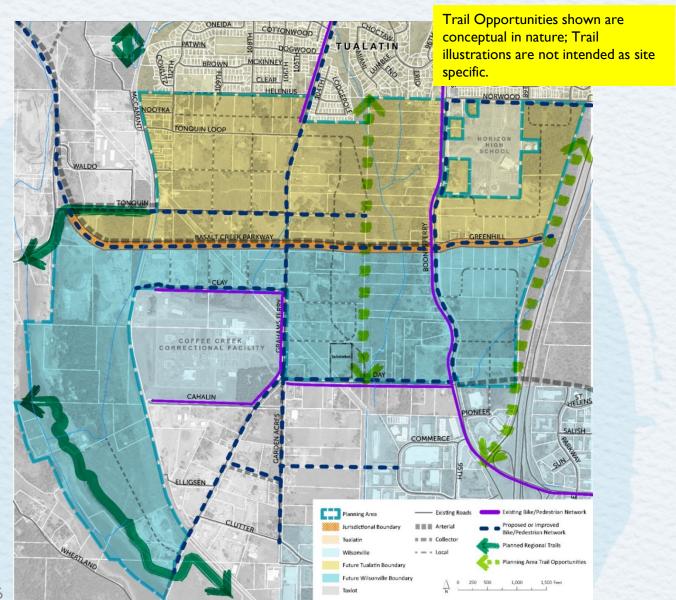
Future Transit Framework



- TriMet & SMART
- Build on existing bus routes
- New north-south and east –west service
- WES opportunity

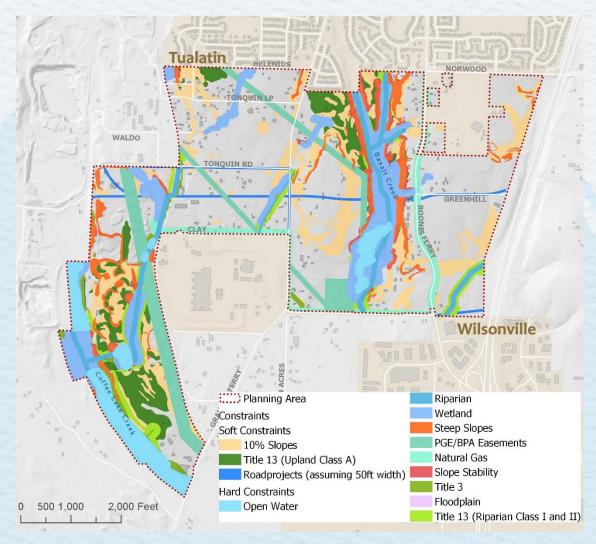


Bikes, Trails, & Pedestrian Network





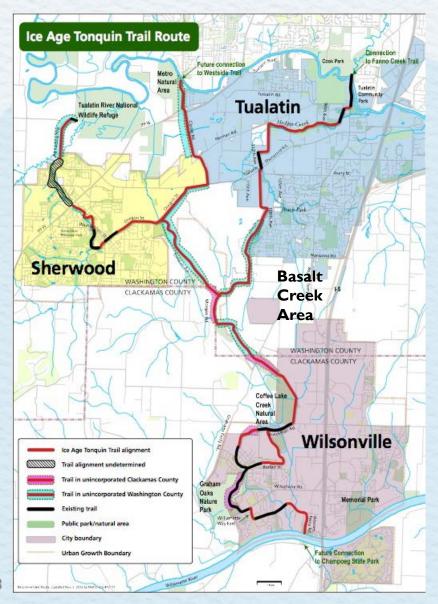
Natural Resources Map



- Open Water
- Streams
- Wetlands
- Floodplains
 (50% reduction of developable area)
- Title 3 Water Quality & Flood Management protections
- Title 13 Nature in Neighborhoods
 (20% reduction of developable area in areas designated Riparian Habitat Classes I and II)
- Steep Slopes
 (25% slopes and greater)



Parks, Open Spaces & Trails



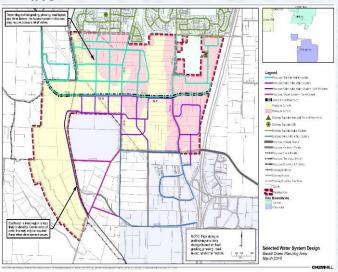
- The Basalt Creek Canyon natural area spans both Cities
- Opportunities for regionallyconnected trails & open space
- Cities will incorporate Basalt
 Creek area into their
 respective Parks Master Plans
- Cities will coordinate on trail planning particularly as it relates to the Basalt Creek Canyon



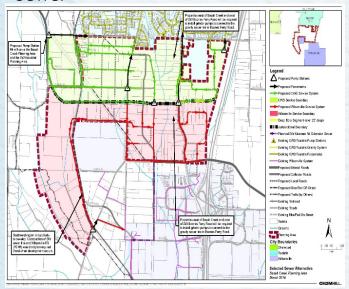
Utility Summary

- Water, Sanitary Sewer and Stormwater infrastructure
- Each City will serve its own jurisdictional area
- New stormwater infrastructure will be primarily integrated with the local road network
- Framework for future capital plans
- High level estimates
- Development initiated

Water



Sewer





Implementation Process

- Adopt Concept Plan
 - July 11, 2018 Wilsonville Planning Commission Hearing
 - July 19, 2018 Tualatin Planning Commission Informational
 - July 23, 2018 Tualatin City Council Meeting Hearing/Adoption
 - Aug 6, 2018 Wilsonville City Council: Adoption
 - Aug 13, 2018 Tualatin City Council Meeting: Resolution
- Update Urban Planning Agreements (both cities, spring 2019)
- Update Comprehensive Plans (both cities by 5/2019)
- Review (update as needed) zoning/development code
- Annexation for Basalt Creek begins at the option of property owner for both Tualatin and Wilsonville.



Questions, Comments, Discussion.





BASALT CREEK CONCEPT PLAN

Attachment 13: PC Meeting Minutes Excerpt

07.11.2018 (07.23.2018 draft, not

approved)

File path:



BASALT CREEK CONCEPT PLAN

Attachment 13: PC Meeting Minutes Excerpt

07.11.2018 (07.23.2018 draft, not

approved)

PLANNING COMMISSION WEDNESDAY, JULY 11, 2018 6:00 P.M.

Wilsonville City Hall 29799 SW Town Center Loop East Wilsonville, Oregon

To be reviewed and approved at the August 8, 2018 PC Meeting

Basalt Creek Hearing Excerpt

I. CALL TO ORDER - ROLL CALL

Chair Jerry Greenfield called the meeting to order at 6:00 p.m. Those present:

Planning Commission: Jerry Greenfield, Eric Postma, Peter Hurley, and Ron Heberlein. Phyllis Millan and

Kamran Mesbah arrived shortly after Roll Call. Simon Springall was absent.

City Staff: Chris Neamtzu, Amanda Guile-Hinman, Miranda Bateschell, Daniel Pauly, Mike McCarty,

Nancy Kraushaar, Tod Blankenship and Erica Behler.

II. LEGISLATIVE HEARING

A. Basalt Creek Concept Plan (Bateschell)

Chair Greenfield read the legislative hearing procedure into the record and opened the public hearing at 6:04 pm.

Miranda Bateschell, Planning Manager, introduced Nadine Appenbrink, Project Manager, Fregonese Associates, who had been assisting both cities on the Basalt Creek Concept Plan. Tualatin also had a project manager working on the project. This concept planning process was unique, being was the first joint planning done for a concept plan in the region, and both cities were excited to present the plan because it was a balanced concept plan that everyone could be proud of. Miranda Bateschell presented the Basalt Creek Concept Plan via PowerPoint, noting the location of the Basalt Creek planning area and surrounding features, reviewing the project's history and public engagement process, detailing key elements in the plan, and outlining implementation and next steps with these key comments:

- Tonight's hearing did not involve a land use action. The Basalt Creek Concept Plan would be adopted by resolution as a supporting document to the Comprehensive Plan; a guiding but non-regulatory document. The Comprehensive Plan Map amendments and zoning actions would be addressed in the future under a different public hearing process. The Planning Commission's action on this plan was to make a recommendation to City Council for the adoption of the Concept Plan. That City Council hearing was tentatively scheduled for August 6, 2018.
- While the concept planning had been ongoing for the last seven years, the Basalt Creek area was brought
 into the urban growth boundary (UGB) 14 years ago. The Cities of Wilsonville and Tualatin, Washington
 County, and Metro have committed a lot to the area. A number of planning commission and city council
 meetings were held in both cities.
- Concept planning requires a lot of compromise and Staff believed the Concept Plan responded to the different needs of the two cities, as well as to the public input received through the process. All four parties to the intergovernmental agreement (IGA) that set up the concept planning process supported the Concept Plan being presented.
- The proposed Concept Plan met all state, regional, and local requirements (Attachment 2), as well as Metro Title 11 (Attachment 1, Appendix D), which was part of Metro's Urban Growth Management Functional Plan that set requirements for the concept planning of new areas brought into the UGB.

- The Basalt Creek area was brought into the UGB in 2004 to meet an employment and industrial lands need identified by Metro at that time. In 2010, Metro awarded a construction excise tax grant to fund concept planning for the area. In 2011, the IGA was set up between the four parties, Wilsonville, Tualatin, Washington County, and Metro, and transportation planning began. Many improvements would be needed to make better connections between I-5 and the various industrial areas. The parties in the IGA worked with Oregon Department of Transportation (ODOT) to find a transportation spine that would serve the area. In 2013, the Basalt Creek Transportation Refinement Plan was adopted.
 - Concept planning began in 2014. Over several years, several scenarios were considered and public
 involvement included focus groups and workshops. The preferred concept plan map was agreed upon
 in September 2016, which was when a lot of discussion began about the area now known as the
 Central Subarea.
 - Most of 2017 was spent working on two reports, one conducted by MacKenzie, the other by KPFF Consultants to determine the suitability of the Central Subarea for employment uses. The two cities had different priorities and perspectives and were receiving different input from their citizens and councils, so no agreement was reached about the Central Subarea. So, in January 2018, the four parties to the original IGA executed another IGA in order to resolve the Central Subarea land use designation. In order to move forward, both Cities and the County partnered with Metro to mediate the agreement. Metro reviewed the body of evidence submitted by the two Cities and provided direction on what should be done in the Concept Plan. In May 2018, Metro made its determination and both Cities were now in the process of adopting the Basalt Creek Concept Plan.
- She noted the Concept Plan and supporting documents before the Commission should look familiar as numerous work sessions were held on the project. She reviewed the exhibits and attachments included in the record with additional comments as noted:
 - <u>Exhibit A</u>: Planning Commission Hearing Staff Report Lp18-0005, which included the following attachments:
 - Attachment 1: Basalt Creek Concept Plan & Technical Appendices
 - Attachment 2: Concept Plan Findings Report
 - Attachment 3: Public Meeting Index Record The public record was voluminous as more than 45 public meetings, workshops, and open houses were held. Comments were received from property owners and citizens, many of which were included within Attachments 3 through 8.
 - Attachment 4: Joint Council Meeting Packets and Minutes Joint City Council meetings were the major decision-making framework for the Concept Plan.
 - Attachment 5: City of Wilsonville Planning Commission/City Council Meeting Minutes
 - Attachment 6: Metro Resolution and Meeting Packet This material regarded Metro's determination on the Subarea.
 - Attachment 7: Citizen Input All comments received by the City throughout the project.
 - Attachment 8: Open House Summaries Also included were the materials presented at the open houses.
 - She noted the project management team reviewed all of the input received during the project.
 The Project Team and Planning Commission appreciated all the citizen input received which
 helped them to see the issues and refine the Concept Plan. The Joint City Council as well as
 each City Council separately, also provided the Project Team with recommendations based on
 the public input.
 - She added that not every page of the exhibits was available at the dais, but everything had been provided to Commissioners in the online version of the packet. The packet was published online more than a week ago for the public to review.
 - Attachment 9: Boones Ferry Messenger Articles on the Project
 - Attachment 10: Mailed/Emailed Updates All the updates sent to the interested parties list over the length of the project. These updates occurred almost monthly and included 50 different notices.
 - Attachment 11: Planning Commission Record Index For Basalt Creek Concept Plan

- The public hearing record was posted on the City website more than seven days ago, and hearing notices were posted and mailed to 198 property owner and sent to 400 interested parties via email and noticed in the Boones Ferry Messenger, therefore, all state requirements had been met for tonight's public hearing.
- She added that tonight's PowerPoint Presentation would be Attachment 12.
- She described the purpose of a concept plan to help clarify what was being adopted and the expectations for the Basalt Creek Concept Plan. (Slides 5 and 6)

Nadine Appenbrink, Project Manager, Fregonese Associates, continued the PowerPoint presentation, reviewing the guiding principles established by the Joint City Council for the planning process (Slide 7) along with the key elements of the Concept Plan with the following comments:

- The decision making process involved three major components:
 - The Joint Council served as a key decision-making body at key stages of the project and the final decision-making body for the Concept Plan.
 - The Project Management Team was comprised of each city's project managers, department directors, relevant staff, and project consulting team members.
 - The Agency Review Team represented local service providers and regional partners, who advised staff members of both cities about regulatory and planning compliance.
 - In addition, the planning commissions for both Cities and the individual city councils helped shape the concept planning process. Both Cities, along with Washington County and Metro, were party to the IGA that would implement the Concept Plan.
- Public Engagement. Key takeaways from the 40 participants at the Design Workshop held in June 2014
 were a desire to keep the Basalt Creek Canyon as open space, the need for residential buffer areas,
 traffic challenges, and ideas for new parks. Community members expressed a need for appropriate
 transitions between land uses but were open to a range of employment and commercial uses.
 - Also in 2014, more than 12 meetings were held with focus groups including developers and property
 owners that focused on future development types, land assembly, housing types, and employer
 amenities.
 - The open house in April 2016 shared elements of the draft concept plan, including land use, the road network, transit, bike, pedestrian and trail network concepts. A poster session and audience polling were part of the open house. The polling revealed a desire to use the area for recreation, neighborhood parks, and conservation areas.
 - Over the course of the project, more than 45 public meetings were held, including Planning Commission, City Council, and Joint Council work sessions, and the Project Team provided nearly monthly emailed and mailed updates providing information about past and upcoming meeting.
 - At the 2014 Design Workshop, community input was provided on future land uses, connections, trails, and open space. The small group activity was map-based and sparked discussion that helped the Project Team build the scenarios in the coming steps.
 - The Project Team digitized the results of each group and incorporated their ideas into the scenario development process, along with the input received from both city councils and technical input from the Project Team. (Workshop Map, Slide 11)
 - She reviewed several design scenarios presented to the public (Slide 12) that were used to answer a number of questions, including:
 - Where should the boundary between Tualatin and Wilsonville be?
 - What combination of land uses was most appropriate for the area?
 - What infrastructure was needed and how much would the infrastructure cost to support future development?
 - Which agencies would provide public services to different parts of the area?
 - How would traffic generated by new development in the area impact traffic flows and congestion levels, both locally and regionally?

- How would the benefits and costs of serving the area be balanced fairly between Tualatin and Wilsonville?
- Actual buildings from Tualatin and Wilsonville were used as the basis of the development types
 and land uses modeled in the scenarios. Physical information, including lot size, building size,
 parking, and landscaping, was gathered, as well as financial information about land value,
 permits, system development charges (SDCs), etc.
- When determining where to put the land uses, the Project Team first looked at the natural resources in the planning area, which were many and included open water, floodplains, wetlands, and slopes. The Natural Resources Map (Slide 14) included both hard and soft constraints, such as steep slopes and utility easements.
 - The two major natural resource areas were the Basalt Creek Canyon corridor and the Coffee Lake
 Creek Natural Area in the West Railroad area. These areas would maintain a number of protections
 and have additional protections placed upon them when annexed into the city. The Natural Resources
 Map would be used to inform a site's suitability for development.
 - Recognizing the importance of the natural areas, a Buildable Lands Inventory (BLI) was developed to
 determine suitable sites for future development. This removed constraints such as topography, creeks,
 floodplains and wetlands, and some existing infrastructure facilities. (Slide 15)
 - Using the BLI, different buildings were placed on the vacant sites to build the scenarios. Using the
 financial and physical information from the buildings that were modeled, the different scenario
 alternatives were then compared across many important metrics. This included developable acres,
 housing units, jobs, and traffic trips, as well as the housing mix, job mix, SDCs and fees, and estimated
 tax revenues.
- The Concept Plan Map (Slide 18) showed the jurisdictional boundary in red, which followed the Basalt Creek Parkway, and the future land uses for both Wilsonville and Tualatin with future Wilsonville to the south and future Tualatin to the north of the jurisdictional boundary.
 - Wilsonville's proposed land uses focus on employment, while Tualatin would have a mix of
 employment and housing, which was meant to buffer existing residential neighborhoods from nonresidential uses in the area. Land use types and densities were balanced to meet regional employment
 needs, while limiting negative impacts on traffic congestion.
 - The West Railroad Area would be a future study area for the City of Wilsonville.
 - The High-Tech Employment District would include high-tech single-users accompanied by manufacturing and some warehouse spaces. The project team modeled Rockwell, DW Fritz, Microsoft, Eaton as examples of this development type. (Slide 19)
 - The Light Industrial District was seen primarily as manufacturing and warehouse, including both singleand multi-tenant buildings with some mix of office and small pad retail to support the area. The modelled buildings included Columbia Helicopter, American Medical Concepts, Houston's, McKesson, Rite Aid, Canyon Creek Business Park, and the Wilsonville Corporate Center. (Slide 20)
 - The Craft Industrial District, formerly called "employment transition areas", was located mostly where
 existing or future residential was near industrial uses to create an area where adjacent uses blend
 well. Craft Industrial was a smaller scale industrial type with a lower potential for impacts on Basalt
 Creek Canyon, which was adjacent to the district. The project team looked at regional examples to
 help define what this development type might look like.
- The City of Wilsonville anticipated 100 percent of the land area would be employment, resulting in a total of 131 developable acres yielding approximately 2500 jobs. Even though Wilsonville was not planning for residential in the area, the Project Team did model a few live-work units to reflect the Craft Industrial land use type, which fits with the existing mix of residential and commercial uses there.
- She reviewed the anticipated land use mix based on the land use types, noting that 95 acres would be High-Tech Employment, about 35 acres would be Light Industrial, and 1.25 acres would be Craft Industrial.
- The projects in the Regional Transportation Plan (RTP) originate from the 2013 Basalt Creek Transportation Refinement Plan (TRP) (Slide 24). Metro, Wilsonville, Tualatin, Washington County, and ODOT all participated in the 2013 Trip planning process and agreed to the network to meet future growth in the

planning area Major new roads and improvements in the Basalt Creek Planning Area would follow the Basalt Creek 2013 TRP. Key improvement projects were described as follows:

- The Basalt Creek Parkway was partially built on the western portion with the eastern segment still needing to be completed. The parkway would be a major east/west arterial with limited access that would connect I-5 to 124th Ave. Local roads would be planned and built as the area developed.
- Regional traffic impacts and trips associated with the land use in the Concept Plan were modeled and the network did meet the level of service and volume-to-capacity ratio standards.
- The Concept Plan also outlined future transit service, which was essential to support the household and job
 growth anticipated in the planning area, specifically how to enhance and provide better connectivity
 throughout the entire area. (Slide 25)
 - Transit service would be coordinated between TriMet and SMART, which would continue to serve
 Wilsonville in any areas annexed into the city. Service would build on existing routes to enhance
 service and provide access. New lines would likely be necessary to serve the job and household
 growth expected in the Basalt Creek area and to connect to regional employment centers,
 neighborhoods, and local destinations, such as the Tualatin and Wilsonville Town Centers.
 - Key access points would exist along Grahams Ferry Road, Boones Ferry Road, Day Road, SMART Central, and the Correctional Facility.
- Opportunities for bike and pedestrian connections were also identified in the Concept Plan. As the system in the planning area was currently incomplete, additional bike and pedestrian facilities would be integrated into new and updated road projects. A displayed conceptual map (Slide 26) illustrated the possible location of the proposed upgrades, along with identified trail opportunities along the I-5 Corridor and along the Basalt Creek Canyon corridor, which was intended to be up above the creek, near or along the top of the slope. She noted the trail locations shown on the map were not intended to be site specific.
- Trail opportunities were identified conceptually for the area because both Cities recognized Basalt Creek
 Canyon was a significant natural resource. While future work would be done to determine feasibility and
 the alignment of any potential trails, a number of natural resource management practices would also be
 put in place. Access to the Basalt Creek Canyon would be provided in a manner and location that still
 protected the natural resources and habitat that exist in the planning area.
- The Basalt Creek Canyon spans both cities and the Cities would coordinate on Natural Resource Protections as well as the potential trail opportunity.
 - The potential connection of the Basalt Creek Canyon Trail to the Ice Age Tonquin Trail would be along Tonquin Rd or down Grahams Ferry Rd. In the future, the hope was that users would be able to connect to regional open spaces like Graham Oaks Park and the Tualatin River National Wildlife Refuge.
- Parks and additional open spaces in the Basalt Creek Planning Area would be provided independently by each City. Both Cities would incorporate the planning area into their citywide planning for Parks and Recreation.
- The Concept Plan also assessed infrastructure service provision, including how to connect to and extend existing systems, identifying potential demands/impacts to the systems from development in the area, and developing high-level cost estimates.
 - The conceptual level designs were planned for each city to serve its own area and laid out the framework for future capital plans by each city. The utilities were expected to be extended as development occurred in the area.

Ms. Bateschell concluded the PowerPoint presentation, noting that the land use actions, particularly those related to Comprehensive Plan and Zoning and Development Code, would occur in the future and were implementing actions discussed in the last chapter of the Concept Plan, but not part of the Concept Plan's adoption process.

• She described the Implementation Process, noting the tentative dates for the Concept Plan's adoption process in both Cities, as well as next steps should both Cities adopt the Basalt Creek Concept Plan. (Slide 30) However, development would probably not occur for a while, as more land use actions would be taken next spring.

 Staff recommended that the Planning Commission forward a recommendation regarding the Basalt Creek Concept Plan to City Council.

Chair Greenfield called for public testimony on the Basalt Creek Concept Plan. Hearing none, he confirmed there were no comments from the Commission.

Chair Greenfield noted the Commission had previously heard from members of the community at work sessions and various public gatherings. The Basalt Creek Concept Plan was a crucial point for the history of Wilsonville. He added that both the public and Planning Commission had ample opportunity to provide input throughout the process. Much of the Commission's and the public's input was reflected in the draft Concept Plan. He commended Staff for their excellent work, noting the Concept Plan was an impressive, clear document that fulfilled the technical requirements, while also providing an inviting vision for the development of this new part of the community. The territory and its functions were significant things to add to the community, bringing Wilsonville side by side to its neighbor to the north. Any time two communities could get together to draw a boundary between them was a significant point.

Chair Greenfield closed the legislative hearing at 6:38 pm.

Commissioner Postma moved to adopt Resolution No LP18-0005 as presented. Commissioner Mesbah seconded the motion, which passed unanimously.

Respectfully submitted,

By Paula Pinyerd of ABC Transcription Services, Inc. for Tami Bergeron, Administrative Assistant-Planning



BASALT CREEK CONCEPT PLAN

Attachment 14: Basalt Creek Concept Plan

Planning Commission Resolution
LP18-0005 (approved 7.11.2018)

File path:

https://www.ci.wilsonville.or.us/sites/default/files/fileattachments/planning/page/8 4121/c. bc record attachment.14. pc resolution lp18-0005 staff report.pdf



BASALT CREEK CONCEPT PLAN

Attachment 14: Basalt Creek Concept Plan

Planning Commission Resolution LP18-0005 (approved 7.11.2018)

PLANNING COMMISSION RESOLUTION NO. LP18-0005

A WILSONVILLE PLANNING COMMISSION RESOLUTION RECOMMENDING THE WILSONVILLE CITY COUNCIL ADOPT THE BASALT CREEK CONCEPT PLAN FOR THE BASALT CREEK PLANNING AREA.

WHEREAS, the Planning Commission of the City of Wilsonville ("City") has the authority to review and make recommendations to the City Council regarding legislative changes to, or adoption of new elements and sub-elements of, the Comprehensive Plan pursuant to Sections 2.322 and 4.032 of the Wilsonville Code ("WC"); and

WHEREAS, the proposed Basalt Creek Concept Plan as adopted will become a supporting document to the City's Comprehensive Plan; and

WHEREAS, the Planning Director submitted a proposed Resolution to the Planning Commission, along with a Staff Report and Findings, in accordance with the public hearing and notice procedures that are set forth in WC 4.008 and 4.012; and

WHEREAS, in 2004 the Metro Council added two areas located generally between the cities of Wilsonville and Tualatin to the Urban Growth Boundary (UGB) to meet a regional industrial lands need through Metro Ordinance No. 04-1040B; and

WHEREAS, the above-described areas are known as the Basalt Creek and West Railroad Planning Areas which are generally referred to as the "Basalt Creek Planning Area"; and

WHEREAS, in 2011, the City of Wilsonville approved Resolution No. 2293 authorizing an Intergovernmental Agreement ("2011 IGA") with Metro, Washington County, and the City of Tualatin (the "Parties") to engage in concept planning for the Basalt Creek Planning Area; and

WHEREAS, the above Parties agreed to memorialize and endorse the recommendations and results of the 2013 Basalt Creek Transportation Refinement Plan, and, in 2013, the City of Wilsonville approved Resolution No. 2435 acknowledging the Basalt Creek Transportation Refinement Plan; and

WHEREAS, from October 2013 through October 2016, the Wilsonville and Tualatin City Councils held five joint Council work sessions considering several boundary and land use alternatives for the Basalt Creek Planning Area; and

WHEREAS, over that same time period, two public workshops were held and the Wilsonville and Tualatin Planning Commissions and City Councils convened several work sessions to discuss and take public testimony; and

WHEREAS, the City of Wilsonville approved Resolution No. 2657 authorizing an Intergovernmental Agreement ("2017 IGA") with Metro, Washington County, and the City of Tualatin to ask Metro to make a decision on the designation of the land use for an area within the Basalt Creek Planning Area that consists of approximately 52 acres of developable land, commonly referred to as the "Central Subarea;" and

WHEREAS, in the 2017 IGA, the City agreed to pass a resolution adopting a concept plan, reflecting the Metro decision, within 120 days after the date Metro's decision becomes final and effective, and to adopt an ordinance amending the City's Comprehensive Plan within one year after the Metro decision; and

WHEREAS, Metro made its decision on April 19, 2018 in accordance with the 2017 IGA and adopted Resolution 18-4885 on May 3, 2018 acknowledging that decision and beginning the 120-day time period requiring the City to adopt the Basalt Creek Concept Plan; and

WHEREAS, the Planning Commission, after public hearing notices were provided to 198 property owners and to a list of interested agencies, emailed to 400 people, and posted in three locations throughout the City and on the City's website, held a public hearing on July 11, 2018 to review the proposed Basalt Creek Concept Plan, and to gather additional testimony and evidence regarding the proposed Basalt Creek Concept Plan; and

WHEREAS, the Planning Commission has afforded all interested parties an opportunity to be heard on this subject and has entered all available evidence and testimony into the public record of their proceeding; and

WHEREAS, the Planning Commission has duly considered the subject, including the staff recommendations and all the exhibits and testimony introduced and offered by all interested parties.

NOW, THEREFORE, BE IT RESOLVED that the Wilsonville Planning Commission does hereby adopt the Planning Staff Report (attached hereto as Exhibit A) and its Attachments, as presented at the July 11, 2018 public hearing, including the findings and recommendations contained therein and does hereby recommend that the Wilsonville City Council adopt the

proposed Basalt Creek Concept Plan as approved on July 11, 2018 by the Planning Commission; and

BE IT RESOLVED that this Resolution shall be effective upon adoption.

Wilson The Planning Commission

Attest:

Tami Bergeron, Administrative Assistant III

Chair Jerry Greenfield:

-

Commissioner Eric Postma:

Y___

Commissioner Peter Hurley:

Y-

Commissioner Ron Heberlein:

Y_

Commissioner Kamran Mesbah:

4

Commissioner Phyllis Milan:

4

Commissioner Simon Springall:

ABSENT



PLANNING COMMISSION STAFF REPORT

Subject : Adoption of the Basalt Creek Concept Plan		
Staff Member: Miranda Bateschell		
Department: Community Development Department		
Advisory Board/Commission Recommendation		
☐ Approval		
☐ Denial		
☐ None Forwarded		
Comments:		
The Planning Commission action is in the form of a		
recommendation to the City Council.		
Staff Recommendation: Staff recommends the Planning Commission conduct the public		
hearing, and when complete, forward a recommendation of approval to the City Council.		
Recommended Language for Motion: I move the Planning Commission adopt LP18-		
0005 recommending approval of the Basalt Creek Concept Plan.		
Project / Issue Relates To: [Identify which goal(s), master plans(s) your issue relates to.] □ Council Goals/Priorities □ Adopted Master Plan(s) □ Not Applicable □ Not Applicable		
opted Master Plan(s) Not Applicable		

ISSUE BEFORE COMMISSION:

The Commission will conduct a public hearing to consider the Basalt Creek Concept Plan for adoption. The draft plan before the Commission reflects several years of planning efforts. In 2004, Metro added the Basalt Creek Planning Area to the region's Urban Growth Boundary (UGB) in order to accommodate growth in industrial employment. The area consists of approximately 847 acres, located west of I-5 between the cities of Tualatin and Wilsonville, known as the Basalt Creek and West Railroad Areas and generally referred to as the "Basalt

Creek Planning Area." In 2011, the two cities, Metro, and Washington County entered into an Inter-Governmental Agreement (IGA) that outlines the requirements and responsibilities of the parties regarding their coordinated efforts related to the Basalt Creek Planning Area. The project team has led a lengthy process, working with property owners, citizens, service providers, regional partners, and both Cities' Planning Commissions and City Councils, to complete transportation and land use planning for the Basalt Creek Planning Area. The Basalt Creek Concept Plan captures this process, key considerations and guiding principles, and a unified framework for future development in the Basalt Creek Planning Area (Attachment A).

EXECUTIVE SUMMARY:

Since 2011, the Cities of Wilsonville and Tualatin, Washington County, and Metro have been working together to implement an Intergovernmental Agreement (IGA) to concept plan the Basalt Creek Planning Area. In 2013, the Basalt Creek Transportation Refinement Plan (TRP) was finalized and adopted. In 2014, planning began on the Basalt Creek Concept Plan. After five joint Council work sessions and two Public Open Houses, a preferred Basalt Creek Land Use Concept Plan was completed in September 2016.

On February 13, 2017, the Tualatin City Council, at a work session, provided Tualatin city staff with direction to modify the Basalt Creek Land Use Concept Plan to show the Basalt Creek "Central Subarea" as residential. On March 20, 2017, Wilsonville City Council expressed concern over the residential designation and commissioned a development feasibility analysis for the Central Subarea to determine what types of employment uses, if any, would be achievable. At the Wilsonville City Council work session on May 1, City staff and KPFF Consulting Engineers presented the completed Basalt Creek Concept Plan Feasibility Study with three different schemes for employment development. With concerns for placing residential uses in the middle of the employment area and confidence employment could be achieved in the Central Subarea, Wilsonville City Council remained committed to the area providing employment opportunities.

On June 24, Wilsonville City staff and KPFF Consulting Engineers presented at the Tualatin City Council work session the completed Basalt Creek Concept Plan Feasibility Study. In addition, Mayor Knapp conveyed during public comment at the Tualatin City Council meeting a summary of the Wilsonville City Council's concerns and position regarding employment in the Basalt Creek Concept planning area.

On September 14, representatives from Wilsonville, Tualatin, and Washington County met to discuss options for finalizing the Basalt Creek Concept Plan. The parties reached agreement to have Metro review the record of information pertaining to the Central Subarea submitted by the two cities and determine the appropriate land use designation for the Central Subarea, thereby enabling completion of the Concept Plan. As part of the Inter-governmental Agreement outlining this decision-making process, the cities agreed to adopt by resolution the Basalt Creek Concept Plan within 120 days, and comprehensive plan amendments within one year, of Metro's decision.

On May 3, 2018, the Metro Council adopted Resolution 18-4885 resolving the dispute - determining the Central Subarea should remain designated for employment uses on the Basalt Creek Concept Plan map – and starting the 120-day adoption period. As such, the two cities have

prepared the attached Concept Plan using the draft Basalt Creek Land Use Concept Map completed in September 2016. Landowners in the Central Subarea have submitted a notice of intent to appeal Metro's decision to the Land Use Board of Appeals.

The purpose of the Basalt Creek Concept Plan is to establish the overall vision for the area and guide future land use and transportation decisions. It sets the framework for future development and outlines an implementation strategy for future provision of urban services (water, sanitary sewer, and storm water systems), public services (such as transit, parks, and open space), and protection of natural and cultural resources. To accomplish this, the plan:

- Establishes a vision for urbanization of the Basalt Creek area that will meet local and regional goals,
- Coordinates future land use, transportation and infrastructure investments between Tualatin, Wilsonville, and Washington County,
- Establishes a new jurisdictional boundary between Tualatin and Wilsonville (to determine which parts of the planning area may be annexed into and served by each city, contingent upon development),
- Identifies preferred land uses across the area,
- Recommends high-level designs for transportation and infrastructure systems to support future development consistent with local, regional and state goals, and
- Sets specific action items and implementation measures.

EXPECTED RESULTS:

Adoption of the Basalt Creek Concept Plan will set the stage for the next great business district in Wilsonville.

TIMELINE:

The Planning Commission is scheduled to hold the first public hearing on the Basalt Creek Concept Plan on July 11, 2018. A Council hearing date has been set for August 6 to consider adoption of the Basalt Creek Concept Plan.

Tualatin City Council meetings are scheduled for July 23 and August 13, 2018, to adopt the Basalt Creek Concept Plan. Once adopted, staff will initiate the Urban Planning Area Agreement (UPAA) amendment process with Washington County. Staff anticipate finalizing the UPAA process and Comprehensive Plan Amendments by spring 2019.

CURRENT YEAR BUDGET IMPACTS:

The City of Tualatin received approximately \$350K from Metro's Construction Excise Tax (CET) grant program to perform concept planning. The current scope of work and budget with the consultant and as outlined with Metro under the CET grant program does not include additional funds for analysis of additional land use alternatives. The City of Wilsonville has, and will continue to, invest staff time into the process.

FINANCIAL REVIEW / COMMENTS:

n/a

LEGAL REVIEW / COMMENT:

n/a

COMMUNITY INVOLVEMENT PROCESS:

The project includes participation from affected residents, businesses, and property owners. Two open houses were held to engage and inform the public about the project. Additionally, the website is updated to reflect the most recent work and staff sends out monthly updates to an interested parties list and property owners via email and U.S. postal mail. Please refer to Attachment 3 for a complete list of all public outreach conducted for the Plan.

POTENTIAL IMPACTS or BENEFIT TO THE COMMUNITY:

The Basalt Creek area is important for the long-term growth of Tualatin, Wilsonville, and the Metro region. Conducting a thorough and thoughtful planning process will identify and resolve each city's vision for the area and potential impacts on the community. The Basalt Creek area presents an opportunity to integrate jobs and housing, develop efficient transportation and utility systems, create an attractive residential and business community, incorporate natural resource areas, and provide recreational opportunities as community amenities and assets.

ALTERNATIVES:

The Plan has been through many revisions. The Planning Commission may provide recommendations and modifications to the Concept Plan. However, given the nature of this project, and due to the fact that both Cities need to adopt the same concept plan, modifications would need to be coordinated with City of Tualatin staff.

CITY MANAGER COMMENT:

n/a

ATTACHMENTS:

- 1. Basalt Creek Concept Plan and Technical Appendices (<u>Link to Document</u>) dated July 2, 2018
- 2. Concept Plan Findings Report
- 3. Public Meeting Index Record (Link to Document)
- 4. Joint City Council Meeting Packets And Minutes (Link to Document)
- 5. Wilsonville Planning Commission and City Council Meeting Minutes Excerpts (<u>Link to Document</u>)
- 6. Metro Resolution 18-4885 and Meeting Packet (Link to Document)
- 7. Citizen Input testimony prior to public hearings (Link to Document)
- 8. Basalt Creek Open House Summaries (Link to Document)
- 9. Boones Ferry Messenger Communications (Link to Document)
- 10. Mailed / Emailed Updates To Interested Parties (Link to Document)
- 11. Basalt Creek Concept Plan Planning Commission Record Index (Link to Document)



BASALT CREEK CONCEPT PLAN

Attachment 15: <u>Basalt Creek Concept Plan</u>

Citizen Input Submitted to

City of Tualatin

File path:

https://www.ci.wilsonville.or.us/sites/default/files/fileattachments/planning/page/8 4121/c. bc record attachment.15. citizen input sumitted to the city of tualatin.pdf



BASALT CREEK CONCEPT PLAN

Attachment 15: Basalt Creek Concept Plan

Citizen Input Submitted to

City of Tualatin



Attachment H:

Public Comment Record Index



Year		Date	Last	First	format	Link to oral testimony video where available
Tear		Date	Lasi	riist		Link to oral testimony video where available
				_	2013	
	2013	7/17/2013		Grace	written	
	2013	11/4/2013	Lucini	Grace	written	
	,				2014	
	2014	1/6/2014	Lucini	Grace	written	
	2014	1/12/2014	KOSS	Herb	written	
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	2014	1/27/2014	Lucini	Grace	written	
	2014	4/21/2014	Lucini	Grace	written	
	2014	4/24/2014		Grace	written	
	2014	4/24/2014	Luciiii	Grace	TPC Oral	
		0/10/001		_		
	2014	6/19/2014		Grace	Testimony	
	2014	6/19/2014	Lucini	Grace	written	
	2014	6/25/2014	Lucini	Grace	written	
	2014	7/9/2014		Tim	written	
	2014	7/3/2014	Davis		Wilceli	
					Council Meeting	http://tualatinoregon.pegcentral.com/player.php?video=
	2014	7/14/2014	Lucini	Grace	Oral Testimony	926baa198321219c51b7ae176adf33cd
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	2015	8/21/2015		Herb	written	
	2015	9/10/2015	Lucini	Grace	written	
	2015	9/11/2015	Koss	Herb	written	
	2015	10/3/2015		Herb	written	
	2015	10/21/2015		Grace and John	written	
	2015	12/7/2015		Grace	written	
	2015	12/14/2015	Lucini	Grace	written	
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	2016	5/20/2016		Grace	written	
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	2016	6/8/2016	Lucini	Grace	written	
	2016	8/24/2016		Herb	written	
	2016	9/9/2016		Grace	written	
	2016	9/9/2016		Grace	written	
	2016	9/19/2016		Grace	written	
	2016	9/27/2016	Combined com	ment log	written	
	2016	10/4/2016		Herb	written	
	2016	10/5/2016		Herb	written	
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		10/10/2016		Paul	Oral Testimony	<u>56</u>
20		10/11/2016		Herb	written	
	16	10/17/2016		Mehdi	written	
	16	10/17/2016		John and Grace	written	
	16	10/17/2016		Marvin and Carlene	written	
20	16	11/23/2016	Lucini	Grace	written	
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20	16	11/28/2016	Childs	Hannah	Oral Testimony	10
					Council Meeting	http://208.71.205.11/cablecastapi/embed?show_id=140
20	16	11/28/2016	Fox	Lois	Oral Testimony	10
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20	16	11/28/2016	Leitgeb	Sherman	Oral Testimony	<u>10</u>
					Council Meeting	http://208.71.205.11/cablecastapi/embed?show_id=140
20	16	11/28/2016	Morrison	Paul	Oral Testimony	10
					Council Meeting	http://208.71.205.11/cablecastapi/embed?show_id=140
20	16	11/28/2016	Powell	Scott	Oral Testimony	10
	16	11/29/2016		Tom	written	<u></u>
		11/30/2016		Herb	written	
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20	17	1/12/2017	Lucini	Grace	written	
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20 20 20	017 017 017 017	1/12/2017 1/17/2017 1/19/2017	Lucini Koss Childs	Herb Tom	written written TPC Oral Testimony TPC Oral Testimony written	
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2017	7/24/2017	Childs	Tom	Oral Testimony	47
				Council Meeting	http://208.71.205.11/cablecastapi/embed?show_id=148
2017	7/24/2017		Tim	Oral Testimony	47
2017	7/24/2017	Koss	Herb	written	
				Council Meeting	http://208.71.205.11/cablecastapi/embed?show_id=148
2017	7/24/2017	Koss	Herb	Oral Testimony	47
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2017	7/24/2017	Leigh	Ashley	Oral Testimony	47
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2017	7/24/2017	Leitgeb	Sherman	Oral Testimony	47
				Council Meeting	http://208.71.205.11/cablecastapi/embed?show_id=148
2017	7/24/2017	Luster	Debbie	Oral Testimony	47
				Council Meeting	http://208.71.205.11/cablecastapi/embed?show_id=148
2017	7/24/2017	Powell	Scott	Oral Testimony	47
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2017	7/24/2017	Root	Gordon	Oral Testimony	47
2017	8/29/2017		Herb	written	''
2017	8/30/2017		Herb	written	
2017	9/18/2017	Re	Tom	written	
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2017	10/20/2017	Lucini	Grace	Testimony	
2017	11/15/2017	Lucini	Grace	written	
2017	11/15/2017	Re	Tom	written	
2017	11/19/2017	Koss	Herb	written	
2017	12/6/2017		Gordon	written	
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				Council Meeting	http://208.71.205.11/vod/15310-TUCC-121117-Medium-
2017	12/11/2017		Scott	Oral Testimony	http://208.71.205.11/vod/15310-TUCC-121117-Medium- v1.mp4
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Attachment H1:

Public Comment Record 2013-2014



GRACE LUCINI 23677 SW Boones Ferry Road Tualatin Oregon, 97062 503 692-9890

Wednesday, July 17, 2013

Tualatin City Council 18880 SW Martinazzi Ave Tualatin, OR 97062-7092

RE:

Letter and Attachments for Public Record

For City Council Meeting July 22, 2013 Informational Packet

Agenda Item #D4- Addendum to Basalt Creek Inter-Governmental Agreement

Please include for Public Record the following letter and 9 attachments—in the informational packet for the Tualatin City Council Meeting scheduled for Monday July 22, 2013.

The attached letter relates to and provides additional information on agenda item #D4-Authorization for the Mayor to Sign an Addendum to the Basalt Creek Inter-Governmental Agreement (IGA).

This letter was written to the Washington County Board of Commissioners in opposition of proposed Washington County Ordinance 767.

A flash drive with digital copies of the letter and attachments is provided as well.

Respectfully submitted,

Grace Lucini

FOR THE RECORD---PUBLIC COMMENT LETTER

PROPOSED WASHINGTON COUNTY ORDINANCE 767 ---PORTION RELATING TO - BASALT CREEK TRANSPORTAION REFINMENT PLAN July 15, 2013

The proposed Ordinance 767 fails to achieve the goals of the Basalt Creek Transportation Refinement Plan.

The location of the Proposed Arterial Through-Truck Route as identified in proposed Ordinance 767 (Exhibit 1, Pages 1-6) does not provide direct access from, "Tualatin – Sherwood Road to I- 5 in North Wilsonville through the Basalt Creek Planning Area which is currently between the cities of Tualatin to the north, and Wilsonville to the south" Introduction Basalt Creek Transportation Refinement Plan Recommendations- Final Draft (Please See Attachment #7)

Additionally there was not sufficient due diligence in the analysis evaluating the proposed location of the Arterial Through-Truck Route as opposed to other locations with regards to:

- 1. Environmental Impact to Identified Significant Natural Areas in the proposed location
- 2. Topographical/Road Grade Limitations in the proposed location
- 3. Ability to integrate multi-modal forms of transportation in the proposed location
- 4. Estimated Cost and Integration with other Basalt Creek Projects with the proposed location
- 5. Actual inclusion of Public Outreach into the decision making process
- 6. Compatibility and Integration with Clackamas County TSP- Stafford Basin

BACKGROUND

The stated goal of the 2035 RTP Project List Basalt Creek Planning Area City-County-Metro IGA (Exhibit 4) Metro Project ID #11342 was to "Improve access to and from the Southern Arterial and I-5".

The selected route alternative (also known as the Basalt Creek East-West Connector; or Grahams Ferry to Boones Ferry Road Connector) is identified in Ordinance 767, and delineated in the Basalt Creek Transportation Refinement Plan. While project staff had the flexibility inherent in designing a new route, while doing so did not address, or provide adequate information for public discussion, regarding significant factors which exist along the proposed Major Arterial 5 Lane Regional Freight Route.

The Grahams Ferry Road to Boones Ferry Road Connector was the only location of the four alternatives proposed to the Policy Advisory Group, which requires a bridge with a 6% grade, and the only alternative of the four which is located in an area with the highest valued environmental habitat.

1. NEGATIVE ENVIRONMENTAL IMPACT of Selected Freight Route in proposed Ordinance 767

Washington County knows or should have known the specific location of the proposed freight route is through several environmentally significant natural resources and disclosed such during public meetings for proper vetting of the alternatives:

- Wetlands identified on the National Wetland Inventory (Please see Attachment #1)
- Near or including Potentially Jurisdictional Wetlands of the State or US Letter to Washington County from Oregon Department of State Lands 6-3-2013, regarding SW Boones Ferry Road Improvement Project (*Please see Attachment #2*)
- Near or including Potentially Jurisdictional Waters of the State or US Letter to Washington County from Oregon Department of State Lands 6-3-2013, regarding SW Boones Ferry Road Improvement Project (Please see Attachment #2)
- Tapman Creek which lies between Grahams Ferry Road and Boones Ferry Road in the location of the proposed freight route, is part of the Willamette Watershed and tributary to the Willamette River. The City of Wilsonville is required to file a TMDL report because of the pollution with the local waters. Tapman Creek is a contributory to that drainage system.
- Metro- Tier II Tonquin Geologic Target Area Resolution #07-3850 (Please see Attachment #3)
- Metro Upland Class A Habitat (Please see Attachment #4)
- Metro Riparian Class I (Please see Attachment #4)
- Metro Wetland (Please see Attachment #4)
- Washington County Goal 5 Significant Natural Area- Ordinance 671 (Please see Attachment #5)
- Washington County Goal 5 Water Area, Wetlands & Fish and Wildlife Habitat Ordinance 671 (*Please see Attachment #5*)

Preliminary project design plans (*Please see Attachment # 6*) show a significantly large cut and fill into the identified wetlands will be necessary to be able to lower the grade of the required bridge through the wetlands to a 6% grade.

However, the project staff/consultants have commented the level of environmental evaluation utilized in the site selection process provided to the Basalt Creek Policy Advisory Group, did not go past the preliminary level of evaluation (i.e. presence of wetlands or not).

Upon being questioned at a Tualatin City Council Work Session, project staff commented the location of the East-West Connector had not undergone a CETAS evaluation; adding, a CETAS evaluation had been done at another location relating to the Highway 99 to I- 5 selection process.

It is not known if this proposed project has been submitted for evaluation under ODOTS <u>Major Transportation Projects Agreement</u>..."

"Objectives of the Agreement for Environmental Streamlining of Major Transportation Projects (Agreement)

The signatory agencies to this Agreement wish to ensure full communication, participation, and early involvement in the Oregon Department of Transportation's (ODOT's) major transportation projects: those processed with an Environmental Impact Statement (EIS) or Environmental Assessment (EA) that are likely to impact cultural or natural resources. The anticipated benefits are:

- Improved cooperation and efficiency among agencies;
- Greater environmental protections; and
- Projects completed in budget and on time."

Potential Conflict of Interest

Local governments are given the authority to implement and oversee Title 13 and Goal 5 measures. Does a conflict of interest regarding Title 13 and Goal 5 measures develop when the local government is also the applicant/developer?

On another Basalt Creek Project, the SW Boones Ferry Road Improvement Project, Oregon DLS confirmed the existence of wetlands within the scope of the project (*Please see Attachment #2*). Washington County was the applicant for the Land Use Category B application.

In the Notice of Decision and Staff Report on the project's Land Use application it was stated,

"Washington County Department of Land Use and Transportation is the holder of a NPDES 1200CA permit issued by the Oregon Department of Environmental Quality. County staff includes certified erosion control inspectors, and the project must only notify DEQ of the project to perform construction under the issued permit. A separate 12000C permit is not required from any other agency".

The self-governing relationship Washington County enjoys with itself, causes one to question if environmental concerns are given unbiased oversight evaluation. Has the negative impact upon the various significant natural resources identified at the proposed location of Ordnance 767 in the Basalt Creek Area, be given the appropriate level of evaluation by unbiased agencies?

The location of the proposed route is also outside the boundaries of Clear Water Services, which again limits the oversight of this project with regard to potential negative impact to and protection of natural resources.

Additional factors which should also have been considered and disclosed as part of analysis of the proposed freight arterial is the compounding impact of the 6% grade bridge and resulting:

- o Pollution from Road Run-off into wetlands
- De-icing solution run-off into wetlands acerbated due to the steep bridge grade
- Noise pollution- The noise factor from freight truck compression brakes (Jake Brakes) used on the 6% grade bridge will be amplified by the elevation of the bridge, and by the topography of the surrounding ravine.
 - Will remedy be provided for local residences prohibiting the use of Jake Brakes along this section of the arterial as part of the Ordinance?
 - If use of Jake Brakes is prohibited, what effect will this have on freight trucks descending the
 6% grade which will be a required feature of this route selection.
 - This this issue should have been discussed as part of the public analysis of the site selection.

2. TOPOGRAPHICAL IMPACTS OF SELECTED ROUTE UPON FLOW OF FREIGHT TRAFFIC

The proposed routing of the Regional Arterial Freight Route includes several design factors known to increase freight congestion and bottlenecks:

• **6% Grade Bridge**-County staff has stated the arterial location identified in Ordinance 767 will require a connector bridge between Grahams Ferry Road and SW Boones Ferry Road. Project staff has said the bridge grade can be reduced to approximately a 6% grade by requiring cut and fill in the Basalt Creek Ravine. (*Please see Attachments #6 and #7*)

This was the only alternative of the four alternative routes presented by the Washington County staff which requires a 6% grade bridge

Although Washington County allows construction of roads greater than 6% grade, the Federal Department of Transportation recommends a maximum grade of 6% for Highways.

- Steep Grades negatively impacts flow of freight trucks
 - Steep Grade Bottlenecks for Trucks (for roadway sections with grades greater than 4.5 percent and more than a mile long)increases costs associated with freight shipping... "the total delay associated nationally with this type of bottleneck in 2006 was about 26 million truck hours or 12 percent of the total truck hours of delay. At a delay cost of \$32.15 per hour, the direct user cost of the bottlenecks is about \$836 million per year" <a href="Estimated Cost of Freight Involved in Highway Bottlenecks by Cambridge Systematics, Inc. for US Department of Transportation."
 - "As a vehicle's weight increases, its ability to accelerate quickly for merging with freeway traffic and to maintain speed (especially when climbing hills) is degraded, unless larger engines or different gearing arrangements are used. These concerns may also be addressed by screening routes to ensure they are suitable for use by any vehicle at its proposed weight and dimensions...
 As with congestion, the speed (a function of weight, engine power, and roadway grade) and length of a vehicle are the major factors of concern, although vehicle speed is more

important than length in assessing congestion effects." US Department of Transportation-

Comprehensive Truck Size and Weight Study Volume 3 Chapter 9

- O A 6 % grade bridge increases safety concerns...
 - "Speed differential on highways with steep grades can contribute to safety and operational problems. Trucks and other heavy vehicles lose speed on steep, ascending grades and may be unable to reach full highway speed until they have passed the crest of the steep grade. Vehicles behind them are slowed degrading operations at the least, and contributing to rear-end conflicts and in some cases risk passing maneuvers at the worst. Truck drivers may also choose to descend grades at slower speeds to maintain better control of their vehicles. Operations may be degraded for faster-moving vehicles from behind, creating an increased risk of rear-end crashes and risky passing maneuvers". "Mitigation Strategies-Grade" Federal Highway Administration,

- "All of the studies that address vertical grade estimate that increasing steepness is positively associated with crash frequency" <u>Analysis of Design Attributes and Crashes on the Oregon Highway System</u>—Final Report, ODOT 2001
- "Bridges. When the temperature drops, bridges will freeze before the road will." <u>Oregon Commercial Driver License Manual 2012-2013</u>
- Tire traction on icy roads decreases with increased road grade and cross slopes
- Knowledgeable truck drivers will elect to use and congest other local roads rather than use a steep bridge when ice or frost threatens
- Roads with steep grades reduce drivers' visual sight distance- decreasing driver reaction time.
- Bridges by their nature- provide limited points of access for emergency vehicles and may increase emergency response time- which would be a safety issue especially in cold weather due to the grade of the bridge
- Sun glare may cause visual impairment on drivers ascending the 6% grade when driving
 east on the proposed route. This is an issue of which I have personal knowledge due to the
 location of my driveway which is parallel to the proposed route.
- Signaled Intersections at top and bottom of a steep grade-increase freight bottle neck congestion
 - Only this selected alternative route includes this bottleneck design factor- due to the 6% grade bridge intersecting at Grahams Ferry and Boones Ferry Road
 - Freight Truck transit time through intersections at the top and the bottom of 6% will increaseslowing flow of freight traffic
 - Washington County staff acknowledged an additional acceleration lane may be needed to address truck acceleration limits ascending the 6% Grade bridge. This will add to construction costs.
 - Freight trucks require greater time and distance for deceleration when descending steep grades than private vehicles – slowing flow of traffic descending the grade nearing Grahams Ferry Road Intersection
- "Major arterials connecting at a "T" Intersection increases bottleneck congestion. To address this bottle neck design, the County staff acknowledged additional design factors would be needed, potentially including additional turn lanes at the top of bridge at the "T" intersection to Boones Ferry Road to accommodate flow and speed of freight traffic. This will require additional costs to remedy.

3. MULTI-MODAL USE-- LIMITATIONS OF SELECTED FREIGHT ROUTE

The East-West Connector was presented by project staff as being able to connect to the Tonquin Ice Age Trail. However, the Federal Government and ADA recommendations for sidewalks and pathways include a maximum grade of 5%, which is exceeded by the stated anticipated grade of the Grahams Ferry to Boones Ferry Road Connection Bridge.

"Public rights-of-way and facilities are required to be accessible to persons with disabilities through the following statutes: Section 504 of the Rehabilitation Act of 1973 (Section 504) (29 U.S.C. §794) and Title II of the Americans with Disabilities Act of 1990 (ADA) (42 U.S.C. §§ 12131-12164). The laws work together to achieve this goal. (9-12-06)" <u>US Department of Transportation Federal Highway Administration- Civil Rights-Questions and Answers About ADA/Section 504</u>

While design allowances/ mitigation is permitted to allow a sidewalk adjacent to roads to be the same grade as the road-

- This was the only route of the alternatives which exceeded the 5% grade maximum grade.
- Some design mitigators which can address the steep grade for pedestrians, include the addition of horizontal resting platforms at frequent locations along the grade. This may increase the length of the bridge, or increase the grade between the rest areas.
- If resting platforms are included in the pedestrian portion of the bridge design, then it is recommended the width of the pedistrian sidewalk be enlarged to allow free flow of pedistrian traffic unobstructed by other pedestrians who are using the resting areas. This will increase construction costs.
- The 6% grade may cause health and safety issues for
 - Pedestrians of any age with limited mobility
 - Novice bicyclists
 - People in wheelchairs or other mobility devices
 - These factors decrease the effective utilization of this route by multiple means of transportation due to location and design of the proposed route.

4. COST FACTORS

Construction Costs-Additional Phasing Costs-Integration with other Basalt Creek Projects

In addition to costs relating to the steep grade of the bridge (i.e. costs for additional acceleration lanes, freight turn lanes, and costs for design mitigators which may be added to reach ADA recommended 5% grade or less), the East-West Connector Route was the only alternative selection which requires the demolition of a part of another Basalt Creek Refinement Project.

• The arterial route identified in Ordinance 767 will intersect SW Boones Ferry Road at a point which requires the demolition of the main access to, and a significant portion of, the frontage road to be created as part of the Basalt Creek SW Boones Ferry Road Improvement Project. The SW Boones Ferry Road Improvement Project is currently under construction and not yet completed.

Costs to Community

 This Connector Route was the only selection alternative which requires the destruction of a development community of 5 single family homes.

5. PUBLIC OUTREACH - EQUITY

The location of the proposed Freight Arterial is within CPO 5. At this time CPO 5 is not active, which removed an established mechanism for local residents to express their concerns regarding the proposed freight route.

While the residents of the Cities of Wilsonville and Tualatin had local representation in the Policy Advisory Group in addition to the representation by a Washington County Commissioner, the residents directly within the path of the proposed freight arterial did not have local representatives on the PAG committee.

This small portion of incorporated Washington County has been subjected to a disproportionally high number of actions having negative impacts upon the existing local residents -

- Coffee Creek Correctional Center
- SW Boones Ferry Road Improvement Project
- 124th To Grahams Ferry Road Connector
- Proposed location of East-West Connector as identified in Washington County Ordinance 767

Local residents have made significant efforts to obtain information on the proposed project over the last few years. Many of their comments were not quantified in the presentations to the various PAG member groups.

While it appeared that while some Public Outreach efforts were made, it is apparent that the information gained was not utilized. An example of this lack of concern for the voice of residents can be found in the MSTIP 3D Public Outreach of which this project was to be evaluated for inclusion for funding. While the long list of projects were posted for public input in March 2012, the short list of projects to be funded was posted the prior day.

6. COMPATIBILITY AND INTEGRATION WITH CLACKAMAS COUNTY TSP-and STAFFORD BASIN

Project staff and consultants stated the advantage of this location over the other alternative locations for the freight arterial would be the ability to extend Greenhill Lane over Interstate 5 to connect to Frobase Road.

- With the proposed Ordinance, the Greenhill Lane extension will be a dead end road without use as a freight route until and if an I-5 overpass is created.
- The west end of Frobase Road is currently outside the UGB
- It was stated the estimated timeframe for the Frobase Road Overpass was 2035, or when and if development occurs in the Stafford Basin.
- The Greenhill Lane road extension, even when the overpass is completed, will not directly connect to Interstate 5

In Public Outreach presentations project staff did not elaborate upon where freight traffic would flow once Interstate 5 was crossed from the Greenhill Lane extension proposed with this Ordinance.

- The Basalt Creek Agreement and this proposed ordinance do not indicate coordination and/or
 integration with Clackamas County regarding the anticipated flow of freight traffic from Frobase Road
 into Stafford Basin and Clackamas County to the east or the City of Wilsonville to the south.
- Should the various governments not reach agreement and commitment to integrate their transportation plans regarding the Stafford Basin and the flow of freight traffic through their districts, then the advantage of locating the proposed freight route as presented in Ordnance 767 is lost.

In summary, it is intended public outreach be done, the information obtained, and the information be included as a part the decision making process.

In submitting this comment letter as part of the public record prior to the first reading on the proposed Ordnance 767, I hope the Washington Board of Commissioners will take time to consider the information provided prior to voting upon the Ordinance. The multiple facets of this ordnance seem to necessitate more than a few days being taken to obtain the answers to questions posed – to allow for an informed vote.

Additional Questions to be Resolved:

- 1. Should Ordnance 767 be passed at this time and without further answers regarding the feasibility of the route location?
 - Should the expenditure of monies for Right- of Way acquisitions begin without obtaining additional answers and information regarding Ordinance 767
- 2. Considering all of the identified significant natural resources through which the proposed route is located, has an environmental impact evaluation been obtained for this specific routing of the proposed freight route through the Basalt Creek Area?
 - Has an application for a CETAS analysis been submitted for this project?
 - Has the Army Corp of Engineers, Oregon Department of Land Services, or DEQ been consulted about the impact of the proposed route on the environment/ significant natural resources?
 - Was an economic, social, environmental and energy (ESEE) analysis obtained? If so, were the results discussed in public meetings as part of the public process?
- 3. The proposed freight arterial route in the Basalt Creek Area, was the only alternative location which included a bridge close to 6% grade. Considering this route is to be used by local gravel trucks from the local quarries, is a 6% grade reasonable and conducive to free flowing freight traffic?
- 4. Was the ability of the route to accommodate multi-modal forms of transportation (including pedestrians of all abilities) given a sufficient weight factor in determining the location of the arterial?

As stated by <u>Federal Department of Transportation Office of Operations 21st Century Operations Using 21st <u>Century Technology- Traffic Bottlenecks</u>, "Engineering judgment may be called into play when certain geometrics (e.g., grades, curves, sun angle, etc.) can't be analyzed by the micro simulation tool(s)."</u>

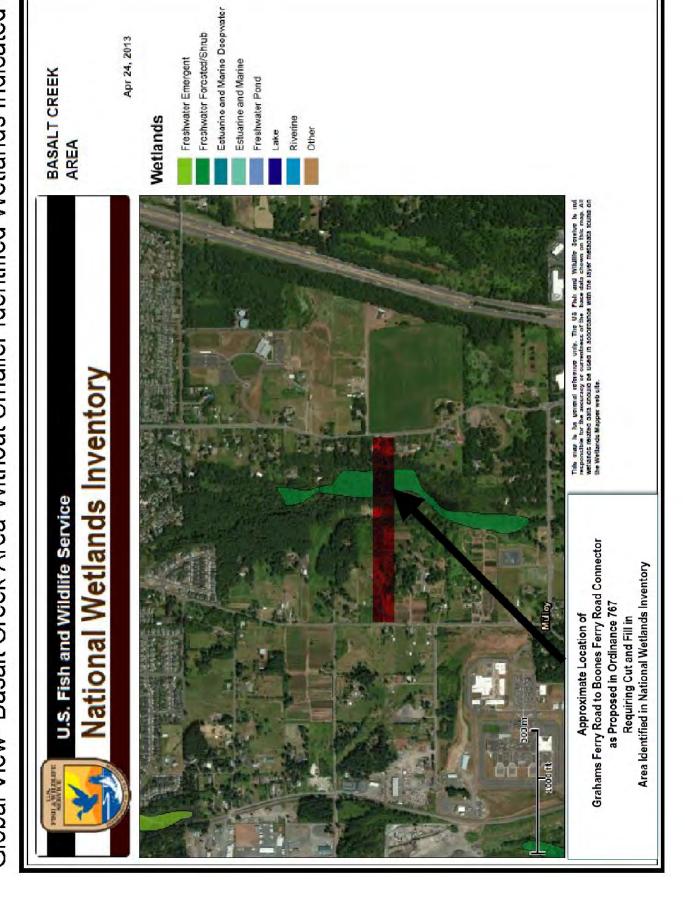
It is time to take a realistic look at this proposal and evaluate if it is the best solution in meeting the stated goal, and if the most logical placement of a regional freight arterial was found.

Respectfully submitted,

Grace Lucini 23677 SW Boones Ferry Road Tualatin, OR 97062 503 692 9890

ATTACHMENT #1

Global View- Basalt Creek Area-Without Smaller Identified Wetlands Indicated NATIONAL WETLANDS INVENTORY- BASALT CREEK AREA



ATTACHMENT # 2



June 3, 2013

Washington County Attn: Abe Turki 1400 SW Walnut Street, MS 18 Hillsboro, OR 97123

Re: Wetland Delineation Report for the Proposed SW Boones Ferry Road Widening Project – SW Norwood Road to SW Day Road (#15315), Washington County; T 2S R 1W S 35CA, 35CD and 35D portions of multiple tax lots; T 3S R 1W S2A, 2AB and 2B portions of multiple tax lots; WD #2013-0002; APP #53166

Department of State Lands

775 Summer Street NE, Suite 100 Salem, OR 97301-1279 (503) 986-5200 FAX (503) 378-4844 www.oregonstatelands.us

State Land Board

John A. Kitzhaber, MD Governor

> Kate Brown Secretary of State

> > Ted Wheeler State Treasurer

Dear Mr. Turki:

The Department of State Lands has reviewed the wetland delineation report prepared by Pacific Habitat Services for the site referenced above. Based upon the information presented in the report, a site visit on May 10, 2013, and additional information submitted upon request, we concur with the wetland and waterway boundaries as mapped in revised Figures 6, 6A and 6B of the report. Please replace all copies of the preliminary wetland maps with these final Department-approved maps. Within the study area, five wetlands (totaling approximately 0.34 acres) and three waterways, including an intermittent tributary to Tapman Creek, a roadside ditch identified as Ditch A on Figure 6A, and an ephemeral headwater drainage, were identified. The five wetlands and one of the three waterways are subject to the permit requirements of the state Removal-Fill Law. Under current regulations, a state permit is required for cumulative fill or annual excavation of 50 cubic yards or more in wetlands or below the ordinary high water line (OHWL) of a waterway (or the 2 year recurrence interval flood elevation if OHWL cannot be determined). The remaining two waterways, the ephemeral headwater and Ditch A, are exempt per OAR 141-085-0515 (3) and (10); therefore, they are not subject to these state permit requirements.

In addition, the Department was informed during the site visit that a small portion of Wetland D was accidentally impacted by a tree removal operation prior to the permit being issued. However, the actual area and volume of the impact was later determined to be nominal (totaling approximately 160 square feet; 1 cubic yard of fill), and therefore, no further action is required.

This concurrence is for purposes of the state Removal-Fill Law only. Federal or local permit requirements may apply as well. This concurrence is based on information provided to the agency. The jurisdictional determination is valid for five years from the date of this letter, unless new information necessitates a revision. Circumstances under which the Department may change a determination are found in OAR 141-090-0045

(available on our web site or upon request). In addition, laws enacted by the legislature and/or rules adopted by the Department may result in a change in jurisdiction; individuals and applicants are subject to the regulations that are in effect at the time of the removal-fill activity, or complete permit application. The applicant, landowner, or agent may submit a request for reconsideration of this determination in writing within six months of the date of this letter.

Thank you for having the site evaluated. Please phone me at 503-986-5232 if you have any questions.

Sincerely,

Peter Ryan, PWS Wetland Specialist Approved by

Kathy Verble, CPSS

Acting Wetlands Program Manager

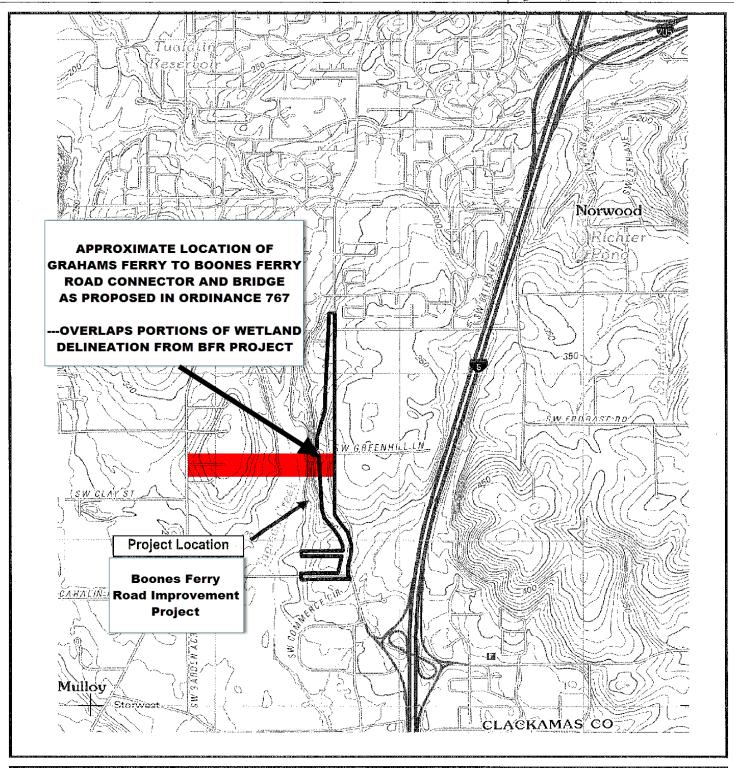
Enclosures

ec: Amy Hawkins, Pacific Habitat Services

Washington County Planning Department Michael Ladouceur, Corps of Engineers

Mike McCabe, DSL

Amber Wierck, Clean Water Services

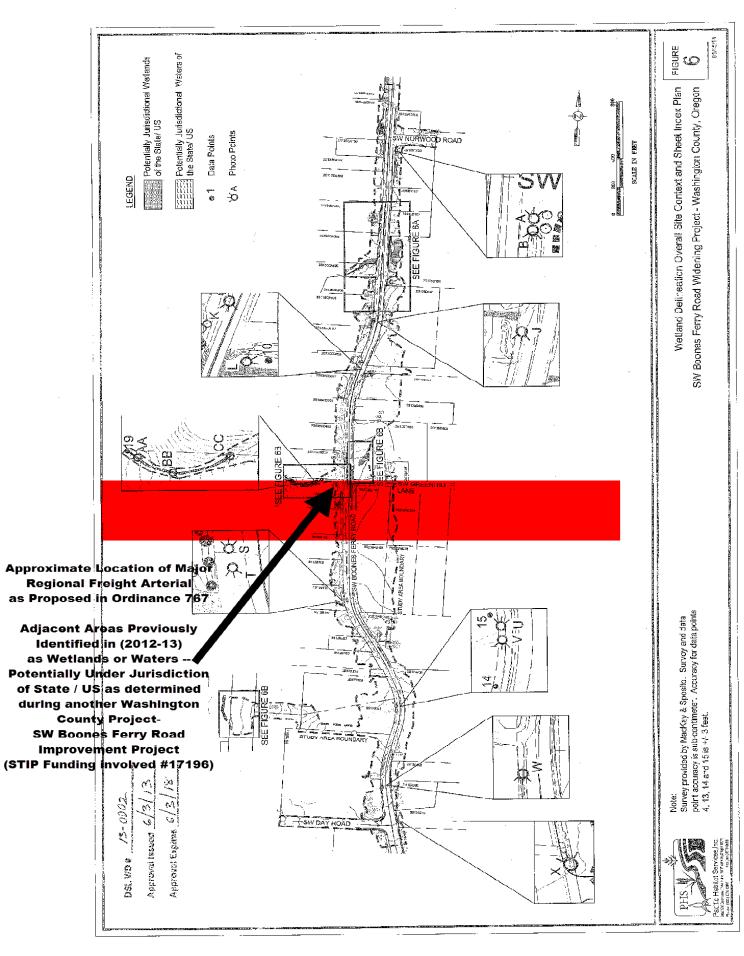


4788 11/15/12

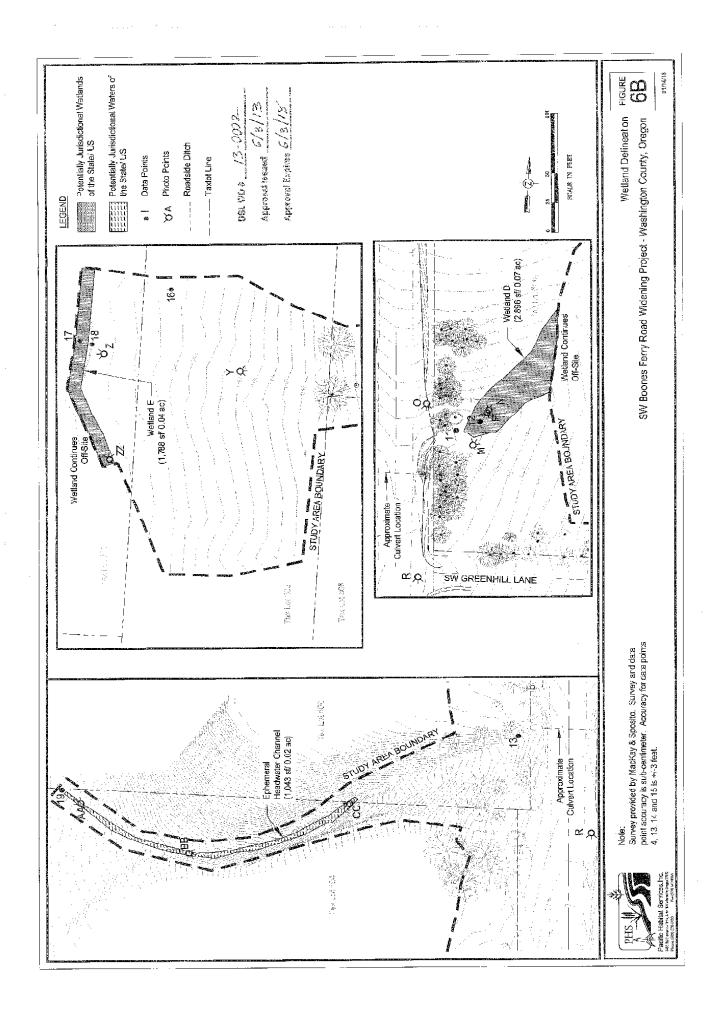
Pacific Habitat Services, Inc. 9450 SW Commerce Circle, Suite 180 Wilsonville, OR 97070 Location and general topography SW Boones Ferry Road Widening project in Washington County, Oregon (USGS Sherwood, OR quadrangle, 2011).

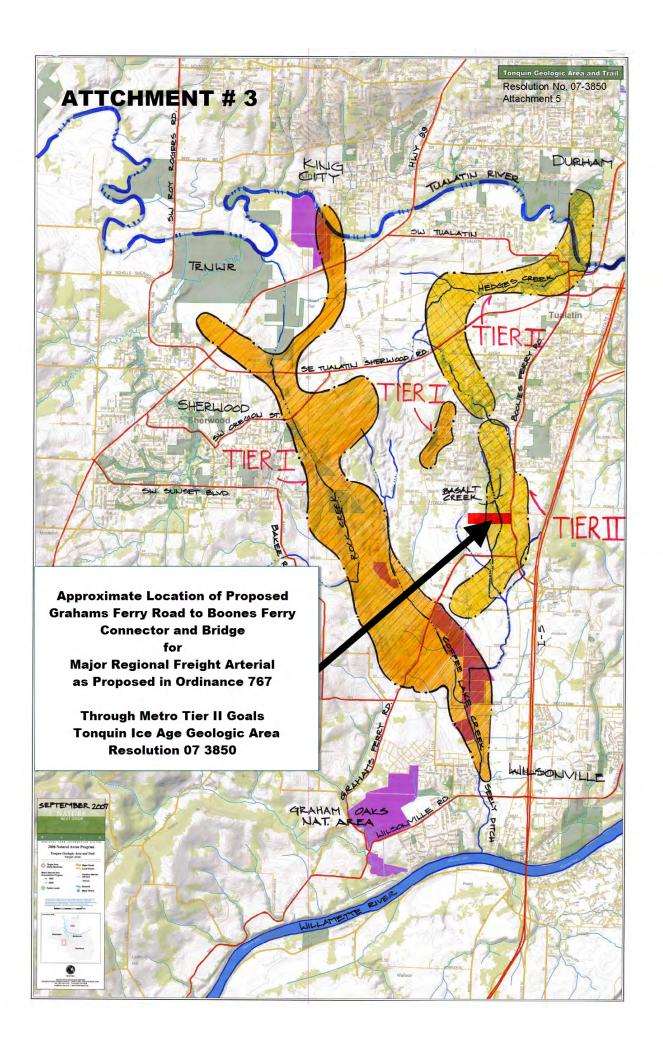
FIGURE

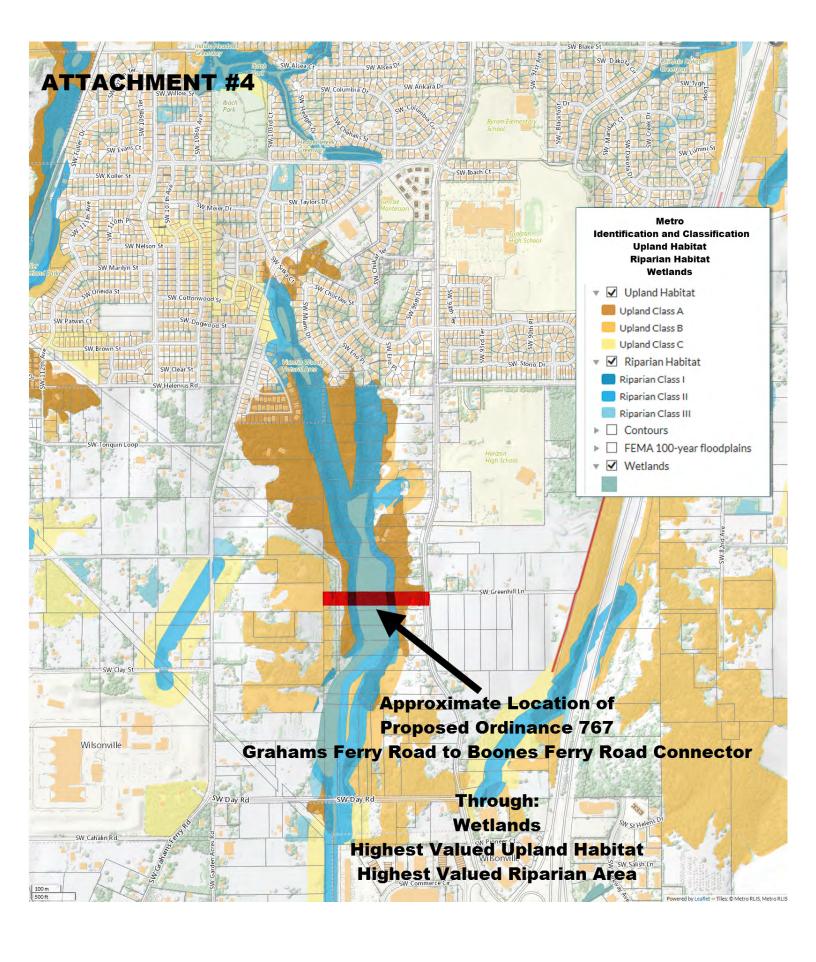
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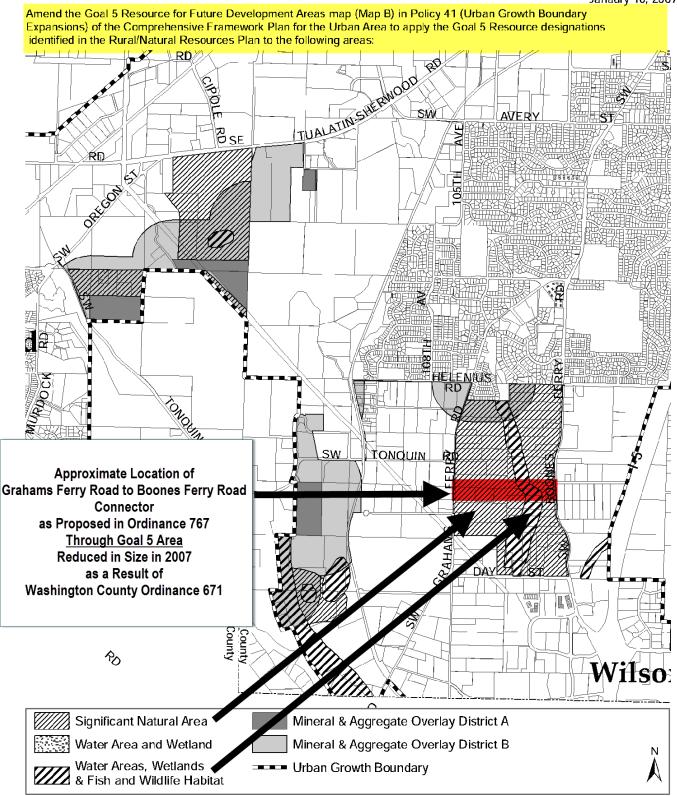




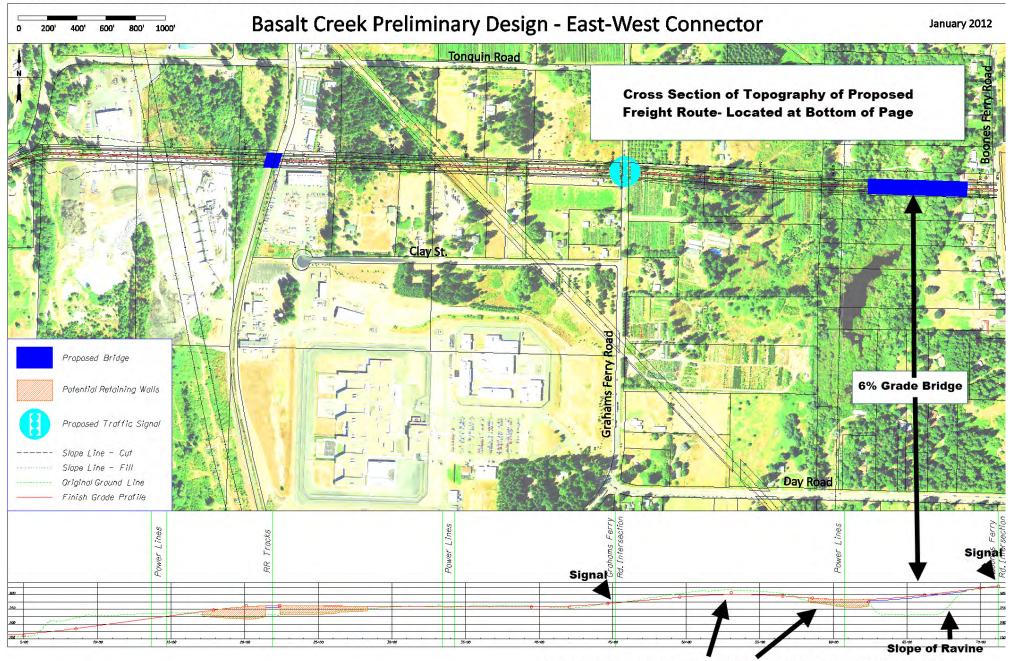


ATTACHMENT #5

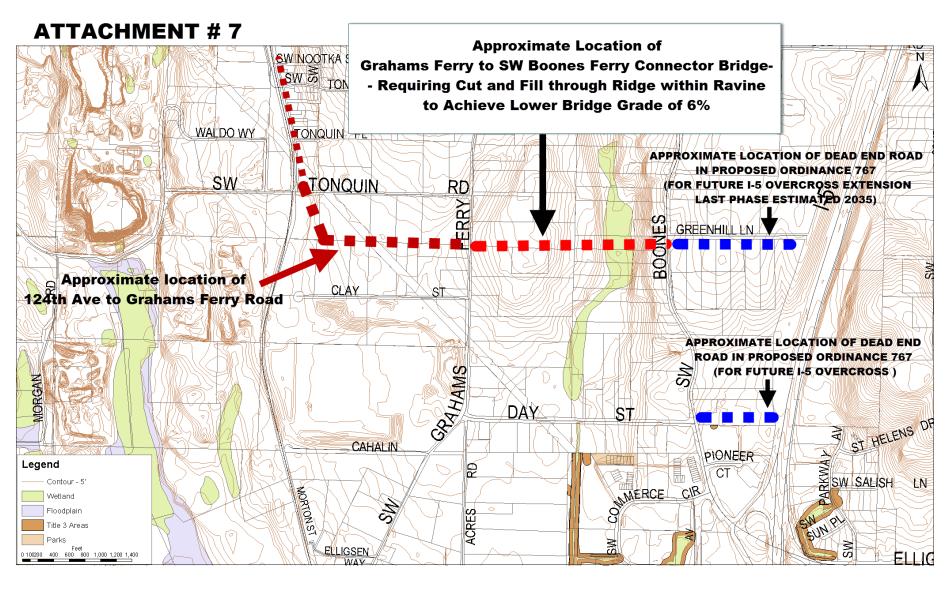
Ordinance 671 Exhibit 2 Page 3 of 9 Janaury 18, 2007



ATTACHMENT #6



Note- Cross Section of Cut and Fill Needed to Reduce Grade of Bridge



NO DIRECT CONNECTION

TO INTERSTATE 5

CREATED WITH PROPOSED ORDINANCE 767

Figure 5 – Washington County Lane Numbers map, is amended as follows:

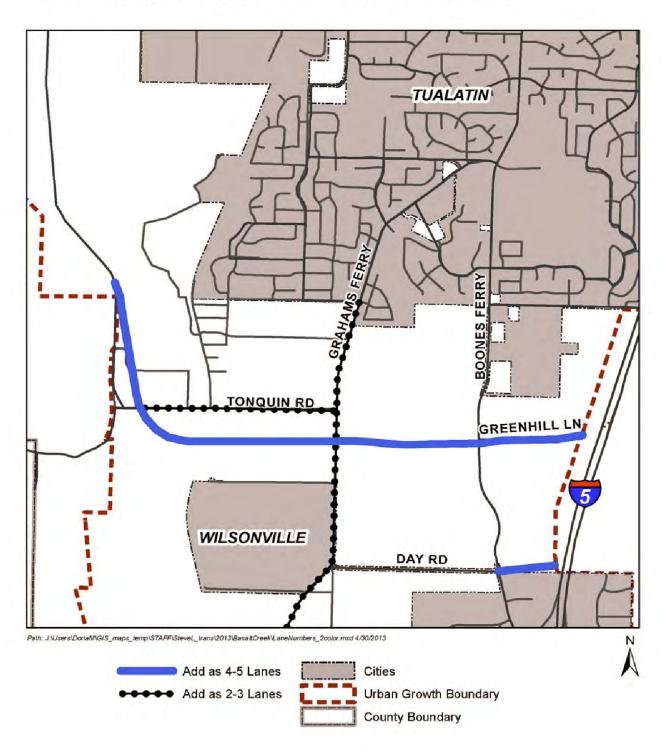
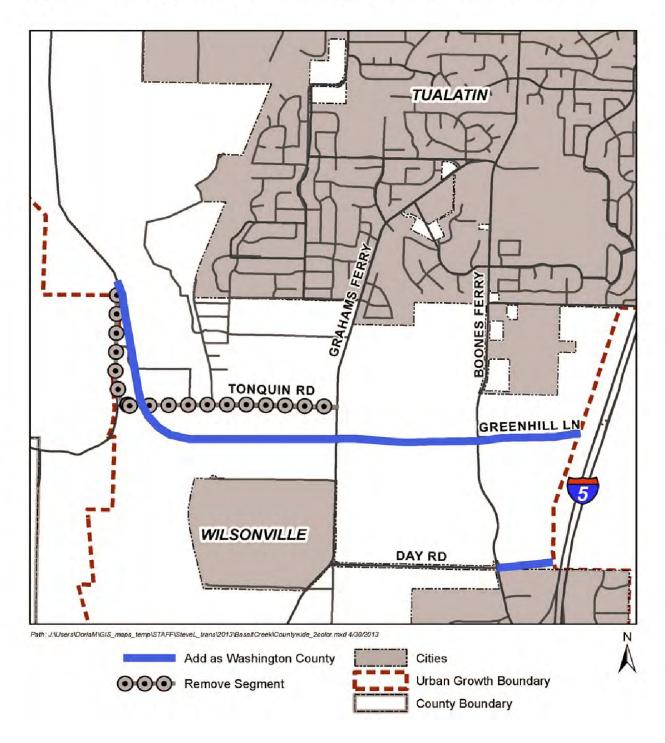


Figure 10 – Washington County Countywide Road System map, is amended as follows:



From: G Lucini
To: Mangle, Katie

Cc: Rappold, Kerry; Cosgrove, Bryan; Mayor Tim Knapp; CINDY HAHN; AQUILLA HURD-RAVICH; Neamtzu, Chris

Subject: Re: Follow-up Joint Meeting Basalt Creek Planning - Topography & Natural Resources

Date: Monday, November 04, 2013 6:49:12 PM

Katie,

Thank you for your follow up note.

I will look forward to hearing from either Cindy Hahn or yourself, when the consulting team is established within the next few months, as to participating in the planning process for Basalt Creek.

The offer for a first hand viewing experience of the significant natural resources and topography which lies to the west side of SW Boones Ferry Road definitely remains open.

Regards, Grace

On Mon, Nov 4, 2013 at 10:54 AM, Mangle, Katie < mangle@ci.wilsonville.or.us > wrote:

Greetings Mr. and Mrs. Lucini,

Mayor Knapp shared your email and resource documents with me, and I just wanted to get in touch and thank you for sharing this information.

Also, be assured that you are on our list of people who want to be involved in the project and we will be in touch as opportunities arise to contribute to the project. One Tualatin approves the contract with the consulting team, one of the first tasks will be to outline the plan for involving affected property owners and other interested folks in the project.

Another one of the early tasks will be to ensure that the designers have a solid understanding of the land - reviewing information just like the documents you've shared. Thank you for your generous invitation to visit your property. I would love to take you up on that offer, and suggest that we set up an appointment in a few months, once the consulting team's work is underway. I know they will benefit from seeing and understanding the land first-hand in this way as well. Either Cindy Hahn (with Tualatin) or I will be in touch with you as we move forward.

I look forward to working with you.

Best regards,

Katie

Katie Mangle

Long Range Planning Manager

City of Wilsonville

29799 SW Town Center Loop East

Wilsonville, OR 97070

503-570-1581

mangle@ci.wilsonville.or.us

Visit our website: <u>City of Wilsonville</u>: <u>Planning</u>

From: Mayor Tim Knapp

Sent: Wednesday, October 30, 2013 3:25 PM

To: Cosgrove, Bryan

Cc: Mangle, Katie; Rappold, Kerry; grluci@gmail.com

Subject: Fw: Follow-up Joint Meeting Basalt Creek Planning - Topography & Natural Resources

Hi All- Mr & Mrs Lucini were at the Basalt Creek meeting last night. They feel they have worthwhile input on Natural Resource considerations, which I agree we all will need to understand before we are done. I am not sure how we best fold this in, but invite Staff to take a look into it and make suggestions. The Lucini's indicate they would very much appreciate being included in the discussion, and would welcome a visit on site by Staff. Thx/TK

Sent from my Verizon Wireless Droid

----Original message-----

From: G Lucini <grluci@gmail.com>

To: Mayor Tim Knapp < knapp@ci.wilsonville.or.us > Sent: Wed, Oct 30, 2013 22:10:16 GMT+00:00

Subject: Follow-up Joint Meeting Basalt Creek Planning - Topography & Natural Resources

Thank you for the time you spent talking with my husband and me after the Joint Meeting on the Basalt Creek Area Planning- discussing the need for representation in the planning process for Washington County residents within the affected area.

We also discussed the significant natural resources and topography within the Basalt Creek Area which will cause limitations upon utilization-especially industrial development.

You mentioned the City of Wilsonville has a Natural Resource Program and a staff member who oversees these issues for the city.

I have attached copies of a few documents which validate the existence of significant topography and natural resources within the Basalt Creek Area which should be considered when planning zoning and development:

- Metro maps showing slopes greater than 10% in Basalt Creek Area
- Metro maps showing topography of Basalt Creek Area
- Metro maps showing Highest Valued Habitat in Basalt Creek Area
- Oregon DSL & Army Corps Identification Wetlands from Boones Ferry Rd Project
- Goal 5 Significant Resources west of SW Boones Ferry Rd
- National Wetlands Inventory- Basalt Creek Area
- Tonquin Geologic Area- Tier 2 Designation within Basalt Creek Area
- City of Wilsonville Willamette River TMDL Overview of Wilsonville's Watershed- including Seely Ditch Watershed

I cordially extend an invitation to you, the other members of the Wilsonville City Council, and/or your staff, to visit my home which is located within ravine of the Basalt Creek- Seely Ditch.

I think this first hand experience would provide a unique visual perspective to the various natural resources and constraints which need to be understood when planning for zoning and development of this area.

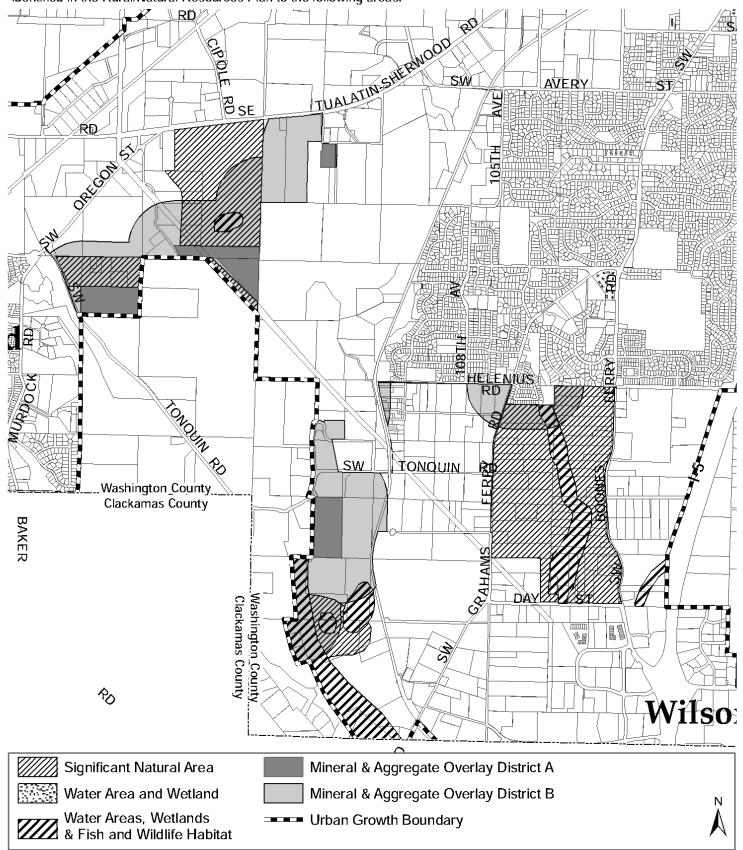
Grace Lucini

23677 SW Boones Ferry Road

Tualatin Oregon

503 692 9890

Amend the Goal 5 Resource for Future Development Areas map (Map B) in Policy 41 (Urban Growth Boundary Expansions) of the Comprehensive Framework Plan for the Urban Area to apply the Goal 5 Resource designations identified in the Rural/Natural Resources Plan to the following areas:





Department of State Lands

775 Summer Street NE, Suite 100 Salem, OR 97301-1279 (503) 986-5200 FAX (503) 378-4844 www.oregonstatelands.us

June 3, 2013

Washington County Attn: Abe Turki 1400 SW Walnut Street, MS 18 Hillsboro, OR 97123

State Land Board

John A. Kitzhaber, MD Governor

Re: Wetland Delineation Report for the Proposed SW Boones Ferry Road Widening Project – SW Norwood Road to SW Day Road (#15315), Washington County; T 2S R 1W S 35CA, 35CD and 35D portions of multiple tax lots; T 3S R 1W S2A, 2AB and 2B portions of multiple tax lots; WD #2013-0002; APP #53166

Kate Brown Secretary of State

> Ted Wheeler State Treasurer

Dear Mr. Turki:

The Department of State Lands has reviewed the wetland delineation report prepared by Pacific Habitat Services for the site referenced above. Based upon the information presented in the report, a site visit on May 10, 2013, and additional information submitted upon request, we concur with the wetland and waterway boundaries as mapped in revised Figures 6, 6A and 6B of the report. Please replace all copies of the preliminary wetland maps with these final Department-approved maps. Within the study area, five wetlands (totaling approximately 0.34 acres) and three waterways, including an intermittent tributary to Tapman Creek, a roadside ditch identified as Ditch A on Figure 6A, and an ephemeral headwater drainage, were identified. The five wetlands and one of the three waterways are subject to the permit requirements of the state Removal-Fill Law. Under current regulations, a state permit is required for cumulative fill or annual excavation of 50 cubic yards or more in wetlands or below the ordinary high water line (OHWL) of a waterway (or the 2 year recurrence interval flood elevation if OHWL cannot be determined). The remaining two waterways, the ephemeral headwater and Ditch A, are exempt per OAR 141-085-0515 (3) and (10); therefore, they are not subject to these state permit requirements.

In addition, the Department was informed during the site visit that a small portion of Wetland D was accidentally impacted by a tree removal operation prior to the permit being issued. However, the actual area and volume of the impact was later determined to be nominal (totaling approximately 160 square feet; 1 cubic yard of fill), and therefore, no further action is required.

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(available on our web site or upon request). In addition, laws enacted by the legislature and/or rules adopted by the Department may result in a change in jurisdiction; individuals and applicants are subject to the regulations that are in effect at the time of the removal-fill activity, or complete permit application. The applicant, landowner, or agent may submit a request for reconsideration of this determination in writing within six months of the date of this letter.

Thank you for having the site evaluated. Please phone me at 503-986-5232 if you have any questions.

Sincerely,

Peter Ryan, PWS Wetland Specialist Approved by

Kathy Verble, CPSS

Acting Wetlands Program Manager

Enclosures

ec: Amy Hawkins, Pacific Habitat Services

Washington County Planning Department Michael Ladouceur, Corps of Engineers

Mike McCabe, DSL

Amber Wierck, Clean Water Services

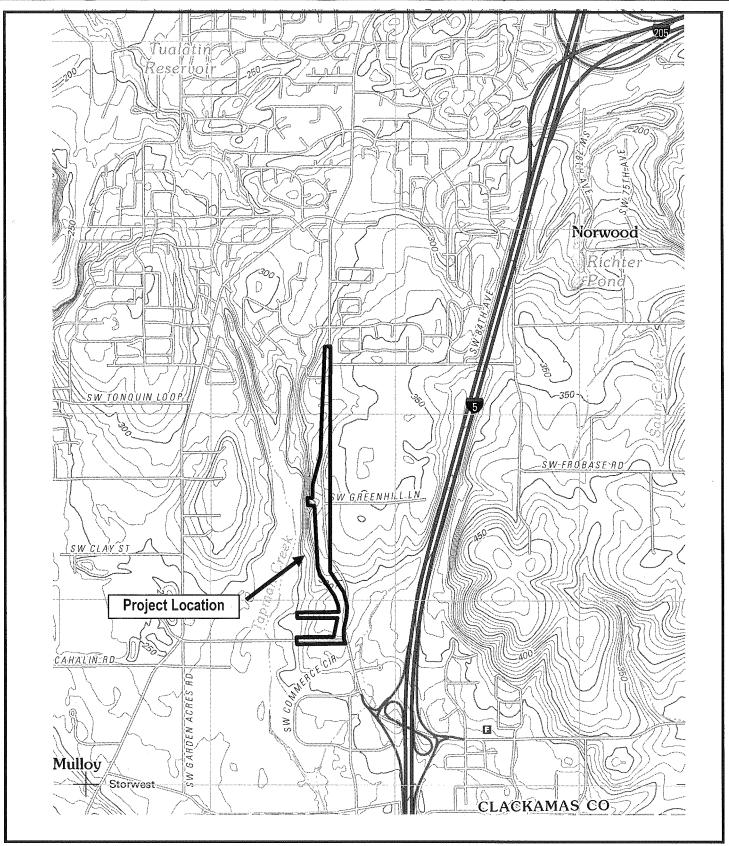
WF 'LAND DELINEATION / DETERMINATION REPORT COVER FORM

This form must be included with any wetland delineation report submitted to the Department of State Lands for review and approval. A wetland delineation report submittal is not "complete" unless the fully completed and signed report cover form and the required fee are submitted. Attach the form to the front of an unbound report and submit to: Oregon Department of State Lands, 775 Summer Street NE, Suite 100, Salem, OR 97301-1279

Mail a copy of the completed form with payment of the required report review fee to: Oregon Department of State Lands, P.O. Box 4395, Unit 18, Portland, OR 97208-4395. For new credit card payment option, see DSL web site.

Lands, P.O. Box 4395, Unit 18, Portland, OR 97208-439	5. For new credit card payment o	phon, see DSL web site.	
Applicant Owner Name, Firm and Address:	Business phone # 503-846-7800		
Washington County	Mobile phone # (optional)		
Attn: Abe Turki 1400 SW Walnut Street, MS 18	FAX # E-maîl: abraham_turki@co.washington.or.us		
Hillsboro, Oregon 97123	E-mail: abranam_turi	ki@co.wasnington.or.us	
Authorized Legal Agent, Name and Address:	Business phone # FAX #		
	Mobile phone #		
	E-mail:	A .	
l either own the property described below or I have legal authority property for the purpose of confirming the information in the report Typed/Printed Name: Abe Turki	to allow access to the t, after prior notification Signature:	access th	ie
Project and Site Information (for latitude & Ion		roints of linear project)	
Project Name: SW Boones Ferry Road widening project		Longitude: -122,447413	лΜ
Proposed Use: Widen SW Boones Ferry Road from SW Norwood Road to SW Day Road	Tax Map # 45-34G223 V		Carlo Ca
Project Street Address (or other descriptive location):	Township Range	Section QQ	
See Proposed Use	2S 1W	35 CA;CD;D;	
Portions of SW Boones Ferry Rd ROW and portions of the following tax lots:	3S 1W	2 A;AB;B	
35CA: 100, 200, 300, 400, 500, 600, 700, 800	Tax Lots: See left	/ SgF Stay tal	
35CD: 100, 200, 300, 302, 400, 500	Waterway:	River Mile: N/A	
101, 102, 106, 109, 303, 400, 401, and 500 Wetland/Tributary to Coffee			
2AB: 100, 101, 900, 1000	Lake Creek	Company to the same of the sam	
2B: 100, 102, 103, 104, 105, 106, 107, 200, 300, 301, 303, 306, 307, 308, 309, and 311		Control Contro	
City: Wilsonville County: Washington	NWI Quad(s): Sherwood		
	neation Information	Company Company	
Wetland Consultant Name, Firm and Address:	Phone # 503-570-080	00	
Pacific Habitat Services	Mobile phone #		
Attn: Amy Hawkins 9450 SW Commerce Circle, Suite 160	Mobile phone # FAX # 503-570-0855 uite 160 F-mail: ah@pacifichabitat.com		
Wilsonville, OR 97070			
The information and condusions on this form and in the attached report are true and correct to the best of my knowledge.			
Cons Date: 1/3//3			
Primary Contact for report review and site access is Consultant Applicant/Owner Authorized Agent			
	· · · · · · · · · · · · · · · · · · ·	tland Acreage: 0.38	
Check Box Below if Applicable:		uano Acreage, 0.30	
□ R-F permit application submitted	Fees: Fee payment subr	mitted \$ 378.0 0 388	
☐ Mitigation bank site		submittal of rejected report	
☐ Wetland restoration/enhancement project (not mitigation) Name of Payor: Washington County			
☐ Industrial Land Certification Program Site	į	Pacific Habitat Servi	ces
Other Information: Y N Has previous delineation/application been made on parcel? □ ⊠ If known, previous DSL #			
Does LWI, if any, show wetland or waters on parcel?			
	ffice Use Only		
DSL Reviewer: PR Fee Paid Date: 1	L/1/13 DE	SLWD#2013-0002	
Date Defineation Received: 2111 DSL Pr		SL Site #	
Scanned: Final Scan: IT DSLM		SI ADD # 53166	

WB#13-0002

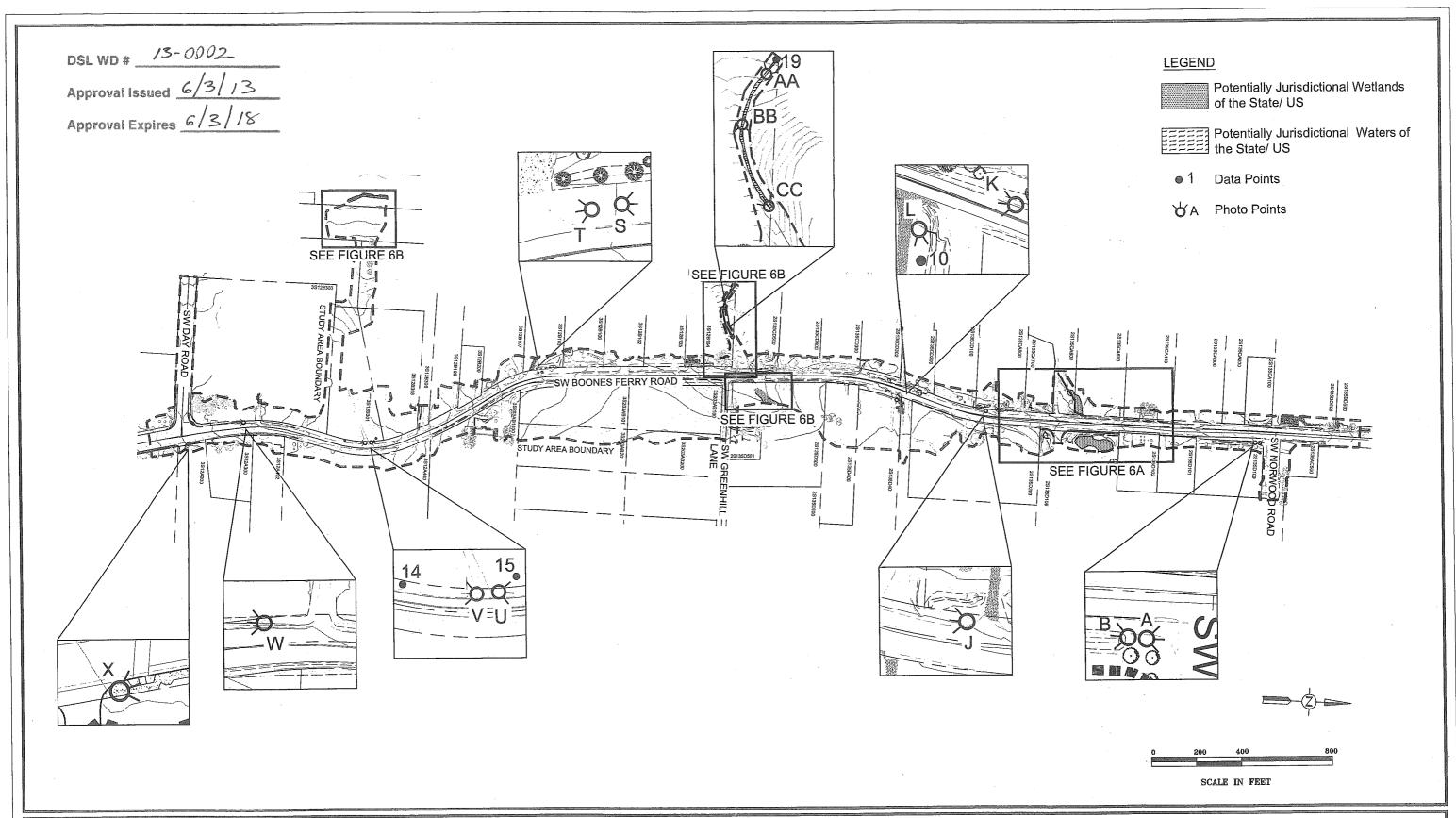


4788 11/15/12



Pacific Habitat Services, Inc. 9450 SW Commerce Circle, Suite 180 Wilsonville, OR 97070 Location and general topography SW Boones Ferry Road Widening project in Washington County, Oregon (USGS Sherwood, OR quadrangle, 2011). **FIGURE**

1





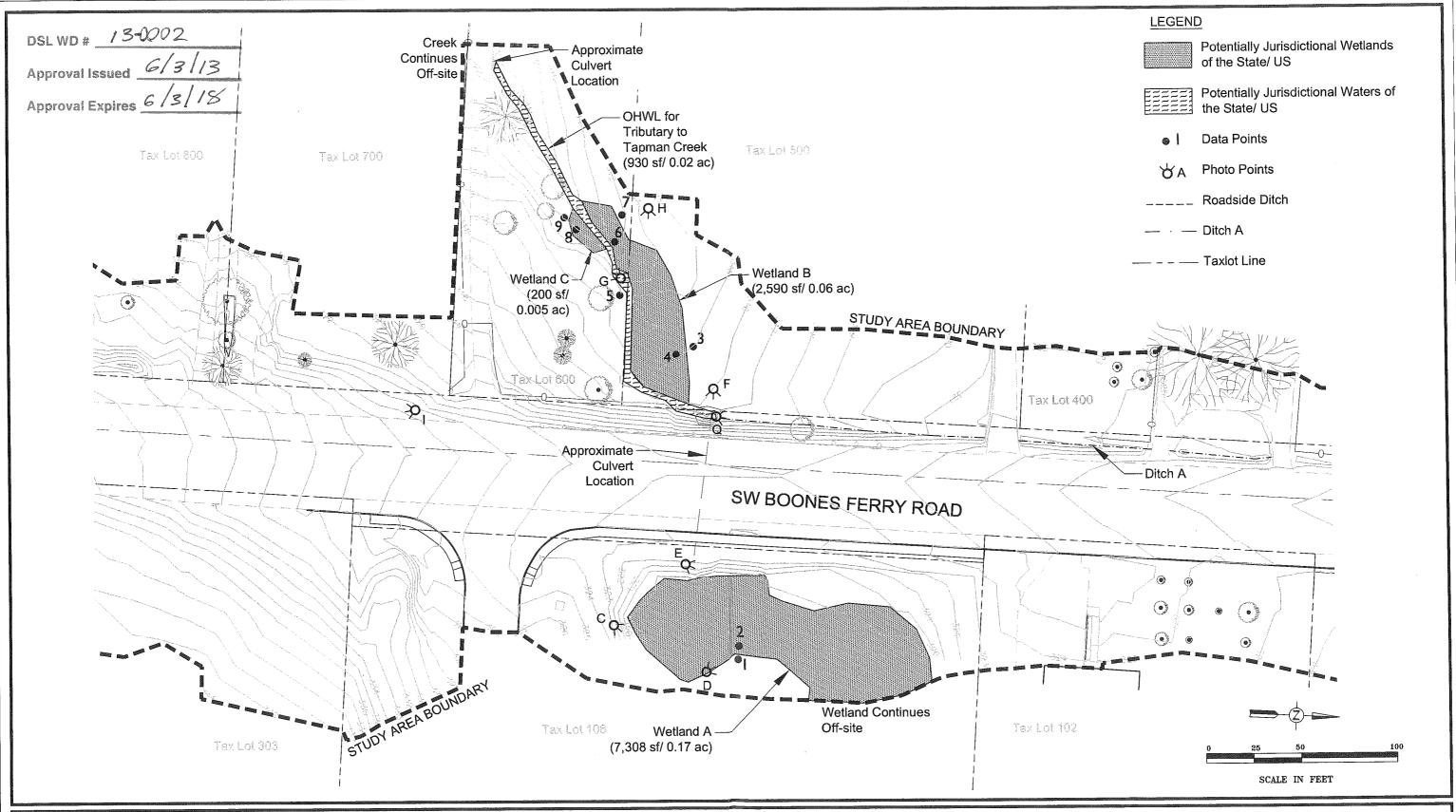
Note:

Survey provided by MacKay & Sposito. Survey and data point accuracy is sub-centimeter. Accuracy for data points 4, 13, 14 and 15 is +/- 3 feet.

Wetland Delineation Overall Site Context and Sheet Index Plan SW Boones Ferry Road Widening Project - Washington County, Oregon

FIGURE 6

01/15/13



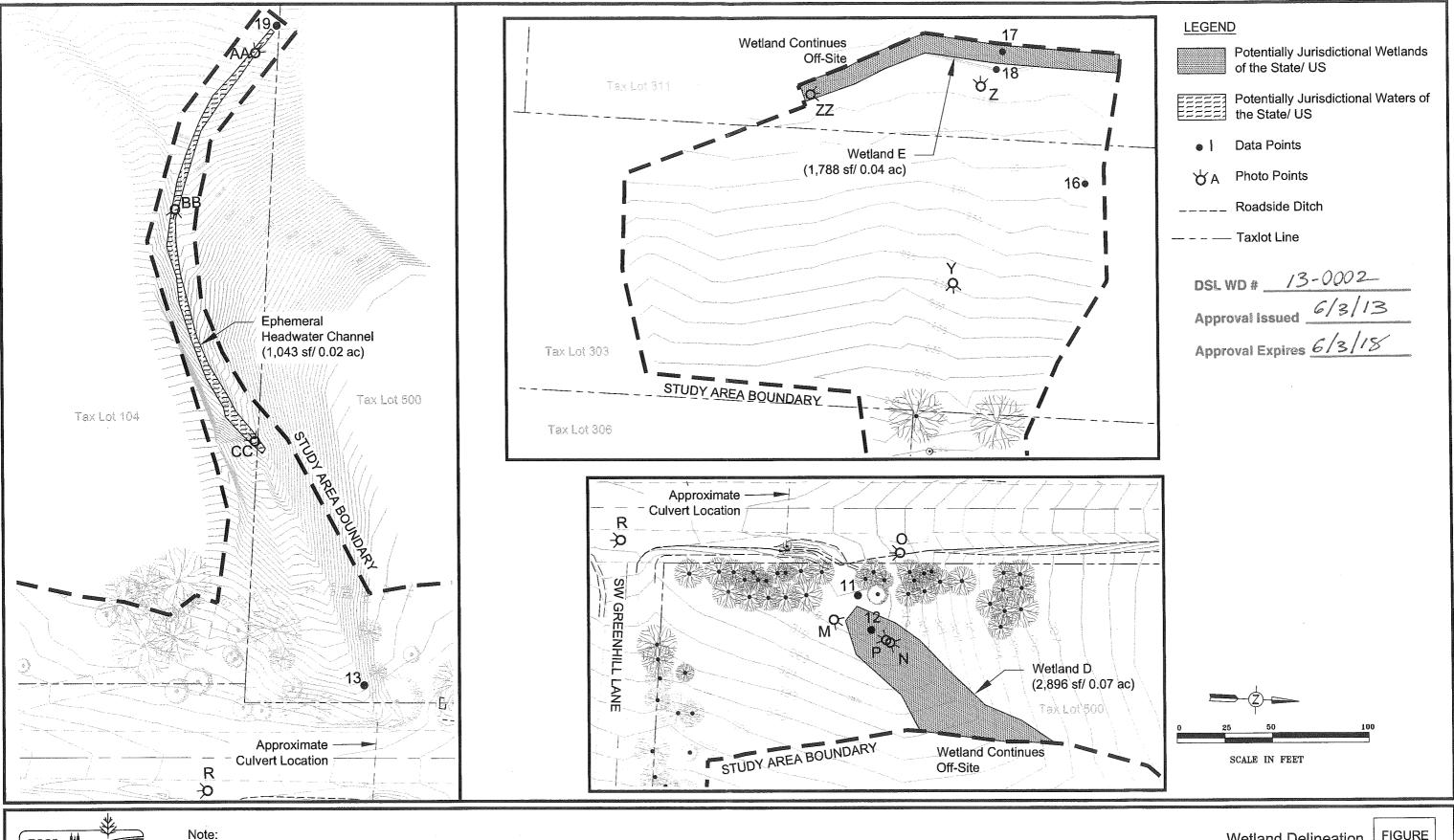


Survey provided by MacKay & Sposito. Survey and data point accuracy is sub-centimeter. Accuracy for data points 4, 13, 14 and 15 is +/-3 feet.

Wetland Delineation

FIGURE 6A

SW Boones Ferry Road Widening Project - Washington County, Oregon





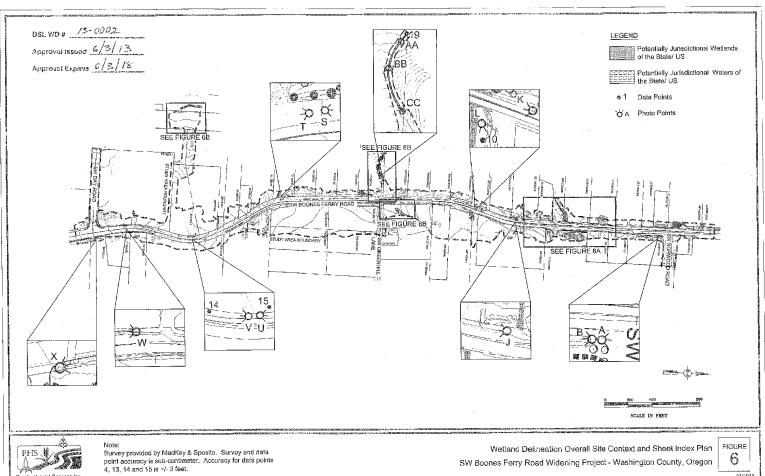
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Wetland Delineation

SW Boones Ferry Road Widening Project - Washington County, Oregon

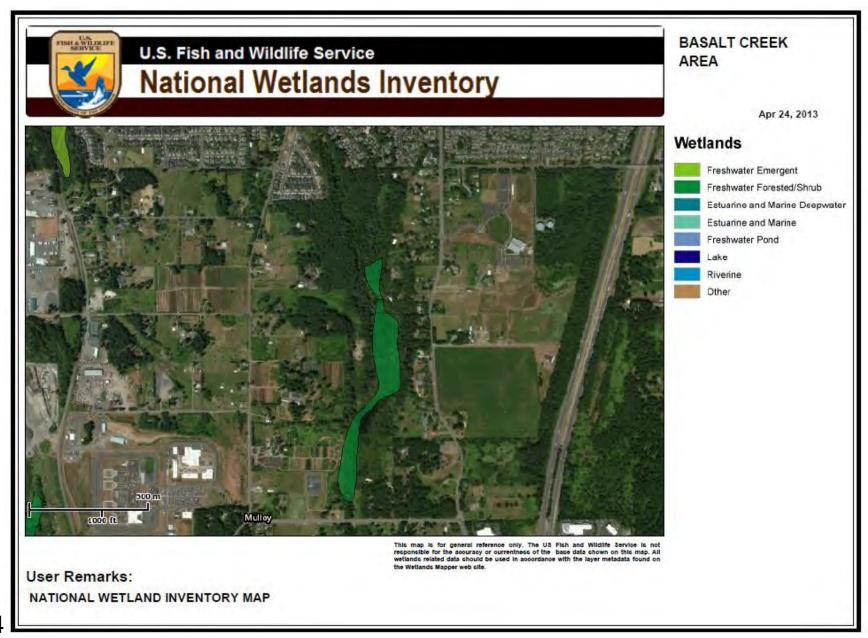


01/14/13



01/45/13

NATIONAL WETLANDS INVENTORY- BASALT CREEK AREA Global View- Basalt Creek Area-Without Smaller Identified Wetlands Indicated



 From:
 G Lucini

 To:
 BEN BRYANT

Cc: Alice Rouyer; AQUILLA HURD-RAVICH; CINDY HAHN

Subject: Re: Basalt Creek Area Planning
Date: Monday, January 06, 2014 7:53:27 PM

Hi Ben,

Hope you had a good New Year.

I am following up on the planning of the Basalt Creek area by the Cities of Tualatin and Wilsonville. I see there is an agenda item on Basalt Creek Planning on the Jan. 13, 2014 Tualatin Council Work Session.

Since my neighbors and I do not have any elected representation within the Tualatin-Wilsonville Joint Planning Project, it is extremely important to us that we hear discussion which is held on all phases of the planning for this area.

I attended the Basalt Creek Joint City meeting on October 29, as did my husband and some of my other neighbors who live within the area being discussed.

It appears that there were two subsequent meetings on December 12 and on December 30, 2013 of a Joint Council subcommittee comprised of two elected officials from the City of Tualatin and two elected officials from the City of Wilsonville (as well as staff and consultants) where a decision making framework was discussed, as was community engagement techniques for the Basalt Creek Area.

Although I previously requested to be included in any public notification regarding any planning for the Basalt Creek Area, I did not see any posting of either of these two meetings.

Would you let me know where and how I will be able to find in the future - the posting for any other public meetings relating to the planning of the Basalt Creek area-especially those involving 2 or more elected officials-prior to the date of the meetings.

Since the residents of this area do not have an elected official participating in these meetings, would it be reasonable to at least provide a list serve to the potentially affected residents, to provide us some enlightenment as to what the future may hold.

Looking forward to hearing from you.

Grace Lucini 503 692 9890

On Thu, Sep 26, 2013 at 8:29 AM, BEN BRYANT < BBRYANT@ci.tualatin.or.us > wrote: Hi Grace,

Thanks as always for your interest. We haven't quite started the outreach meetings yet, but we definitely will make sure you are involved. The next meeting for the Basalt Creek

Concept Planning (land use phase) is October 29 at Wilsonville City Hall. That meeting is scheduled as a joint Council meeting with both City of Tualatin and Wilsonville Councils. It should mark the kick-off of concept planning work. Once we are closer to that date, we will post an announcement on our website.

In the meantime, we are developing our staff team and getting ready for the next phase if this project.

Thanks, Ben

Sent from my iPhone

On Sep 25, 2013, at 3:23 PM, "G Lucini" < grluci@gmail.com > wrote:

Hi Ben,

I remember the last time we discussed Basalt Creek Planning, it was mentioned formation of public input groups would start around September 2013.

Can you tell me how the process is going?

Let me know if there someone I should contact, or any action I should take, to become involved in any meetings/ groupings / planning--- involving the Basalt Creek area.

I am interested in <u>all</u> aspects of planning for the area-- including (but not limited to) transportation, zoning, environmental impact etc.

Thanks, Grace Lucini 503 692 9890
 From:
 BEN BRYANT

 To:
 Herb Koss

Cc: <u>Doug Seely</u>; <u>CINDY HAHN</u>; <u>Mangle, Katie</u>; <u>AQUILLA HURD-RAVICH</u>; <u>Neamtzu, Chris</u>

Subject: RE: Basalt Creek Open House

Date: Thursday, January 16, 2014 11:24:45 AM

Hi Herb,

My apologies for not responding sooner. Here is a quick response to your e-mail.

This last October, the City Councils of Wilsonville and Tualatin met to discuss and provide direction to staff regarding the process for moving forward with the planning of Basalt Creek. Based the direction we received from the Council, staff members from Tualatin and Wilsonville met to formalize a public planning process. Last Monday, we presented that information to the Tualatin City Council. On January 23rd, the Wilsonville City Council is also planning to receive an update and discuss. The links to both meeting materials are available on the <u>Basalt Creek website</u>.

On January 27th, the Tualatin City Council will consider approval of a contract for a firm to assist with the planning process. If approved, this will signify continued progress to begin the much anticipated planning process.

Regarding the work on SW 124th, the County is still in the process of finalizing the engineering design and acquiring property. The hope is to begin construction within the next couple of years.

Thanks for your continued involvement. Let us know if you have additional questions.

Regards,

Ben Bryant

Management Analyst City of Tualatin | Community Development 503.691.3049 | <u>www.tualatinoregon.gov</u>

From: Herb Koss [mailto:herb@kossred.com] Sent: Sunday, January 12, 2014 8:19 AM

To: BEN BRYANT Cc: Doug Seely

Subject: RE: Basalt Creek Open House

Hello Ben

I just checked the Basalt Creek Website. Appears to me nothing much is happening.

I have been contacted by Washington County and I know they are doing some survey work on the future road Right of Ways.

Any update on the zoning of our land that is right the north of the 124th extension

I am going to report to our LLC members in Feb and don't want to miss out in sharing any current information.

Any update would be appreciated. I will be in Calif for most of the winter months and sometimes miss updated emails.

Would appreciate any updates.

Sincerely

Herb Koss 503 730 2431

From: BEN BRYANT [mailto:BBRYANT@ci.tualatin.or.us]

Sent: Monday, December 05, 2011 3:46 PM

To: BEN BRYANT

Subject: Basalt Creek Open House

Dear Basalt Creek Interested Parties:

Below is an opportunity to learn more about a few transportation projects in and around the Basalt Creek Planning Area between Tualatin and Wilsonville.

Open House

What: Washing County invites the public to an Open House to learn about, discuss, and provide feedback on the following three projects:

- 124th Avenue Project (Tualatin-Sherwood to Tonquin Road);
- Boones Ferry Road Improvement Project (Norwood to Day Street); and
- Basalt Creek Area Transportation Refinement Planning Efforts.

When: Wednesday, December 14, 2011 from 5:30 p.m. to 8:00 p.m. (No formal presentation is planned, but you are invited to drop in any time.)

Where: Tualatin Valley Fire & Rescue Training Center at 12400 SW Tonquin Road, Sherwood.

More Information

As always, for more information, visit <u>www.basaltcreek.com</u>.

Thanks!

Ben Bryant

Management Analyst | Community Development Department | City of Tualatin



OFFICIAL MINUTES OF THE TUALATIN CITY COUNCIL MEETING FOR JANUARY 13, 2013

Present: Mayor Lou Ogden; Council President Monique Beikman; Councilor Frank Bubenik;

Councilor Joelle Davis; Councilor Nancy Grimes; Councilor Ed Truax

Absent: Councilor Wade Brooksby

Staff City Manager Sherilyn Lombos; City Attorney Sean Brady; Assistant City Manager Present: Alice Cannon; Community Services Director Paul Hennon; Finance Director Don

Hudson; Deputy City Manager Sara Singer; Planning Manager Aquilla Hurd-Ravich; Deputy City Recorder Nicole Morris; Information Services Manager Lance Harris; Program Coordinator Becky Savino; Teen Program Specialist Julie Ludemann; Police Captain Mark Gardner; Human Resources Manager Janet Newport; Public Works

Director Jerry Postema

A. CALL TO ORDER

Pledge of Allegiance

Mayor Ogden called the meeting to order at 7:05 p.m.

B. ANNOUNCEMENTS

1. Honor Eagle Scout Justin Metschan-Baertlein

Human Resource Manager Janet Newport introduced Justin Metschan-Baertlein. Justin was awarded the honor of Eagle Scout in November for completing a bench restoration project at Ibach Park. He contributed 163 hours to the bench project and involved 20 volunteers from Troop 846 and the community.

Mayor Ogden congratulated Justin on receiving the honor of Eagle Scout and presented him with a plaque.

2. Tualatin Youth Advisory Council Update for January 2014

Member of the Youth Advisory Council (YAC) presented a PowerPoint on their latest activities and upcoming events. YAC held their annual holiday party in December which included a potluck and gingerbread house building competition. They have begun work on the annual Project FRIENDS workshop. The curriculum is currently being revised with plans to hold the workshop in April or May.

3. Centennial Public Art at Tualatin Public Library

Councilor Bubenik announced the installation of a new piece of centennial art. A reception was held earlier in the day accepting the art piece into the collection. The piece "Dynamic Continuum" is located in the entry way of the Library.

Tualatin Arts Advisory Committee Chair Buck Braden introduced artist Lynn Adamo who created this piece. Ms. Adamo explained the concept of the piece.

Chair Braden noted the committee has commissioned a 20ft steel sculpture that will be installed at the Tualatin Commons Park in March.

Mayor Ogden and Councilor Bubenik thanked that Centennial Art Committee for their work on selecting these pieces.

C. CITIZEN COMMENTS

This section of the agenda allows citizens to address the Council regarding any issue not on the agenda. The duration for each individual speaking is limited to 3 minutes. Matters requiring further investigation or detailed answers will be referred to City staff for follow-up and report at a future meeting.

Julie Rogers shared her concerns over the change in the speed limit along Martinazzi Avenue. She noted the speed was reduced from 35mph to 25mph. She requested more information on why the speed was reduced.

Grace Lucini requested she be notified directly of meetings and discussions around the Basalt Creek Concept Plan as this directly affects her residence.

Brett Hamilton urged Council to move forward with the construction of the Seneca Street extension. He stated it will improve pedestrian safety, traffic flow, increase commerce, and provide better access to the library.

D. CONSENT AGENDA

The Consent Agenda will be enacted with one vote. The Mayor will first ask staff, the public and Councilors if there is anyone who wishes to remove any item from the Consent Agenda for discussion and consideration. The matters removed from the Consent Agenda will be considered individually at the end of this Agenda under, I) Items Removed from the Consent Agenda. The entire Consent Agenda, with the exception of items removed from the Consent Agenda to be discussed, is then voted upon by roll call under one motion.

MOTION by Council President Monique Beikman, SECONDED by Councilor Nancy Grimes to approve the consent agenda.

Vote: 6 - 0 MOTION CARRIED

- 1. Consideration of Approval of the Minutes for the City Council Work Session and Regular Meeting of December 9, 2013.
- 2. Consideration of the Parks System Development Charge (SDC) Annual Report for Fiscal Year 2012/2013
- 3. Recommendations from the Council Committee on Advisory Appointments

E. SPECIAL REPORTS

1. Vision Action Network Update

City Manager Lombos introduced Vision Action Network Executive Director Karin Kelley-Torregroza. Ms. Kelley-Torregroza recapped the mission of Vision Action Network (VAN) and its work on issues that impact the citizens of Washington County. She noted VAN grew out of the Vision West process. The mission of VAN is to identify critical issues and support the development of collaborative community based solutions. Their role is to act as a neutral convener to bring leaders together to help address challenging issues. Their goals include strengthening economic security, support diversity and inclusion, build sustainability, and promote a compassionate community. Some of their current projects include the Aging Initiative, Washington County Thrives, and a homeless cost study.

Councilor Davis asked to hear more about what VAN is doing in relation to primary care. Ms. Kelley-Torregroza stated that VAN is focusing on capacity and access in primary care for uninsured citizens. VAN is in the early stage of planning on this project.

F. ITEMS REMOVED FROM CONSENT AGENDA

Items removed from the Consent Agenda will be discussed individually at this time. The Mayor may impose a time limit on speakers addressing these issues.

G. COMMUNICATIONS FROM COUNCILORS

BASALT CREEK CONCEPT PLAN UPDATE

Planning Manager Aquilla Hurd-Ravich and Assistant City Manager Alice Cannon gave an update on the Basalt Creek Concept Plan. Manager Hurd-Ravich stated the joint City of Tualatin and City of Wilsonville sub-committee met in December to discuss a decision making structure and the public engagement process for this concept plan.

Council President Beikman discussed the decision making structure. She noted meetings and workshops will be held and information will be reported back to each Council and Planning Commission individually. Joint meetings will be held throughout the process for both Councils to come together and make decisions.

Manager Hurd-Ravich shared the process diagram showing key milestones and deliverables. The first task will include making a detailed schedule and public involvement plan with the consultant team.

Assistant City Manager Cannon noted that the consultant team will be working on updating and making the website more interactive. They will be responsible for keeping the information on the site up to date.

Councilor Davis asked that a email update feature be added to the site.

COMMUNICATIONS FROM COUNCILORS

Councilor Davis thanked the Peace County/Washington County Democrats for inviting her and the Mayor to the Public Transit Forum they hosted.

Councilor Bubenik announced Tualatin Tomorrow will be hosting the State of the City Event . Tualatin Tomorrow will present the draft Vision Action Plan followed by the Mayor's State of the City speech. The event will be held on January 29, 5pm, at the Bridgeport Grand Hotel. Mayor Ogden invited all citizens to attend.

Councilor Bubenik noted Washington County is updating their Cooperative Plan for 2015-2020 and will kick this off by screening the movie American Winter. The screening will take place on February 26, 6pm, at the Venetian Theater and will be followed by a panel discussion on poverty in Oregon.

H. ADJOURNMENT

Mayor Ogden adjourned the meeting at 8:02 p.m.

Sherilyn Lombos, City Manager	
	/ Nicole Morris, Recording Secretary
1/100 el Morus	/ Lou Ogden, Mayor

From: G Lucini [mailto:grluci@gmail.com]
Sent: Monday, January 27, 2014 12:26 AM

To: COUNCIL

Cc: Lou Ogden; Monique Beikman; Frank Bubenik; Ed Truax; Nancy Grimes; Joelle Davis; Wade

Brooksby

Subject: PLEASE INCLUDE AS PART OF PUBLIC RECORD-For Tualatin City Council Meeting 1-27-

14- Basalt Creek Planning

FOR INCLUSION AS PART OF PUBLIC RECORED
TUALATIN CITY COUNCIL MEETING 1-27-14 --CONSENT AGENDA ITEM D-3 ---Resolution No. 5178-14 ----Fregonese Contract Basalt
Creek Concept Planning--

Basalt Creek Concept Planning- Natural Resources- Water Quality

Dated: 1-26-14

Resolution No. 5178-14 is included on a Tualatin City Council Meeting agenda for the first time---for the 1-27-14 Meeting. This resolution is to authorize a Personal Services Agreement for Concept Planning for the Basalt Creek / West Railroad Areas.

Resolution No. 5178-14 is scheduled as a consent agenda item.

The City staff is requesting acceptance and authorization to execute a Contract with Fregonese Associates during this initial presentation on a Tualatin City Council Meeting Agenda.

The Fregonese Contract is the main framework for the entire decision making process on Basalt Creek Concept planning. The Contract Scope of Work provides specific services will be provided from creation of a Public Involvement Plan; the depth of the initial evaluation of existing conditions; how alternative scenarios will be determined; how the alternatives will be compared; how the Concept Plan will be selected; and recommendations as to how to implement the plan- from changes to jurisdictional boundaries, infrastructure and transportation. This is the governing tool for the entire planning process.

There are two issues I wish to bring to the attention of the Tualatin City Council regarding Resolution No. 5178-14, the Fregonese Contract, and the actions of the Basalt Creek Concept Planning staff.

- 1. There are already important administrative problems relating to the public notification and governmental transparency of the planning process and compliance with the laws of the State of Oregon
- 2. A related issue involves content within the Fregonese Contract. The stated scope of services to be provided in the Fregonese Contract does not provide for the appropriate level of due diligence of the Significant Natural Resources which exist

within the Basalt Creek Area- starting from the very initial Existing Conditions
Assessment. The Fregonese Contract needs to be modified to provide a higher level of assessment.

BASALT CREEK CONCEPT PLANNING PROCESS- ISSUES WITH GOVERMENTAL TRANSPARENCY AND COMPLIANCE WITH OREGON'S PUBLIC MEETINGS LAW

The Basalt Creek Concept Planning Project staff has taken several actions which have already clouded the public's perceptions of governmental transparency with the Basalt Creek Concept Planning process. Oregon's Public Meetings Law provides legal requirements which provide for citizens to have access to the exchange of information as part of a decision making within a governmental process.

Oregon Public Meetings Law (ORS 192.610 -192.690) have been interpreted and explained in <u>State of Oregon Department of Justice Attorney Generals Public Records and Meeting Manual January 2011</u>

"The key requirements of the Public Meetings Law are to hold meetings that are open to the public unless an executive session is authorized, to give notice of meetings and to take minutes or otherwise record the meeting. In addition there are requirements regarding location, voting and accessibility for disables persons."...

"Subject of Meetings and Social Gatherings- Even if a meeting is for the sole purpose of gathering information to serve as the basis for a subsequent decision or recommendation by the governing body, the meetings law will apply. This requirement serves the policy expressed at ORS 192.620 that an informed public must be aware not only of the decisions of government but also of "the information upon which such decisions were made"...

- ..."It does not matter that the discussion is "informal" or that no decision is made; it is still a meeting for the purposes of the Public Meetings Law"...
- "...If two of more members of any public body have "the authority to make decisions for or recommendations to a public body on policy of administration", they are a "governing body" for the purposes of the meetings law. ORS 192.610(3)"...
- ... "The public notice requirements apply to any "meeting" of a "governing body" subject to the law, including committees, subcommittees and advisory groups"...
- ..."Governing bodies are cautioned not to misuse the committee appointment process or decision making process to subvert the policy of the Public Meetings Law"...

...We have acknowledged that strict compliance with the substantive requirements of the Public Meetings Law frequently may "sacrifice speed and spontaneity for more process and formality." Nonetheless, we believe that the law's requirements generally will not interfere with a public body's administration"...

THE PUBLIC HAS DEMONSTRATED THEIR DESIRE TO WITNESS THE DECISION MAKING PROCESS

Project staff has knowledge of existing public interest in monitoring the Basalt Planning Process.

- Citizens have previously established their interest in receiving information about the Basalt Creek Concept Planning process.
 - o Local citizens and residents attended the only Joint Cities Basalt Creek Concept Planning meeting held to date -on 10-29-13.
 - o Citizens expressed their desire to project staff to be informed of meetings on the Basalt Creek Planning both verbally and in writing qualifying as "Interested Persons" (Please see attached email chain September 2013 to January 2014).
- A review of the video tape of the Citizen Comment portion of the Tualatin City Council Meeting of 1-13-14, documents a citizen request for governmental transparency within the Basalt Creek planning -especially due the affect upon the residents of the area who are not residents of either the City of Wilsonville or the City of Tualatin.

PROBLEMS IN GOVERNMENTAL TRANSPARENCY HAVE ALREADY BEEN DEMONSTRATED, AND CONTINUE TO EXIST

The City of Tualatin previously demonstrated compliance problems with public notification of public meetings as part of the Water Master Plan revision process in January 2013.

During the first and only meeting of the Joint Cities Basalt Creek Concept Planning Project on 10-29-13, the City Councils voted to authorize and direct a subcommittee consisting of two City Council members from each of the two cities and staff to "establishing a decision-making framework and identifying community engagement techniques to be used throughout the project". The Subcommittee was directed to bring back a "robust" report back to their respective City Councils.

Apparently during the Subcommittee Meetings in December 2013, Council Representatives either generated, discussed, or directives were given to Project staff on to topics be included within the Fregonese Contract. The importance and significance of this document generated/vetted by the Subcommittee and being presented to the Councils for acceptance and execution cannot be understated.

- 1. There was no Public Notification of the December 2013 Councils' Subcommittee. This lack of public notification prevented public attendance and prevented public access to the discussions on this document which will direct the entire decision process- which prohibited citizen attendance due to lack of notice.
 - The Project staff was contacted 1-6-14 regarding the lack of and Public Notification of the Subcommittee December 2013 meetings. (Please see attached email chain September 2013 to January 2014)
 - On 1-7-14 the Project Manager stated the Subcommittee Meetings were "informal working meetings, therefore, no public notification was made". (*Please see attached email chain September 2013 to January 2014*)
 - After discussion, the Project Manager on 1-7-14 agreed to take actions to rectify previous problems with public notification on planning meetings (Please see attached email chain September 2013 to January 2014)
 - including future postings of public meetings regarding Basalt Creek planning on BasaltCreek.com-which is administered by the Project Manager/ City of Tualatin.
 - Public Meetings for the Tualatin City Council and for the Wilsonville City Council -relating to Basalt Creek Planning -would be also be posted to the BasaltCreek.com website
- The minutes of the Joint Council's December 2013 Subcommittee meetings:
 - Have not been posted to either of the cities' official websites (as are other minutes of Council Subcommittees, Commissions, or Advisory Groups), or
 - Have not been posted to the BasaltCreek.com website. (*Please see 1-21-14 BasaltCreek.com screenshot*)
 - The lack of written documentation of the Subcommittee minutes prevented citizens from access to written information about any discussion which occurred on Basalt Creek planning which occurred during the Subcommittee meetings
- 3. The "robust" report which the Joint City Councils directed the Subcommittee to provide on their meetings- did not include any documentation of the minutes of the meeting, content on all issues or documents discussed, or actions to be taken.
 - Tualatin Council meeting on 1-13-14- Agenda included the initial presentation of the Basalt Creek Process Diagram and the Partnering Agreement-which were apparently generated or vetted by the Council Subcommittee

- ° There were no minutes from Joint Councils' Subcommittee attached to the City Council Meeting informational packet providing information on the discussions or deliberations from which these documents apparently generated.
- During the Wilsonville Council Meeting on 1-23-14 the Partnering
 Agreement and the Fregonese Contract where presented by the Project staff for endorsement
 - ° There were no minutes from Joint Councils' Subcommittee attached to the City Council Meeting informational packet providing information on the discussions or deliberations from which these documents apparently generated
- Tualatin Council meeting for 1-27-14 will be the first presentation of the Fregonese Contract draft to a Tualatin City Council Meeting
 - ° There were again no minutes from Joint Councils' Subcommittee, or other documents of public meetings attached to this agenda informational packet- providing background on the discussions or the deliberations which generated the Fregonese Contract
- 4. During the Tualatin City Council Meeting on 1-13-14,
 - Project staff presented the Project Process Diagram, and the Partnering Agreement which were apparently part of the results of the deliberations of the Joint Councils' Subcommittee
 - Although there were references made to the Fregonese Contract during the Tualatin Council Meeting on 1-13-14- a copy of the contract draft was not provided as part of the Council Meeting's informational pack, nor was a copy of the Fregonese contract draft available on City of Tualatin Website, or on the BasaltCreek.com website at the time.
 - The Tualatin Joint Council Subcommittee members reported upon their comments/ recommendations made to the Project staff during the Subcommittee meetings- These comments emphasized their intentions to involve the public in the planning process- especially those residents within the planning area.,
 - At the 1-13-14 meeting Council President Beikman restated the comments she made to the December Subcommittee meetings-- of her intention the public be given notification of meetings on Basalt Creek planning

- Contrary to the comments / directives given by the Council Members Subcommittee members -- there are no statements- or goals- indicating the need or requirement for Public Notification of public meetings within the draft of Partnering Agreement .
- As previously stated, the minutes of the Joint Councils' Subcommittee meetings are not included within the informational pack for the agenda item
 - ° There is no record of any directives made by the Subcommittee to the Project staff provided –
 - Lack of this information hinders clarification on possible omissions or conflicting information in the resulting documents generated as a result of the Council's Subcommittee Meetings.
- The transparency and integrity of the decision making process was compromised
- 5. Project staff scheduled Resolution No. 5178-14 Authorizing a Personal Services Agreement for Concept Planning for the Basalt Creek/Wets Railroad Areas on the consent agenda for the City of Tualatin City Council Meeting for -27-14
 - This Tualatin City Council Meeting- a public meeting on the Basalt Creek Concept planning was not posted on the BasaltCreek.com website until after 1-21-14 (Please see 1-21-14 BasaltCreek.com screenshot). The BasaltCreek.com was later updated to include a reference to a Tualatin City Council Meeting with a link to the Tualatin City- website for the Council Meeting for 1-27-14.
 - Resolution No. 5178-14 and the Fregonese Contract were only posted to the City of Tualatin Website the week of 1-20-14
 - This is the first time Resolution No. 5178-14 will be presented to the Council as part of a Tualatin City Council meeting
 - This is the first time the Fregonese Contract draft will be presented to the Council as part of a Tualatin City Council Meeting
 - The Fregonese Contract is a significant document of large scope and impactinvolving multiple agencies and jurisdictions
 - ° The Fregonese Contract is the governing tool for the entire Basalt Creek Planning process

- The Fregonese Contract will develop a Concept Plan and make recommendation to change the governance, infrastructure and transportation of multiple jurisdictions
- ° The Fregonese Contract when implemented will affect a large geographic area of hundreds of acres including residential and industrial land
- The Fregonese Contract was posted on the City website the week of 1-20-14 for the first time-
- 6. Due to lack of compliance to the Oregon Public Meetings Law- citizens have not been given appropriate public notice, or access to the discussions or deliberations during public meetings which generated the Fregonese Contract and placement of Resolution No. 5178-14 on the Consent agenda for the Tualatin City Council Meeting 1-27-14.
 - It is unclear when the following discussions were held as part of a Tualatin City Council Work Session or Meeting Agenda Item —listing Basalt Creek Concept Planning as a topic
 - The method of concept planning to be selected for Basalt Creek
 Concept Planning
 - i. The rationale for selecting the proposed method of concept planning utilizing only one consultant who creates the entire framework for decision making, facilitates and then implements the entire plan
 - ii. Versus other methods of concept planning which are primarily directed by the Governing body utilizing various consultants
 - The goals, scope, requirements or specifications needed as part of the Basalt Creek Concept Planning process
 - If the Fregonese Contract actually meets the goals, requirements and/or specifications needed to develop and execute the Concept Planning for the Basalt Creek Area.
 - Project staff elected to place of Resolution No. 5178-14 and the Fregonese Contract on the Consent agenda for the Tualatin City Council Meeting on 1-27-14.
 - Project staff are aware this is the first time the draft of the Fregonese
 Contract has been presented at a Tualatin City Council Meeting

- The City of Tualatin, as the fiduciary partner within the Joint Cities Partnering Agreement –Basalt Creek Concept Planning –should require that appropriate public due-diligence of the Fregonese Contract is done.
- Project staff is aware the City of Wilsonville is a partner with the City of Tualatin in the concept planning
 - Project staff is aware the draft of the Fregonese Contract was to be presented for the first time to the Wilsonville City Council Meeting on 1-23-14
 - ° Project staff's placement of Resolution No. 5178-14 and the Fregonese Contract on the Consent agenda for the Tualatin City Council meeting on 1-27-14 did not provide for public discussion by the Tualatin Council of any feedback from generated either verbally or in writing from the Wilsonville Council.
 - i. Project staff placement of Resolution No. 5178-14 and the Fregonese Contract on the consent agenda limits Tualatin Council members from discussion of any issues, concerns or modifications requested by the Wilsonville Council on the Basalt Creek planning process
 - ii. Due to the encompassing scope of the Fregonese Contract, any concerns with the process, services, or implementation relating to Basalt Creek Planning perceived by the City of Wilsonville should be fully explored- as to any potential need for modification of the Fregonese Contract draft.
 - iii. As part of their fiduciary responsibilities, Tualatin Council members should discuss if Wilsonville has any concerns with the any phase of the planning process, or services provided by the Contract, and if any modifications to the contract are necessary or appropriate to make prior to giving authorization to execute the Contract.
 - iv. Citizens should have knowledge of these discussions- even if no action is taken- or if modifications to the contract will be made.

The transparency of the governmental process in the development and implementation of the Basalt Creek Concept Planning process has been greatly damaged. The spirit and the letter of Oregon Public Meetings Law have been compromised.

Based upon numerous examples of actions taken by the Project staff clouding the transparency of the decision making process- from virtually the start of the planning process- I request a critical look be taken at the Project administration.

Even after a citizen approached the Project staff as to concerns about transparency and public notification issues- there are continuing problems with compliance with the requirements of the Public Meetings Law

The explanations provided by the staff as to the reasons for non-compliance with the requirements for Public Notification of Public Meetings, are without legal merit.

The actions, discussions and deliberations of public meetings on Basalt Creek Concept Planning have not been documented to include the minimum information as delineated in State of Oregon Department of Justice Attorney Generals Public Records and Meeting Manual January 2011.

Due to the actions of the Project staff, and the lack of acknowledgement of the requirements of the Public Meetings Law within the drafts of the Projects governing documents, it is also requested the City Council evaluate if the Partnering Agreement and the Fregonese Contract clearly indicate the intentions and services to be provided comply with the Public Meetings Law.

The size and professionalism of the governments of the City of Tualatin and of Wilsonville should not be tainted by the inability to conform and provide the basic service of providing public access to the discussions, and deliberations which will occur as part of this decision making process.

The City Council should provide clear direction to the project staff, resolve previous record keeping omissions, and take corrective actions to avoid future occurrences.

I request the City Council to include in their actions:

- Review if the staff actions are in accordance with the spirit and/or letter of Oregon's Public Meetings Law.
- 2. Take actions to gain compliance with Oregon Public Meetings Law including
 - a rectify existing issues including omissions in documentation of public meeting minutes and record keeping , and
 - b Immediately enforcing public notification (as specified by the law) of future public meetings on the planning process.

- 3. The Project staff should be provided additional education as to what constitutes a public meeting and the actions which are required by law- and provide support as necessary
- 4. Prior to acceptance of the governing documents for the Basalt Creek Concept Plan ---evaluate if the Partnering Agreement; and the documents which constitutes Resolution 5178-14 clearly indicate intentions to comply with the Oregon Public Meetings Law during the Basalt Creek Concept planning process.
- 5. Provide a clear statement within the two governing documents of intent to provide governmental transparency- including specific actions to be taken to comply with Oregon Public Meetings Law.
 - a Identify a person to be accountable for monitoring compliance issues during the planning process.
 - b develop a procedure to assist the public as to whom to contact when compliance concerns arise

These actions may help provide clarification of expectations for staff, the Consultant, and the public regarding governmental transparency and intention to comply with Public Meetings Law.

Due to the factors identified above, the following comments are provided - that they are given consideration prior to the acceptance and execution of the Fregonese Contract as posted to the Tualatin City website the week of 1-20-14.

LACK OF APPROPRIATE LEVEL OF DUE-DILIGENCE IN THE INITIAL ASSESSMENT AND FOLLOWING ANALYSIS OF SIGNIFICANT NATURAL RESOURCES FOR BASALT CREEK AREA PLANNING.

In the review of Fregonese Contract it is apparent there is a lack in the appropriate level of due-diligence relating to assessment and evaluation of impact to the Significant Natural Resources and/or water quality with the Basalt Creek Area within the planning process.

Additionally, State and Federal agencies involved with the monitoring, protection and/ or enforcement of statues relating to Water Quality and/or Natural Resources are absent from the "Invited Agencies List" of participating agencies within the Partnering Agreement. These agencies should be included in the same "Invited Agencies List"- as is Clean Water Services.

Based the decision making process utilized with the Grahams Ferry – Boones Ferry Road Connector Location Project- it is apparent there is a need for a change in the method natural resources within the Basalt Creek area are evaluated and information gained used in the analysis process. Appropriate level of assessment of the known Significant Natural Resources, needs to be included in the decision making process.

To have the sole determinant of "environmental impact" based solely upon the square footage of the wetlands impacted – as was previously done- will produce misleading information. This method of natural resource assessment should not be considered the appropriate level of due-diligence in this planning process if a meaningful outcome of the evaluation process is to be expected.

The Fregonese Contract needs to be modified to achieve a reasonable level of duediligence as to existing Significant Natural Resources and water quality.

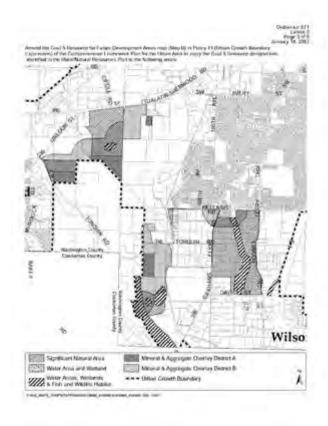
Specific data collection, quantification, and qualification of the various known resources- including impact to water quality locally and downstream-is necessary to be able to establish a hierarchy of importance, protection requirements and potential future utilization. The assistance and expertise of State and National agencies need to be included as participants in the Partnering Agreement and added as resources for assessment and analysis in the Fregonese Contract.

Assessment of the known wetlands which cover a large area of the Basalt Creek Area specifically needs to be completed to be able to provide some qualified estimate of the various levels of wetland mitigation which will become a factor in planning and future development.

All of this type of information needs to be compiled to allow a definable and consistent criterion to be developed as part of the comparative analysis with the alternatives.

It is already known and documented the Basalt Creek area contains large areas of Goal 5 Resources. When the Basalt Creek area was brought into the Urban Growth Boundary, a large portion of the area was identified as containing "Significant Natural Areas", as well as "Water Areas, Wetland & Fish and Wildlife Habitat". Please see the attached map:

Washington County, Ordinance 671, Exhibit 2 Page 3 of 9 January 18, 2007



The scope of any development or construction constraints placed upon portions of the area due to the potential impact upon natural resources or water quality should be quantified and included within the decision making matrix. Any of these construction or development limitations should also be quantified and utilized as part of the comparison of proposed alternative scenarios. At any stage along the decision making process, the lack of accurate quantifiable information on the impact on water quality and natural resource, or resulting development limitations and/or the lack of the appropriate level of alternative analysis of this information ---may produce inaccurate results.

The Fregonese Contract identifies a subcontractor who will obtain and review "published or ready to use natural resource inventories and mapping", and interviews of staff from Wilsonville, Tualatin, and Clean Water Services, and Metro to identify "important areas of special consideration, especially in and near existing receiving waters". This assessment is very limited as to subject matter, scope of study and quality/source of information to be obtained.

It is important to point out---many of the entities which the Fregonese Contract has identified as the source of information on "natural resources" do not currently have jurisdiction, or provide limited service to the area being evaluated. The Basalt Creek area is outside the city limits of Wilsonville and of Tualatin----and are actually the

entities requesting the information and review. Clean Water Services does not currently provide services to all the Basalt Creek Area.

The Fregonese Contract does not specify State or Federal Agencies who have pertinent information; conducted studies; or who have jurisdictional authority or other monitoring/protection responsibilities over water quality or other natural resources in the Basalt Creek Area ---are to be included as sources of information, or consultation within the decision making process.

The Partnering Agreement lists numerous "Required" and "Invited" agencies to be included in the decision making process. This list also lacks State or Federal agencies that have jurisdiction, authority or responsibility for monitoring or protecting water quality or other natural resources within the Basalt Creek area as participating agencies.

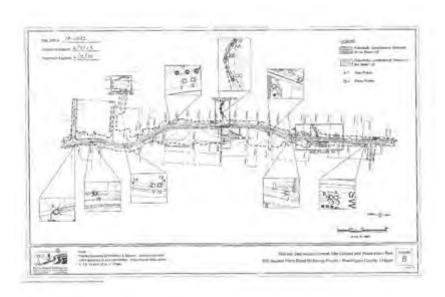
The inclusion of these State or Federal agencies as part of the decision making process, would provide a wealth of information, expertise, and advice directly related to statutory constraints limiting development, and could provide recommendations on actions which may advert negative impact to the existing resources.

The attached documents provide evidence of portions of the Basalt Creek area have already been identified as having Significant Natural Resources and/or may be under the jurisdiction of State and Federal agencies responsible for protection of natural resources.

• US Department of Fish and Wildlife Service- National Wetlands Inventory- Map of Identified Wetlands



 Oregon Dept. of State Lands/US Army Corp Engineers- Wetland Delineation SW Boones Ferry Road Improvement Project



In addition to Metro, additional agencies should be utilized by the Consultant and Subcontractor to obtain accurate data collection on Significant Natural Resources in the Basalt Creek area as well as during the decision making process:

- US Department of Fish and Wildlife- National Wetland Inventory
- Oregon Department of Fish and Wildlife

- US Army Corp of Engineers-Portland District
- Oregon Department of Land Services
- CETAS (Oregon's Collaborative Environmental and Transportation Agreement for Streamlining)
- DEQ (State of Oregon Department of Environmental Quality)
- Other Agencies as necessary (i.e. United States Environmental Protection Agency)

For consistency, agencies from this list should be included within the list of "Invited" agencies within the Partnering Agreement to provide input and to participate in the planning process

An important aspect of community planning and development is the health of its natural resources. The lack of appropriate evaluation of the potential effects of future development upon the natural resources – and potential constraints upon development - within this planning process may lead to the selection of an alternative which may not be able to meet the needs of the citizens or eventually become detrimental to the community.

It would an unfortunate expenditure of time and taxpayer money if the entire planning process lacked an important determinant in the decision making process which needed to be included from the start.

Respectively Submitted, Grace Lucini 23677 SW Boones Ferry Road Tualatin, Oregon 97062



G Lucini < grluci@gmail.com>

Basalt Creek Area Planning

G Lucini < grluci@gmail.com>
To: Grace Lucini <grluci@gmail.com>

Wed, Jan 8, 2014 at 1:09 PM

Hi Cindy,

Thank you for your follow-up phone call yesterday --to the email below.

I appreciated the opportunity to discuss the merits of informing citizens of public meetings-- which can be beneficial to the goal of the Basalt Creek -Joint Cities Planning.

Residents of the Basalt Creek area have proven their interest in the planning of the area by attendance at meetings which have been posted publicly, as well as having requested notification either directly or through the BasaltCreek.com website over the past years.

Providing potentially affected citizens an opportunity to hear the discussions and limitations on this project now that the Joint Cities is refining the planning allows a greater understanding of the constraints and limitations within the decision making process.

By encouraging public involvement within the process, providing ample opportunities for public input and most importantly utilizing and incorporating the wealth of information and feedback which the citizens of the area are willing to share into the plans which will ultimately develop from this process---- will most likely promote and encourage community support and buy-in.

And, by providing the notification on meetings where two or more members, with the authority to make decisions for or recommendations to their respective City Councils on policy or administration, will assist in addressing the publics' need for transparency as the Basalt Creek planning progresses.

As I understand from yesterday's conversation, future public meetings on Basalt Creek planning will be posted on the BasaltCreek.com website.

These notifications will include City Council meetings (including work sessions) for both Tualatin and Wilsonville, as well as other public meetings (ORS 192.610 to 192.690) relating to the Basalt Creek- Joint Cities Planning.

As we discussed, I forwarded your email from yesterday to many of my neighbors - to provide them access to the information on the additional public meetings scheduled regarding the Basalt Creek-Joint Cities Planning which had not yet been posted to the BasaltCreek.com website.

A suggestion I poised in my email to Ben Bryant (but we did not discuss in yesterday's call) is the creation of a ListServe

specifically for the Basalt Creek Planning. I bring this suggestion up again, as you mentioned during our conversation---the citizen comment and request for notification from BasaltCreek.com is apparently co-mingled with a much larger generic community transportation database.

Since the scope and impact of the Basalt Creek Planning spans multiple jurisdictions, zoning issues, development codes, and affects property owners outside the city limits of Tualatin and Wilsonville, it may warrant a separate ListServe.

While I do not know the limitations of how the current database is structured and the difficulties involved in creating a separate list for Basalt Creek, I do know the benefits would include improved direct communication to interested citizens- as they will not be bombarded with extraneous notifications on transportation projects relating to other communities.

An additional benefit of a separate ListServe will be the ability to document early stage community outreach specifically for Basalt Creek when necessary for all stages of development and implementation.

I appreciate the time you took to call me and your offer to call you should I have future questions or concerns.

Please let me know if I miss-understood any parts of our conversation.

Thanks again for your phone call.

Grace 503 692 9890

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On Tue, Jan 7, 2014 at 2:22 PM, CINDY HAHN < CHAHN@ci.tualatin.or.us> wrote:
> Hi Grace.
> You are correct that there were two Joint Council Subcommittee meetings, on
> December 12 and 30, 2013, to discuss a decision making framework and
> community engagement for the Basalt Creek Concept Planning process. These
> were informal working meetings, therefore, no public notification was made.
>
> Tualatin staff and Subcommittee members will be providing an update on the
> Basalt Creek Concept Plan process to the Tualatin City Council at work
> session on January 13, 2014. An agenda and packet for this presentation can
> be found here:
> http://www.tualatinoregon.gov/citycouncil/city-council-work-session-44.
> Scroll to page 91 of the packet to read the staff memorandum and
> attachments. The draft Partnering Agreement and a process diagram are
> included as attachments and I encourage you to review these at your
> convenience.
>
> Tualatin staff will be taking the consultant contract, scope of work, and
> budget to City Council at the meeting on January 27, 2014. This agenda and
> packet will be posted on January 17, 2014, at this location:
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> http://www.tualatinoregon.gov/citycouncil/city-council-meeting-140.

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> Wilsonville staff will be providing an update to the Wilsonville City
> Council at work session on January 23, 2014. Please check the Wilsonville
> website for the staff report and attachments.
>
> You are on the contact list to receive email updates on the Basalt Creek
> Concept Planning project in the future once the process is underway. Updates
> also will be posted to the Basalt Creek website:
> http://www.basaltcreek.com/.
>
> Thank you for your interest in this project. Please let me know if you have
> any other questions.
>
> Best regards,
>
>
> Cindy
> Cindy L. Hahn, AICP
> Associate Planner
> City of Tualatin | Community Development Department, Planning Division
> 18880 SW Martinazzi Avenue, Tualatin, OR 97062
> 503-691-3029 | chahn@ci.tualatin.or.us | www.tualatinoregon.gov
>
> From: G Lucini [mailto:grluci@gmail.com]
> Sent: Monday, January 06, 2014 7:53 PM
> To: BEN BRYANT
> Cc: Alice Cannon; AQUILLA HURD-RAVICH; CINDY HAHN
> Subject: Re: Basalt Creek Area Planning
>
> Hi Ben,
> Hope you had a good New Year.
>
> I am following up on the planning of the Basalt Creek area by the Cities of
> Tualatin and Wilsonville. I see there is an agenda item on Basalt Creek
> Planning on the Jan. 13, 2014 Tualatin Council Work Session.
>
> Since my neighbors and I do not have any elected representation within the
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> Tualatin-Wilsonville Joint Planning Project, it is extremely important to us
> that we hear discussion which is held on all phases of the planning for this
>
>
> I attended the Basalt Creek Joint City meeting on October 29, as did my
> husband and some of my other neighbors who live within the area being
> discussed.
> It appears that there were two subsequent meetings on December 12 and on
> December 30, 2013 of a Joint Council subcommittee comprised of two elected
> officials from the City of Tualatin and two elected officials from the City
> of Wilsonville (as well as staff and consultants) where a decision making
> framework was discussed, as was community engagement techniques for the
> Basalt Creek Area.
> Although I previously requested to be included in any public notification
> regarding any planning for the Basalt Creek Area, I did not see any posting
> of either of these two meetings.
>
>
> Would you let me know where and how I will be able to find in the future -
> the posting for any other public meetings relating to the planning of the
> Basalt Creek area-especially those involving 2 or more elected
> officials-prior to the date of the meetings.
>
>
> Since the residents of this area do not have an elected official
> participating in these meetings, would it be reasonable to at least provide
> a list serve to the potentially affected residents, to provide us some
> enlightenment as to what the future may hold.
>
> Looking forward to hearing from you.
> Grace Lucini
> 503 692 9890
>
> On Thu, Sep 26, 2013 at 8:29 AM, BEN BRYANT <BBRYANT@ci.tualatin.or.us>
> wrote:
> Hi Grace,
> Thanks as always for your interest. We haven't quite started the outreach
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> meetings yet, but we definitely will make sure you are involved. The next
> meeting for the Basalt Creek Concept Planning (land use phase) is October 29
> at Wilsonville City Hall. That meeting is scheduled as a joint Council
> meeting with both City of Tualatin and Wilsonville Councils. It should mark
> the kick-off of concept planning work. Once we are closer to that date, we
> will post an announcement on our website.
>
> In the meantime, we are developing our staff team and getting ready for the
> next phase if this project.
>
> Thanks, Ben
> Sent from my iPhone
> On Sep 25, 2013, at 3:23 PM, "G Lucini" <grluci@gmail.com> wrote:
> Hi Ben,
>
>
> I remember the last time we discussed Basalt Creek Planning, it was
> mentioned formation of public input groups would start around September
> 2013.
>
> Can you tell me how the process is going?
>
> Let me know if there someone I should contact, or any action I should take,
> to become involved in any meetings/ groupings / planning--- involving the
> Basalt Creek area.
>
> I am interested in all aspects of planning for the area-- including (but not
> limited to) transportation, zoning, environmental impact etc.
>
>
> Thanks,
> Grace Lucini
> 503 692 9890
```



Basalt Creek / West Railroad Planning



Home

Project Description Transportation Refinement Plan Citizen

Highlights &

Documents & Resources

Contact Us



The Cities of Tualatin & Wilsonville

Project Highlights/Updates

Draft Partnering Agreement

A subcommittee of the Tualatin and Wilsonville City Councils has worked with staff to develop a Basalt Creek Concept Plan Partnering Agreement and Process Diagram. The Agreement outlines how the cities of Tualatin and Wilsonville will generally approach decision-making and public involvement for the project. Each Council will discuss the draft Agreement during worksessions in January 2014:

- City of Tualatin work session: January 13, 2014. Meeting packet is available at:
 * Tualatin Jan. 13 Meeting Documents.
- City of Wilsonville work session: January 23, 2014. Meeting packet will be available at: *Wilsonville Jan. 23 Meeting Materials.

On October 29, 2013, Wilsonville and Tualatin City Councils held a joint work session to kickoff the Basalt Creek / West Railroad Concept Plan project. The discussion informed the scope of work for the project, and framed the collaboration on the process to come.

- * October 29 Meeting Documents
- * October 29 Meeting Notes

Boones Ferry Road Improvements:

Washington County is improving safety and capacity for all modes of travel along Boones Ferry Road between Norwood Road and Day Street. For more information on this project please visit: Washington County Boones Ferry Road Project Website.

SW 124th Avenue Extension:

The 124th Avenue Project will construct an extension of SW 124th Avenue from Tualatin-Sherwood Road to Tonquin Road. Construction is anticipated to begin in 2013 depending on the availability of funding. Design and construction of this project is funded through the county Major Streets and Transportation Improvement Program (MSTIP). For more information, visit https://124thproject.com, or send an e-mail to comment@124thproject.com.

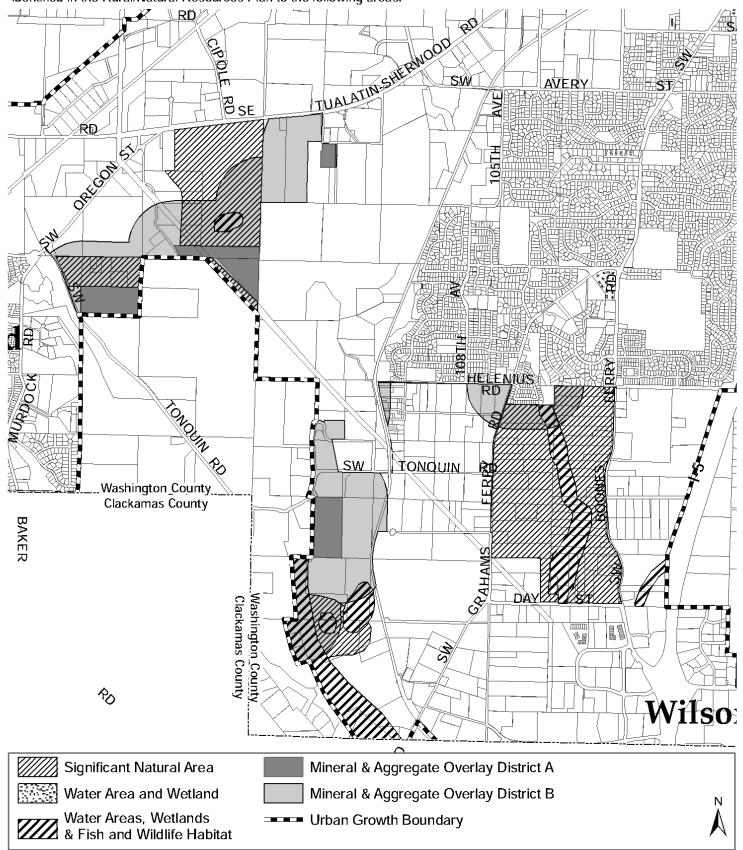
Future Council Updates

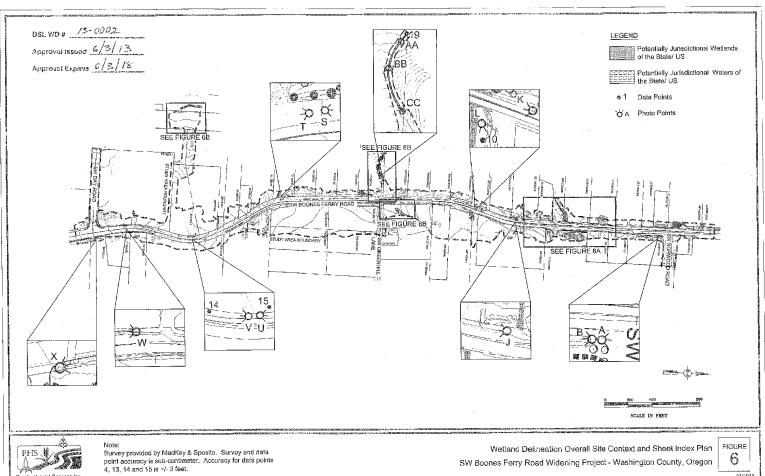
N/A

Home | Project Description | Transportation Refinement Plan | Citizen Involvement | Highlights & Updates | Documents & Resources | Contact Us

THE CITIES OF WILSONVILLE & TUALATIN

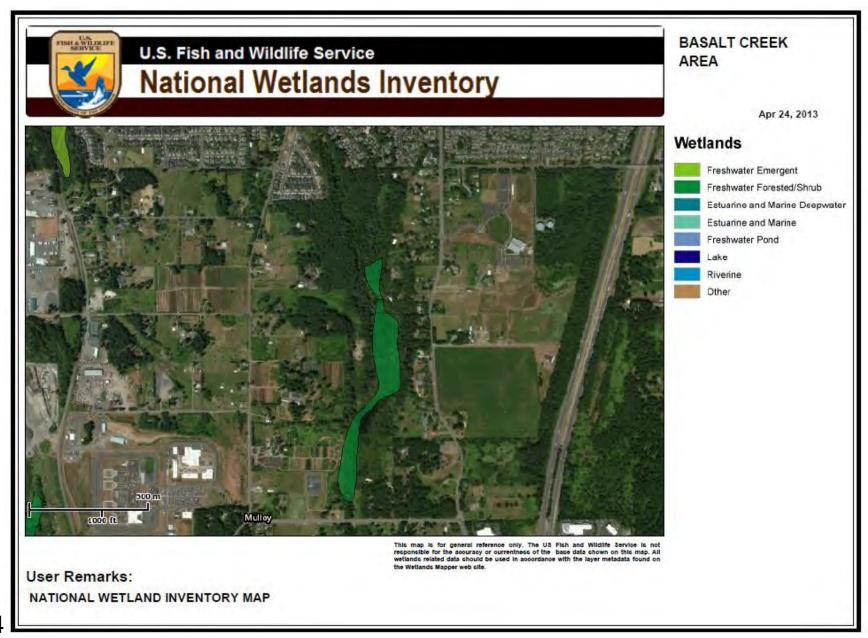
503.691.3029 chahn@ci.tualatin.or.us Amend the Goal 5 Resource for Future Development Areas map (Map B) in Policy 41 (Urban Growth Boundary Expansions) of the Comprehensive Framework Plan for the Urban Area to apply the Goal 5 Resource designations identified in the Rural/Natural Resources Plan to the following areas:





01/45/13

NATIONAL WETLANDS INVENTORY- BASALT CREEK AREA Global View- Basalt Creek Area-Without Smaller Identified Wetlands Indicated



From: <u>G Lucini</u>

To: Katie Mangle; Wilsonville Council President Scott Starr; Wilsonville Councilor Susie Stevens; Wilsonville Councilor

Richard Goddard; Wilsonville Councilor Julie Fitzgerald; Wilsonville Mayor Tim Knapp

Cc: AQUILLA HURD-RAVICH; CINDY HAHN

Subject: Council Work Session 4-21-14 - Basalt Creek Concept Plan Update

Date: Monday, April 21, 2014 2:10:45 PM

The Council will be reviewing the amended Basalt Creek Concept Planning Partnering Agreement as part of this work session's update on the topic.

I wish to extend my appreciation of the work and effort taken to add within the Partnering Agreement- the confirmation and endorsement of the provisions of the Oregon Public Meetings Law- which is to be implemented as a stated component of the Decision-Making Structure of the Basalt Creek Concept Plan Project.

For the clarification of all interested parties-

- 1. Will the Project staff provide **Notice -of Public Meetings of Public Bodies** (as defined in ORS 192.610-192.690) containing agenda items on **Basalt Creek Concept Planning** held by:
 - Council Meetings &/or Work Sessions,
 - Join Council Meetings
 - Council Sub Committees Meetings,
 - City Commission Meetings,
 - Agency Review Team (ART) Meetings,
 - Project Management Team (PMT)Meetings
 - And/or meetings involving other various groups when they meet the qualifications under Oregon Public Meetings Law –such as:
 - Project Consultants, Contractors and sub-contractors
 - Cooperating agencies- including Essential Agencies, and Invited Agencies
 - Including meetings which
 - are primarily informational, or
 - for which no decision or conclusion is reached, but
 - may later provide advisement or result in recommendation to either City Council in their deliberations on Basalt Creek Concept Planning.
- 2. Will Notice of these Public Meetings consist of **Actual Notice** (as identified and recommended within the "State Of Oregon Department Of Justice Attorney General's Public Records And Meetings Manual 2011" to **Interested Parties who have provided prior** written request--- in addition to the various methods of **Public Notice** identified within the **Basalt Creek Concept Plan Public Involvement Plan (PIP) of April 2014**?

Respectfully,

Grace Lucini

 From:
 G Lucini

 To:
 CINDY HAHN

Cc: AQUILLA HURD-RAVICH

Subject: Basalt Creek- Wetlands Delineation Report from Boones Ferry Rd Improvement Project

Date: Thursday, April 24, 2014 2:01:20 PM

Attachments: WD2013-0002final.pdf

Cindy,

During our meeting on February 21, part of our discussion on Basalt Creek Concept Planning included the discussions about the unique significant natural resources in the area. I mentioned the existing Wetland Delineation Report Created due to the SW Boones Ferry Road Improvement Project -which is within the Basalt Creek Concept Planning Area.

I promised to forward a copy of the delineation report. My computer hard drive problem is resolved, and I have reconnected to my digital copy of the report.

Attached is a copy of the report which provides information as to jurisdictional involvement of the US Army Corps of Engineers (the delineation report was submitted as part of the joint application process to the Corps and DSL).

I've also attached a copy of a letter regarding the Wetland Delineation Report by the Oregon Department of State Lands which also identifies their existing role in monitoring water quality within the Basalt Creek Area and Tapman Creek which runs through the area.

Sorry for the delay in forwarding this information to you. I understand the Project is currently assessing existing conditions within the area and hope this will assist in those efforts.

I am assuming Katie has access to the various Willamette River TMDL Implementation Plans submitted by the City of Wilsonville which identifies Tapman Creek (AKA as Seely Ditch), as part of the largest watersheds within the study area.

Regards,

Grace





Department of State Lands

775 Summer Street NE, Suite 100 Salem, OR 97301-1279 (503) 986-5200 FAX (503) 378-4844 www.oregonstatelands.us

June 3, 2013

Washington County Attn: Abe Turki 1400 SW Walnut Street, MS 18 Hillsboro, OR 97123

State Land Board

John A. Kitzhaber, MD Governor

Re: Wetland Delineation Report for the Proposed SW Boones Ferry Road Widening Project – SW Norwood Road to SW Day Road (#15315), Washington County; T 2S R 1W S 35CA, 35CD and 35D portions of multiple tax lots; T 3S R 1W S2A, 2AB and 2B portions of multiple tax lots; WD #2013-0002; APP #53166

Kate Brown Secretary of State

> Ted Wheeler State Treasurer

Dear Mr. Turki:

The Department of State Lands has reviewed the wetland delineation report prepared by Pacific Habitat Services for the site referenced above. Based upon the information presented in the report, a site visit on May 10, 2013, and additional information submitted upon request, we concur with the wetland and waterway boundaries as mapped in revised Figures 6, 6A and 6B of the report. Please replace all copies of the preliminary wetland maps with these final Department-approved maps. Within the study area, five wetlands (totaling approximately 0.34 acres) and three waterways, including an intermittent tributary to Tapman Creek, a roadside ditch identified as Ditch A on Figure 6A, and an ephemeral headwater drainage, were identified. The five wetlands and one of the three waterways are subject to the permit requirements of the state Removal-Fill Law. Under current regulations, a state permit is required for cumulative fill or annual excavation of 50 cubic yards or more in wetlands or below the ordinary high water line (OHWL) of a waterway (or the 2 year recurrence interval flood elevation if OHWL cannot be determined). The remaining two waterways, the ephemeral headwater and Ditch A, are exempt per OAR 141-085-0515 (3) and (10); therefore, they are not subject to these state permit requirements.

In addition, the Department was informed during the site visit that a small portion of Wetland D was accidentally impacted by a tree removal operation prior to the permit being issued. However, the actual area and volume of the impact was later determined to be nominal (totaling approximately 160 square feet; 1 cubic yard of fill), and therefore, no further action is required.

This concurrence is for purposes of the state Removal-Fill Law only. Federal or local permit requirements may apply as well. This concurrence is based on information provided to the agency. The jurisdictional determination is valid for five years from the date of this letter, unless new information necessitates a revision. Circumstances under which the Department may change a determination are found in OAR 141-090-0045

(available on our web site or upon request). In addition, laws enacted by the legislature and/or rules adopted by the Department may result in a change in jurisdiction; individuals and applicants are subject to the regulations that are in effect at the time of the removal-fill activity, or complete permit application. The applicant, landowner, or agent may submit a request for reconsideration of this determination in writing within six months of the date of this letter.

Thank you for having the site evaluated. Please phone me at 503-986-5232 if you have any questions.

Sincerely,

Peter Ryan, PWS Wetland Specialist Approved by

Kathy Verble, CPSS

Acting Wetlands Program Manager

Enclosures

ec: Amy Hawkins, Pacific Habitat Services

Washington County Planning Department Michael Ladouceur, Corps of Engineers

Mike McCabe, DSL

Amber Wierck, Clean Water Services

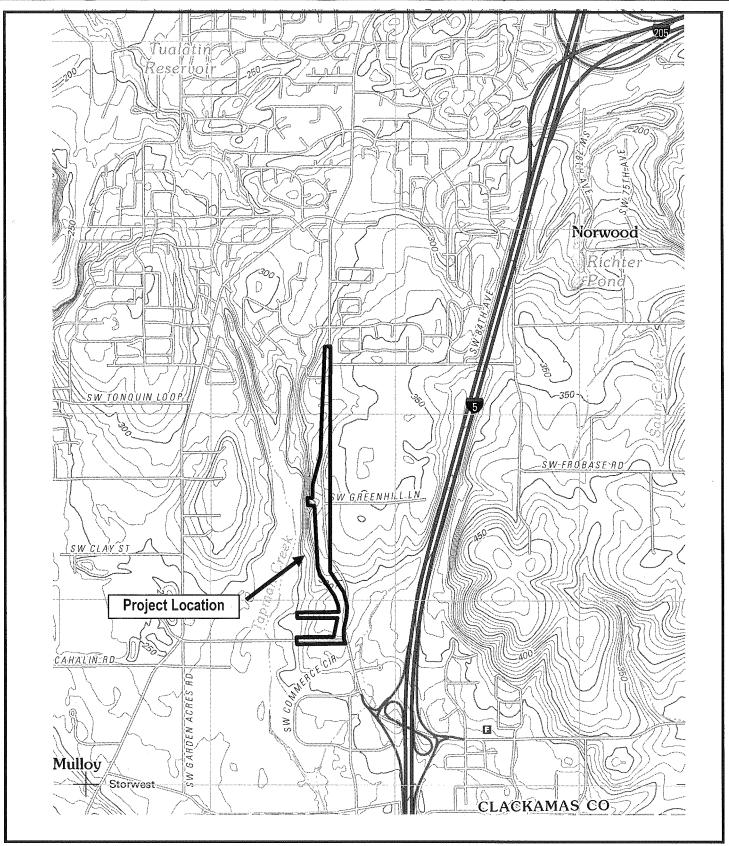
WF 'LAND DELINEATION / DETERMINATION REPORT COVER FORM

This form must be included with any wetland delineation report submitted to the Department of State Lands for review and approval. A wetland delineation report submittal is not "complete" unless the fully completed and signed report cover form and the required fee are submitted. Attach the form to the front of an unbound report and submit to: Oregon Department of State Lands, 775 Summer Street NE, Suite 100, Salem, OR 97301-1279

Mail a copy of the completed form with payment of the required report review fee to: Oregon Department of State Lands, P.O. Box 4395, Unit 18, Portland, OR 97208-4395. For new credit card payment option, see DSL web site.

Lands, P.O. Box 4395, Unit 18, Portland, OR 97208-439	For new credit card payme	nt option, see DSL web	site.	
Applicant Owner Name, Firm and Address:	Business phone #			
Washington County	Mobile phone # (optional)			
Attn: Abe Turki 1400 SW Walnut Street, MS 18	FAX#			
Hillsboro, Oregon 97123	E-mail: abraham_	_turki@co.washington.or	us	
Authorized Legal Agent, Name and Address:	Business phone # FAX #			
	Mobile phone #			
	E-mail:	.?		
I either own the property described below or I have legal authority to property for the purpose of confirming the information in the report, Typed/Printed Name: Abe Turki	to allow access to the , after prior notificatio Signature:		access the	
Project and Site Information (for latitude & long		end points of linear project)		
Project Name: SW Boones Ferry Road widening project	Latitude: 45.753668	Longitude: -122.4	47413 · W	
Proposed Use: Widen SW Boones Ferry Road from SW Norwood Road to SW Day Road	Tax Map # 45-316223 2S 1 35CA; 2S 1 35CD; 2		75066	
Project Street Address (or other descriptive location):	Township Range	Section	QQ	
See Proposed Use	2S 1W	35	CA;CD;D;	
Portions of SW Boones Ferry Rd ROW and portions of the following tax lots:	3S 1W	2	A;AB;B	
35CA: 100, 200, 300, 400, 500, 600, 700, 800	Tax Lots: See left	-		
35CD: 100, 200, 300, 302, 400, 500 35D: 101, 102, 106, 109, 303, 400, 401, and 500	Waterway:	River Mile: N/A		
2A: 200, 300, 400, and 402	Wetland/Tributary to Coff	ee	Commen	
2AB: 100, 101, 900, 1000	Lake Creek		Contration streets	
2B: 100, 102, 103, 104, 105, 106, 107, 200, 300, 301, 303, 306, 307, 308, 309, and 311			Common Common	
City: Wilsonville County: Washington	NWI Quad(s): Sherwood			
	neation Information			
Wetland Consultant Name, Firm and Address:	Phone # 503-570-	-0800		
Pacific Habitat Services	Mobile phone #			
Attn: Amy Hawkins 9450 SW Commerce Circle, Suite 160	FAX # 503-570-08			
Wilsonville, OR 97070	E-mail: ah@paci		84	
The information and condusions on this form and in the attached r		best of my knowledge.	Promingent	
Cons	Date: //-	3///3		
Primary Contact for report review and site access is C	Onsultant Annlinant/Own		nt .	
	······································		F 1 4	
		Wetland Acreage: 0.38		
Check Box Below if Applicable:	Fees:	wheel of and on a	7 0	
☐ R-F permit application submitted☐ Mitigation bank site		submitted \$ 378.0 0 ろ? resubmittal of rejected r	-	
☐ Wetland restoration/enhancement project (not mitigation)	,	r: Washington County	•	
☐ Industrial Land Certification Program Site	Hallie of Tayo	Pacific Habit		
Other Information:	YN			
Has previous defineation/application been made on parcel?	☐ 🛛 If known, previ	ious DSL#		
Does LWI, if any, show wetland or waters on parcel?				
X	fice Use Only	200	0000	
DSL Reviewer; PC Fee Paid Date: 1		DSL WD # 2013-	***************************************	
Date Delineation Received: 2111 BDSL Pr	roject# <u>54037</u>	DSL Site #		
Scanned: Final Scan: IT DSL W	/NI #	DSI Ann # 5316	<u> </u>	

WB#13-0002

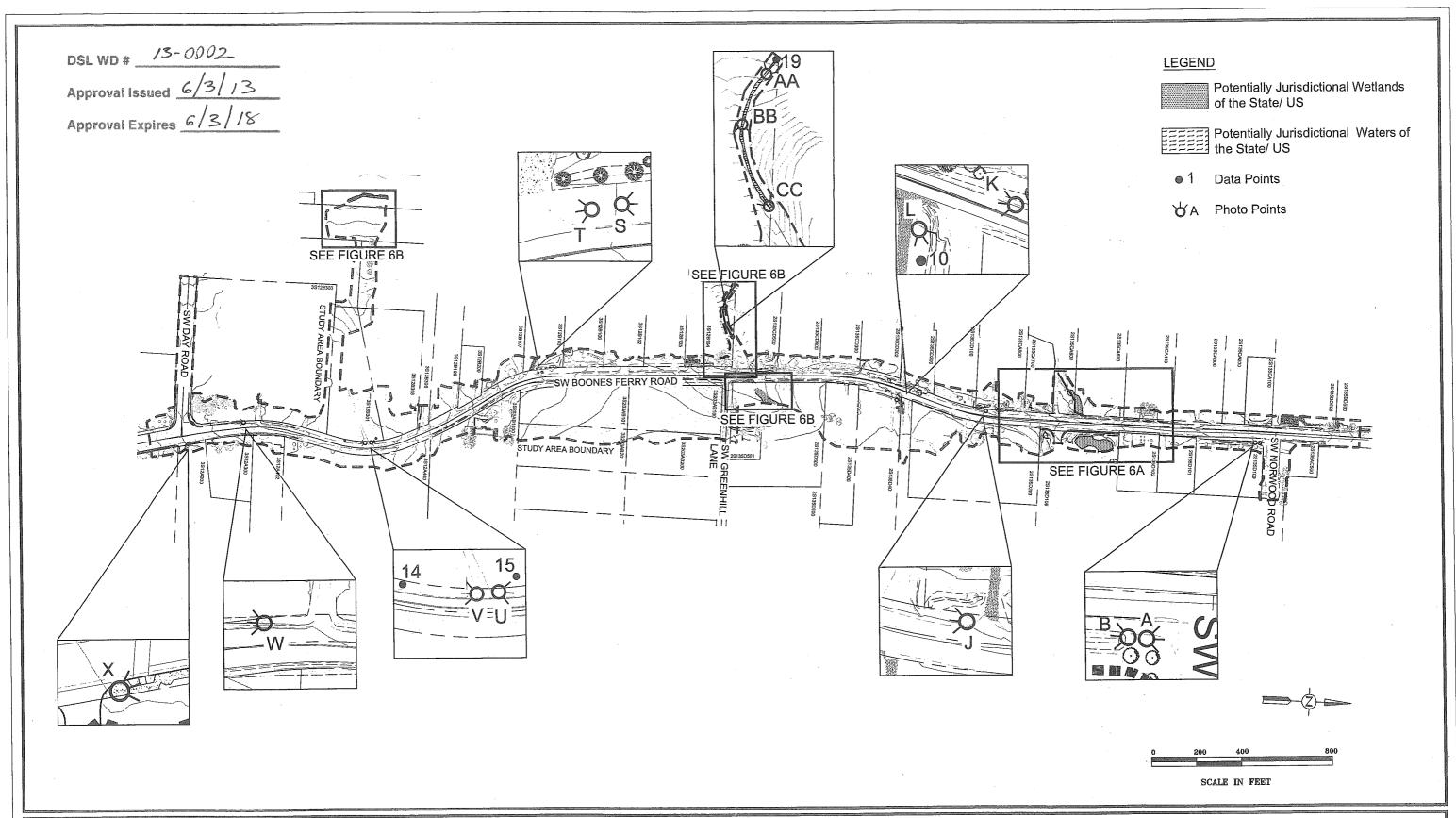


4788 11/15/12



Pacific Habitat Services, Inc. 9450 SW Commerce Circle, Suite 180 Wilsonville, OR 97070 Location and general topography SW Boones Ferry Road Widening project in Washington County, Oregon (USGS Sherwood, OR quadrangle, 2011). **FIGURE**

1





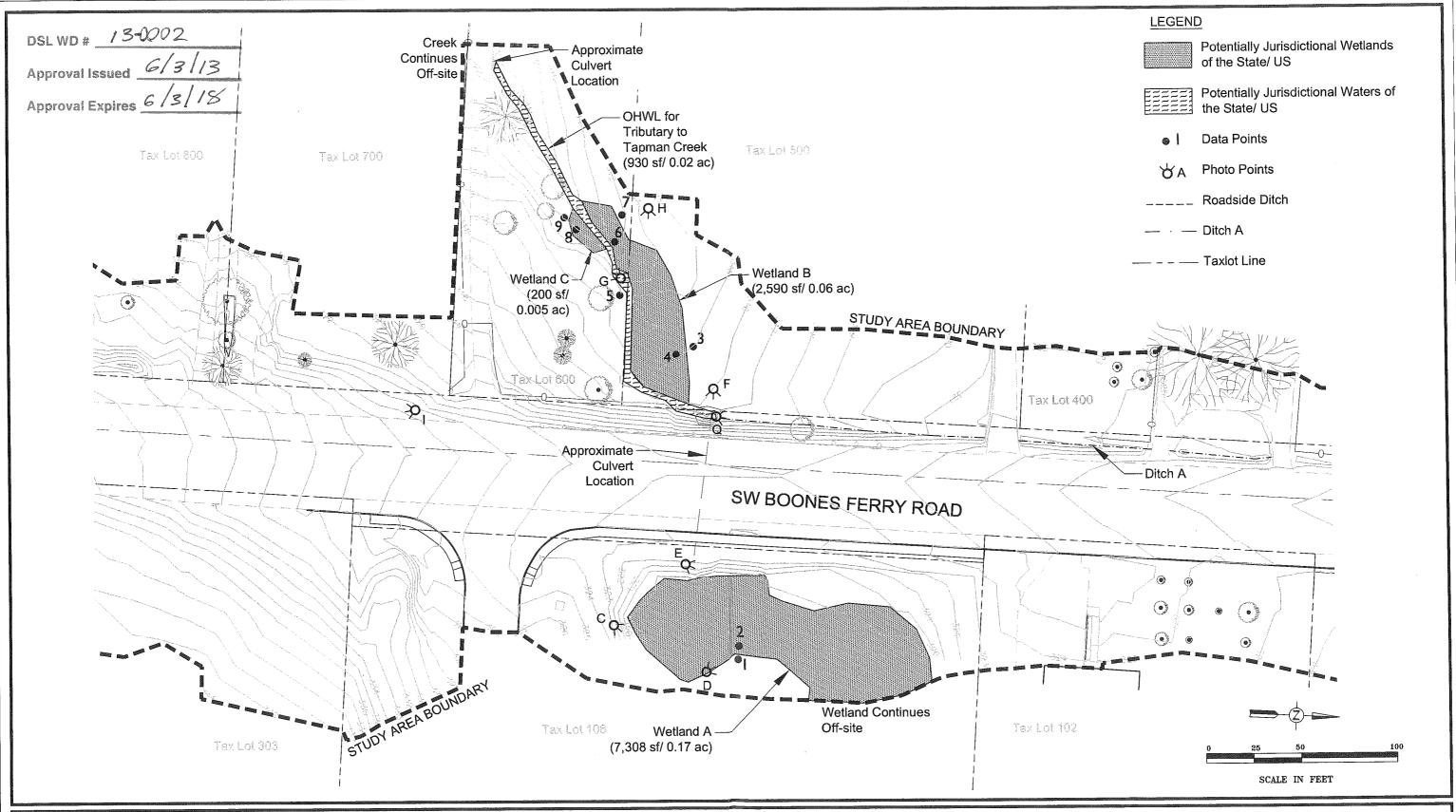
Note:

Survey provided by MacKay & Sposito. Survey and data point accuracy is sub-centimeter. Accuracy for data points 4, 13, 14 and 15 is +/- 3 feet.

Wetland Delineation Overall Site Context and Sheet Index Plan SW Boones Ferry Road Widening Project - Washington County, Oregon

FIGURE 6

01/15/13



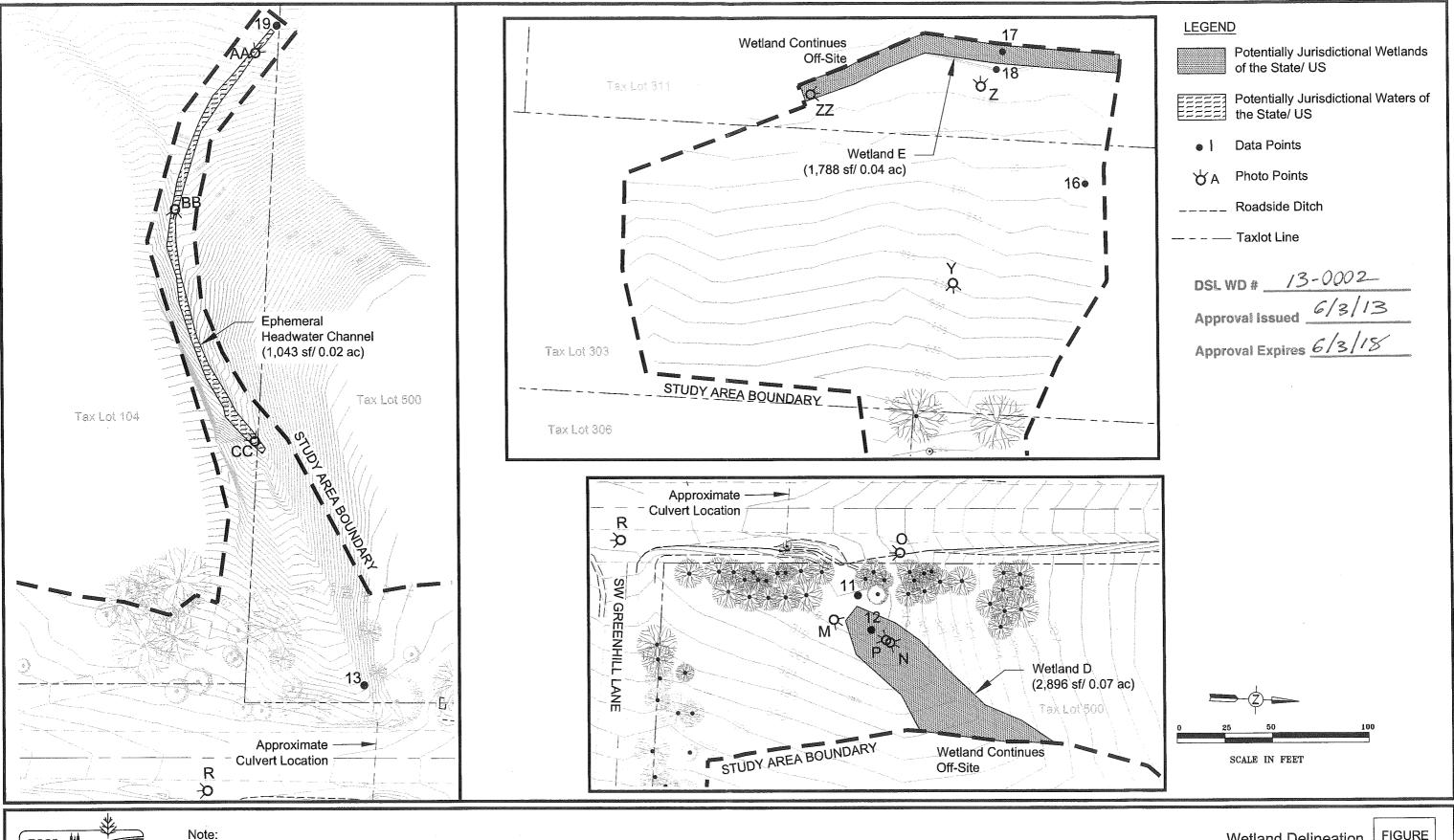


Survey provided by MacKay & Sposito. Survey and data point accuracy is sub-centimeter. Accuracy for data points 4, 13, 14 and 15 is +/-3 feet.

Wetland Delineation

FIGURE 6A

SW Boones Ferry Road Widening Project - Washington County, Oregon





Survey provided by MacKay & Sposito. Survey and data point accuracy is sub-centimeter. Accuracy for data points 4, 13, 14 and 15 is +/-3 feet.

Wetland Delineation

SW Boones Ferry Road Widening Project - Washington County, Oregon



01/14/13



City of Tualatin

www.tualatinoregon.gov

OFFICIAL

TUALATIN PLANNING COMMISSION

MINUTES OF June 19, 2014

TPC MEMBERS PRESENT:

Alan Aplin Adam Butts Jeff DeHaan Bill Beers Cameron Grile Jan Giunta

STAFF PRESENT

Aquilla Hurd-Ravich Cindy Hahn Ben Bryant Lynette Sanford

TPC MEMBER ABSENT: Nic Herriges

GUESTS: Grace Lucini

1. CALL TO ORDER AND ROLL CALL:

Alan Aplin, Chair, called the meeting to order at 6:30 pm and reviewed the agenda. Roll call was taken.

2. APPROVAL OF MINUTES:

Mr. Aplin asked for review and approval of the May 15, 2014 TPC minutes. Ms. Hurd-Ravich, Planning Manager, stated that there was communication from Grace Lucini to amend the minutes to include additional information regarding notices. After discussion, it was agreed to keep the minutes as written, but add the materials submitted by Ms. Lucini at the May 15, 2014 TPC meeting as an attachment. MOTION by Giunta SECONDED by Butts to approve the minutes with the amendment. MOTION PASSED 6-0.

3. COMMUNICATION FROM THE PUBLIC (NOT ON THE AGENDA:

None

4. ACTION ITEMS:

A. Basalt Creek Concept Plan Project – Update and Review of Draft Guiding Principles and Existing Conditions Information

Cindy Hahn, Associate Planner, presented an update on the Basalt Creek Concept Plan Project, including draft guiding principles and preliminary information about existing

These minutes are not verbatim. The meeting was recorded, and copies of the recording are retained for a period of one year from the date of the meeting and are available upon request.

conditions, which included a PowerPoint presentation.

Ms. Hahn went through the schedule which begins with the public involvement plan and guiding principles and will continue through the end of 2015 with public hearings and adoption. Development and construction could begin in 2017. A Community Workshop was held on June 17 to gather input that will be used to create several alternative concepts for future development in the Basalt Creek area.

The next steps in this process include a joint Council meeting on July 16 at 6:00 pm in the Tualatin Police Training Room. This meeting will focus on guiding principles, evaluation measures, and existing conditions information gathered to date. The next joint meeting is anticipated for December. The next steps in the planning process include creating alternative development concepts, evaluate and test alternative scenarios, and choose a preferred alternative. The Planning Commissions and City Councils of both Tualatin and Wilsonville will receive regular updates throughout the planning process.

Mr. DeHaan asked who was responsible for writing the draft guiding principles. Ms. Hahn responded that the draft came from the consultants and staff members. Mr. DeHaan acknowledged that the changes increased readability. Ms. Giunta asked if Wilsonville is planning additional residential development or if they're solely focusing on commercial and industrial. Ms. Hurd-Ravich responded that the focus is on commercial and industrial. Ms. Giunta asked if there is a way to increase the residential component and to incorporate livability of residential neighborhoods. Ms. Hurd-Ravich answered that she will make note of that. Mr. Aplin mentioned that the word "commercial" has been omitted from the fourth Guiding Principles. Ms. Hahn will make note of that.

Ms. Hahn continued to discuss the demographic and environmental differences between Tualatin and Wilsonville. Ms. Giunta mentioned that there are wonderful wildlife areas in Basalt Creek and she is hoping that corridors are established to facilitate the movement of wildlife and the preservation of our ice age heritage.

Ms. Hahn stated that an instant polling system was conducted at the workshop and the results will be forthcoming. The focus was on the different land uses and whether they're appropriate in this area. The results of this polling and the on-line survey will be incorporated into a report for the development. Mr. DeHaan asked how many people attended the workshop. Ms. Hahn answered there were 40-50, and consisted of mostly land owners. Ms. Hurd-Ravich added that a map exercise was conducted at the meeting and these results will be digitized and put on our website.

Grace Lucini, 23677 SW Boones Ferry Rd.

Ms. Lucini stated she is following up on a comment made at our last meeting regarding the compliance with public notification. She stated that her comments are on behalf of herself and the other citizens directly or indirectly affected by the Basalt Creek planning area. She stated the public meetings law 192.610 and 192.690 and the Oregon Department of Justice manual, January 2011, states an important issue regarding

public notice. Ms. Hurd-Ravich acknowledged that we are in agreement that property owners and interested parties will be advised about upcoming meetings by email and a monthly hard copy will be mailed.

B. Metro's Climate Smart Communities Project

Ms. Hurd-Ravich, Planning Manager, presented the Metro's Climate Smart Communities Project, which included a PowerPoint presentation. This project was enacted in 2009 as part of a statewide transportation funding bill to develop an approach for reducing greenhouse gas (GHG) emissions from small trucks and cars. The plan must seek to reduce emissions 20% below 2005 levels by 2035. The plan must be completed by 2014.

Ms. Hurd-Ravich went through the slides which detailed the elements of each scenario. The desired outcomes will include building vibrant communities, equity, economic prosperity, transportation choices, clean air and water, and climate leadership. What Metro has found so far, based on the local and regional plans, is that we can accomplish this 20% reduction except that these plans are not fully funded.

On May 30, the Metro Policy Advisory Committee (MPAC) and the Joint Policy Advisory Committee on Transportation (JPACT) made a joint recommendation to the Metro Council on a draft approach for testing. There are nine recommendations that are intended to provide Metro staff with sufficient direction to move forward with testing a draft approach that will be subject to further discussion and potential refinement after analysis.

Ms. Guinta asked where in the policy choices does it include fuel efficient vehicles. Ben Bryant, Economic Development Manager, answered that in the previous slide it detailed that in 2010 vehicles averaged 29.2 miles per gallon and in 2035, the goal is 68.5 mpg. Ms. Giunta asked why they didn't include heavy trucks. She stated that in CA and WA they have restrictive emission standards and the greenhouse gas levels are dropping. Ms. Hurd-Ravich responded that she will ask the question and get back to her. Mr. Bryant continued with the presentation that covered the straw poll results and what this means for communities.

Ms. Hurd-Ravich added that the immediate next steps in this process include Metro staff evaluating the draft preferred and develop implementation recommendations. In September, they report back results to the regional advisory committees. From September through November, public and local government reviews results and draft preferred approach and in November and December final refinements and adoption will occur.

Ms. Giunta asked about the implications for Tualatin and why it's important to us. Mr. Bryant stated that Metro recognizes that local cities are already implementing plans to increase vibrancy and town centers, but what's left are the regional issues which include transit and parking management that will influence future regional transportation

plans and urban growth boundaries. Discussion followed regarding different transit options and the limitations.

5. COMMUNICATION FROM CITY STAFF:

None

6. FUTURE ACTION ITEMS

Ms. Hurd-Ravich stated we are lacking agenda items for the July meeting and it may be canceled. In August, there is a full agenda with a Basalt Creek update and an update from Tom Mills at Trimet regarding the SW Enhancement Study. There will also be information regarding the Plan Text Amendment on Mohave Court which is the area behind Applebees. In addition, there may be information regarding the Tigard ballot initiative that was passed in March. Mr. Grile asked about additional sign variances for Nyberg Rivers. Ms. Hurd-Ravich responded that we have not received any recently. Mr. DeHaan asked about the Espedal site. Ms. Hurd-Ravich answered that they recently submitted an architectural review. The project has been scaled back and did not need a variance.

7. ANNOUNCEMENTS/PLANNING COMMISSION COMMUNICATION

None.

8. ADJOURNMENT

MOTION by Beers SECONDED by Aplin to adjourn the meeting at 7:57 pm. MOTION PASSED 6-0.

Lynette Sanford, Office Coordinator

From: <u>G Lucini</u>

To: AQUILLA HURD-RAVICH
Cc: Katie Mangle; CINDY HAHN

Subject: Re: Basalt Creek Planning -Follow Up on Phone Call Regarding Notice

Date: Thursday, June 19, 2014 8:18:56 PM

Thanks for your reply.

Hopefully when all interested parties have an opportunity to hear what each other have to say, some meaningful outcomes may follow.

Grace

On Thu, Jun 19, 2014 at 3:19 PM, AQUILLA HURD-RAVICH < AHURD-RAVICH@ci.tualatin.or.us > wrote:

Hi Grace,

Thank you for following up. My responses are below in the body of your email.

Aguilla Hurd-Ravich, AICP

Planning Manager

City of Tualatin | Community Development Department

503.691.3028 | www.tualatinoregon.gov.

From: G Lucini [mailto:grluci@gmail.com] Sent: Thursday, June 19, 2014 2:00 PM

To: AQUILLA HURD-RAVICH

Subject: Basalt Creek Planning -Follow Up on Phone Call Regarding Notice

Aquilla,

Thank you for your phone call today and your intent to resolve concerns I presented regarding compliance with appropriate Notice on Basalt Creek Concept Planning.

I would like to summarize my understanding of our discussion. Please correct or clarify any misunderstandings I may have.

The focus of our discussion was the provision of appropriate Notice regarding Basalt Creek Concept Planning.

- To improve <u>General Notice</u> --- More specific information will be added on the BasaltCreek.com website to including
 - date,
 - time.
 - location and
 - agenda topic on Public Meetings-
 - to be done by Consultant in approximately a week.

Yes I agree this is what we spoke about and I will confirm with the Project Management Team (Tualatin Staff and Wilsonville Staff) that this information can be added.

- <u>Actual Notice</u> is being provided by a email list email list includes 100+ contacts and will include:
 - Subject line in email notifications will include specific/identifiable information regarding Basalt Creek Planning Public Meetings
 - date,
 - time.
 - location and
 - agenda topic on Public Meetings
- We discussed traditional mail for Actual Notice as a possible alternative for those who do not use email.

Yes I agree this is what we spoke about and again I will confirm with the rest of the Project Management Team that this is doable.

A couple of questions I did not ask during the phone call, but was included in yesterdays email-

- Will everyone who submitted their contact information to the BasaltCreek.com website be included in the "Actual Notice" emails?
 - If so- does this include website submissions prior to Tualatin assuming administration of the website?

Yes, everyone who submitted their contact information via the Basalt website is included on the

email distribution list for Actual Notice. This list does include submissions prior to Tualatin assuming administration of the email distribution list via the website. Just to clarify the consultant team is now administering the website. Requests from the public to be on an interested parties list prior to the website update and the consultant taking over administration were sent to Tualatin staff.

- Will <u>both</u> the City of Wilsonville <u>and</u> the City of Tualatin (or other Basalt Creek Consultant/Contractor/Agency) holding a Public Meeting on Basalt Creek Planning-
 - be providing Actual Notice as described above, and/or
 - posting Public Meetings on the BasaltCreek.com website

Yes, I believe what will happen is that Tualatin staff will send a mail (via US Postal Service) notice to all property owners in the Basalt Creek Area listing meetings in the upcoming month. For example next week City of Tualatin will send a notice of public meetings (**not public hearings which is something different and will occur near adoption**) next week informing property owners of public meetings in July. This same content will be sent via email to the email distribution list informing the interested parties of public meetings in the month of July.

The website will change as described above under <u>General Notice</u> and it will list all public meetings for both Wilsonville and Tualatin.

Again, I need to confirm both of my above statements with the Project Management Team this afternoon.

• Are you in agreement with those groups/bodies listed in the email of 4-22-14 from Katie Mangle (Wilsonville Project Manager) for which Notice will be provide- and should the public expect both General and Actual Notice regarding Public Meetings on Basalt Creek planning of these bodies?

Project staff will follow public meeting law by providing Actual Notice to those who have timely requested they be notified and provided correct mail or e-mail addresses for all *City Council meetings, joint Council meetings, Planning Commission meetings, and any sub-committee or other meetings that meet the definition of Public Meetings of Public Bodies.*

The Agency Review Team, which will not have recommending or decision-making authority, and will be comprised of agency technical staff, is not a public body. Though Team meetings may be advertised, no actual notice will be provided. The Project Management Team, which is tasked with running the project, is also not a public body, and meetings of that group are not public.

Yes I am in agreement with the above statements.

Again thanks for taking the effort to contact me.
I think we both agree public interest and involvement in this project will be beneficial in the decision making process and in achieving a viable solution to the concept planning.
Grace

From: <u>G Lucini</u>

To: <u>Katie Mangle</u>; <u>CINDY HAHN</u>

Subject: Follow Up Focus Group 6-24-14 10AM Property Owner- Basalt Creek Concept Planning

Date: Wednesday, June 25, 2014 1:02:50 PM

Attachments: Metro Legislation Acquisition Refinement Plan For the Tonguin Geologic Area Resolution 07-3850.pdf

Katie, Cindy, and FA Consultant Team,

Thank you for the opportunity for discussion on issues relating to the Basalt Creek Concept Planning.

Resident/ property owners who live in the area have a unique perspective on the area and of the many of the Basalt Creek Projects which have been proposed and are being implemented by the various local governments. Unfortunately in the past many of our comments were not heard, were under documented or were not given credibility or merit.

Your efforts to seek input is appreciated, and will hopefully result in creating reasonable and thoughtful options.

--Due to the varied topography and natural resources within the 800+ acres under concept planning, one resident's perspective maybe different than another's.

It is hoped the input of Local Property Owners in the focus groups will include a proportionally representative number of *single family resident* property owners from the area--among non-resident property owners and multi-lot property owners (some of whom could also be equally qualified to be included within the Residential or Commercial Developers Focus Groups- and who may have different short or long term goals or perspectives).

--During the focus group meeting on Tuesday 6-24-14 at 10AM, a question was raised about the importance of the Basalt Creek Area with regards to Metro's identification of Natural Geologic Areas for acquisition.

To help shed light on this, I've attached Metro Resolution 07-3850 which identified portions of the Basalt Creek Area (described as Area 1A- Basalt Creek on the original map) as a Tier 1 Objective for the Tonquin Geological Acquisition which were later lowered to be included as Tier 2 Goals.

- --I have extended an invitation and look forward to having a site visit during the assessment of existing conditions phase of the concept planning process- to assist in obtaining appropriate level of due diligence.
- --I have also extended an invitation for a site visit -to the City Councils of both Tualatin and Wilsonville that they may also obtain first hand understanding of the area under examination for concept planning- prior to the start of their deliberations.

I look forward to when these visits can be scheduled.

Again, thank you for the opportunity to participate in one of the focus groups. Regards,

Grace Lucini

From: Mayor Tim Knapp < knapp@ci.wilsonville.or.us >

Date: July 9, 2014 at 3:46:36 PM PDT

To: "Kraushaar, Nancy" < kraushaar@ci.wilsonville.or.us>, "Scottstarr97070@gmail.com"

<Scottstarr97070@gmail.com>

Subject: Fw: Basalt Creek Concept Plan

FYI, citizen input. Thx/TK

Sent from my Verizon Wireless Droid

----Original message----

From: Tim Davis pdxfan@gmail.com>

To: logden@ci.tualatin.or.us, mayor@ci.wilsonville.or.us, council@ci.tualatin.or.us

Sent: Wed, Jul 9, 2014 20:19:53 GMT+00:00

Subject: Basalt Creek Concept Plan

Dear Mayor Lou Ogden, Tualatin City Council, and Mayor Tim Knapp,

This is Tim Davis, and below is a letter that I wrote to Cindy Hahn about the incredibly important and sensitive Basalt Creek area. It's written in a blunt style that's meant to challenge us to do real placemaking in our outer suburban areas. I meant to mention the mistakes made in Damascus and the beautiful counterexample of Villebois as something we should emulate and improve upon to the greatest extent possible.

As you can see, the letter I wrote is quite long, but it could have easily been triple the length. For example, I skipped one of the most important mathematically proven arguments that developing existing shopping areas ALWAYS presents a far, far greater return on investment than developing new areas. Every single elected official in the U.S. should really listen to this amazing "Strong Towns" podcast episode called "Moneyhall" that's based somewhat on the wonderful "Moneyball" movie that showed an entirely new way to get high value for minimum investment on a baseball team. It proves that our current suburban model cannot work in the long run, but our metro area at least has some hope of turning it around. Here's the critically important (and highly entertaining!) podcast episode:

http://www.strongtowns.org/strong-towns-podcast/2013/8/29/show-149-moneyhall.html

Anyway, below is my letter to Ms. Hahn; I hope that you enjoy my suggestions and don't mind the occasional bluntness in trying to get some points across!! :)

Thank you so much for everything you do; I know that your jobs are NOT at all easy!! I really can't thank you enough!

Cheers,			
Tim			

This is Tim Davis, and I closely follow every single development in the entire Portland area; it's admittedly incredibly time-consuming.:)

My main worry is that Basalt Creek will turn into another unbelievably awful suburban wasteland, to put it perhaps too bluntly. :) There's really no way that this area should have been included by Metro in 2004 into the UGB; we still have an unbelievable amount of undeveloped and very, very low-density housing everywhere you look, including throughout Portland. We have WAY more than enough room to accommodate growth within our existing UGB for at least 50 years.

Plus, Basalt Creek is the very definition of exurban: exceedingly far from both downtown Portland and any kind of decent transit. Plus, probably half of the area is in a floodplain and should be preserved as parks and farmland. It's also just north of an incredibly important wetland (Coffee Lake), the last remaining wetland of any decent size for many miles.

If we really, REALLY need to develop Basalt Creek at all, it has GOT to be with the highest-density, most attractive mixed-use development possible. Bethany did a decent job with the 15325 NW Central Drive area, for example, and Orenco Station is fascinating both to live in and visit.

We simply have way, way, way more than enough hideous big-box, character-less, soul-less development (not to mention countless miles of lookalike oversized homes) in the area. We just cannot afford to keep doing this. It's a Ponzi scheme, and the infrastructure will collapse under the weight of debts due to a failure to plan for maintenance costs 30-40 years out. We're already seeing the suburban model starting to fail miserably in many places.

Basalt Creek could be one of the last chances the metro area gets to preserve the beauty of an exurban-but-still-not-too-far-out area. I LOVE driving and biking down pastoral roads like SW Frobase Road or SW Day Road, and we must not lose the character of places like this, even though (or maybe because) they're super remote from almost any job location.

We have to think holistically. I really like that Tualatin and Wilsonville are approaching this development carefully and very collaboratively, but we need to consider the much bigger picture of the metro area as a whole. Our biggest mistake has been our failure to develop holistically, and now we have countless suburbs that have almost zero character. Fortunately we still have a tiny bit of time before we start looking like almost every other large metro area in the U.S. Portland is truly THE last hope for a semi-decent metro area left in this country; all other cities have completely sold out to giant corporations and Anytown, USA cookie-cutter looks.

This area really needs to be a recreational corridor, with its great proximity to beautiful rivers and vistas in all directions. The Banks-Vernonia corridor has (at last) discovered this, and now eco-minded cycling visitors are greatly improving the economy there--and supporting the LOCAL economy rather than some fat cat's pockets back in New York or Dallas.

We need to always, always be thinking about growing a LOCALLY based economy. The Willamette Valley can grow 32 types of edible greens in January alone! That's more than anywhere else on Earth without irrigation. We need to take advantage of our unparalleled access to food and natural beauty!

We have *way* more than enough multi-national big-box chain stores and beige, covenant-controlled huge family homes. We don't need any more. Besides, once the next economic crash occurs, those large homes will be subdivided--and people will be completely screwed because there will be zero sources of food, jobs or outside entertainment to WALK or BIKE to because everything was built around the single-occupancy or family car.

Instead, let's do the only thing that makes sense in the long term: growing companies that are based right in Tualatin and Wilsonville and keeping the money as local as possible. And build an amazing bike trail network through the Basalt Creek area--and include educational signs about wetlands, rivers, animals and other wonderful things people will see while improving both their health and their quality of life!

And if we have to pave over paradise, then make it incredible dense development (preferably with permeable concrete, as well). Rather than yet another Walmart or Supertarget that's surrounded by 20 acres of mostly empty concrete (with no stormwater mitigation at all), encourage local businesses to set up shop in a beautiful, walkable little area with housing above the shops (like they do in all great neighborhoods throughout the world!).

I'll end (for now LOL!) with a question that I always propose to city planners: what is the ONE common trait that every single great neighborhood or public space has in common? It's not great architecture, historical features, high density, low density, parks or anything like that. Rather, the ONE common trait that absolutely all great places have in common throughout the world is: pedestrian-friendliness!! Simply put, if you're approaching an area containing numerous pedestrians, you are *always* naturally drawn to that area. If instead (like in nearly every suburb) you just see cars or empty pavement, you're inclined to skip the area and just keep moving along.

So, the real solution for Basalt Creek is to make the area as pedestrian-friendly as possible; really attract people to get OUT of their cars, walk around, support the businesses, smell the air, walk a trail, and enjoy the place!!

Thank you so very much for your consideration, Cindy and everyone involved with the exciting Basalt Creek planning process!! I'll be keeping close track of what happens with this beautiful area, as you can no doubt imagine! :)

Cheers, Tim



OFFICIAL MINUTES OF THE TUALATIN CITY COUNCIL MEETING FOR JULY 14, 2014

Present: Mayor Lou Ogden; Council President Monique Beikman; Councilor Wade Brooksby;

Councilor Frank Bubenik; Councilor Nancy Grimes; Councilor Ed Truax

Absent: Councilor Joelle Davis

Staff

City Manager Sherilyn Lombos; City Attorney Sean Brady; Police Chief Kent Barker; Present: Community Services Director Paul Hennon; Finance Director Don Hudson; Deputy City Manager Sara Singer; Planning Manager Aquilla Hurd-Ravich; Deputy City Recorder Nicole Morris; Teen Program Specialist Julie Ludemann; Maintenance Services Division Manager Clayton Reynolds; Economic Development Manager Ben

Bryant; Assistant City Manager Alice Cannon

CALL TO ORDER A.

Pledge of Allegiance

Mayor Ogden called the meeting to order at 7:03 p.m.

B. ANNOUNCEMENTS

Tualatin Youth Advisory Council Update for July 2014

Members of the Tualatin Youth Advisory Committee (YAC) presented a PowerPoint on their latest activities and upcoming events. The YAC hosted a 5K Kaleidoscope run to kick-off summer for students in grades 6-12. The committee continues to participate in Movies on the Commons every Saturday night by selling concessions for the event. The committee is planning a Youth/Elected Leader Social to be held early next year.

ArtSplash Art Show and Sale 2014 2.

> Recreation Program Specialist Julie Ludemann announced ArtSplash Art Show and Sale to be held July 18-20, 2014.

New Employee Introduction- Kelsey Lewis, Program Coordinator 3.

Community Services Director Paul Hennon introduced Program Coordinator Kelsey Lewis. The Council welcomed her.

C. CITIZEN COMMENTS

This section of the agenda allows anyone to address the Council regarding any issue not on the agenda, or to request to have an item removed from the consent agenda. The duration for each individual speaking is limited to 3 minutes. Matters requiring further investigation or detailed answers will be referred to City staff for follow-up and report at a future meeting.

Grace Lucini presented concerns regarding the guiding principles put in place for the Basalt Creek Planning area.

Margi Peterson spoke in regards to traffic concerns on Boones Ferry Road. She requested to have trees trimmed which are obstructing views of signage in the area and have an additional flashing speed sign installed.

Gunnar Olson asked Council to continue to move forward with the process to have parking permits put into place in the Fox Hills area.

Linda Moholt made comments on TriMet's presentation during the work session. She stated TriMet needs to continue to work on scheduling and service to outside areas.

Loyce Martinazzi and Art Sasaki presented the Council with photo books of Tualatin's history. These books are available for purchase at the Tualatin Historical Society.

D. CONSENT AGENDA

The Consent Agenda will be enacted with one vote. The Mayor will ask Councilors if there is anyone who wishes to remove any item from the Consent Agenda for discussion and consideration. If you wish to request an item to be removed from the consent agenda you should do so during the Citizen Comment section of the agenda. The matters removed from the Consent Agenda will be considered individually at the end of this Agenda under, Items Removed from the Consent Agenda. The entire Consent Agenda, with the exception of items removed from the Consent Agenda to be discussed, is then voted upon by roll call under one motion.

MOTION by Council President Monique Beikman, SECONDED by Councilor Nancy Grimes to approve the consent agenda.

Vote: 6 - 0 MOTION CARRIED

- 1. Consideration of Approval of the Minutes for the City Council Regular Meeting of June 23, 2014
- 2. Consideration of an Amendment to the Intergovernmental Agreement with Washington County Consolidated Communications Agency

E. GENERAL BUSINESS

If you wish to speak on a general business item please fill out a Speaker Request Form and you will be called forward during the appropriate item. The duration for each individual speaking is limited to 3 minutes. Matters requiring further investigation or detailed answers will be referred to City staff for follow-up and report at a future meeting.

1. Consideration of Acceptance of the Economic Development Strategic Plan

Economic Development Manager Ben Bryant presented the Economic Development Strategic Plan. Manager Bryant shared the updated brochure with the Council. Members of the Economic Development Strategy Committee spoke to the process of developing the plan.

MOTION by Council President Monique Beikman, SECONDED by Councilor Nancy Grimes to accept the Economic Development Strategic Plan.

Vote: 6 - 0 MOTION CARRIED

F. ITEMS REMOVED FROM CONSENT AGENDA

Items removed from the Consent Agenda will be discussed individually at this time. The Mayor may impose a time limit on speakers addressing these issues.

G. COMMUNICATIONS FROM COUNCILORS

H. ADJOURNMENT

Mayor Ogden adjourned the meeting at 7:48 p.m.

Sherilyn Lombos, City Manager

/ Nicole Morris, Recording Secretary

/ Lou Ogden, Mayor

REQUESTING INCLUSION WITHIN THE MINUTES TUALATIN CITY COUNCIL WORK SESSION July 14-2014

CITIZEN COMMENTS REGARDING-

GUIDING PRINCIPLES TO DETERMINE THE FUNCTION AND DIRECTION OF BASALT CREEK CONCEPT PLANNING- AN AREA OF OVER 800 ACRES IN UNINCORPORATED WASHINGTON COUNTY

At the Wilsonville Council Work Session on July 7th as part of their discussion on the Guiding Principles for Basalt Creek Concept Planning, comments were made regarding their goal to increase the amount of industrial use and questioning residential use for concept planning within the Basalt Creek area.

I am seeking understanding or clarification on the wording on some of the Guiding Principles being presented for evaluation at tonight's work session- which is scheduled for discussion, acceptance and/or negotiation with the City Council of Wilsonville in 2 days- during the Wednesday Joint Cities Meeting on July 16th.

1. Guiding Principle #6 --Protect *existing city* neighborhoods and employment areas from impacts created by growth.

I request the Council to realize:

- The existing homes and neighborhoods within the Basalt Creek Area were permitted and built under the State and local laws in existence at the time of their construction.
- Most of these homes were built prior to being brought into the UBG.
- Most of the residences along SW Boones Ferry road between Day Road and the Tualatin City Limits to the north- are located on the west side of the road for a reason:
 - As I presented during discussions on the Tualatin Water Master Plan, and also the planned location of the Grahams Ferry –to Boones Ferry Connector and Bridge- now referred to as the East-West Connector
 - The area includes extreme topography and Significant Natural Resources
 - The ravine on the west side of Boones Ferry Road- also known as Seeley Ditch includes steep slopes and large Basalt Cliffs- which are not conducive to industrial use due to the grade
 - Most of the existing homes along Seeley Ditch are
 - single family
 - owner occupied homes
 - Most of these people have lived in these homes for 5, 10 or 15 years.
 - Their homes and the future use of their home and property --- are as important to them as your home and neighborhood is to you.
 - Zoning changes will have a significant impact upon their future livability within their home and neighborhood
 - These home and property owners within the Basalt Creek Area do not have an elected representative within this planning process to speak on their behalf.
- I request the Council to examine the wording of Principle #6 with regards to the wording "protection of <u>city</u> neighborhoods"- to be clarified

- I request the wording to provide-
 - The same respect and <u>equal consideration</u> be given to those homeowners and neighborhoods who have long term legally established and existing homes and neighborhoods within the Basalt Creek area--- which are being extended to existing city neighborhoods.
- 2. I also request additional clarification regarding the **Guiding Principles #7 & 8-** which deal with Natural resources within the Basalt Creek Area:

Principle #7 -Ensure natural resource areas are incorporated into the plan as **community amenities and assets**.

Principle # 8 - Increase equitable access to nature and active recreation opportunities"

- While the quality and quantity of the Significant Natural Resources particularly along the west side of Boones Ferry Road was not quantified as part of the decision making matrix on the location of the East-West Connector; almost all of the maps identifying various Environmental Constraints being presented for the upcoming Joint Cities Meeting, clearly demonstrate the wealth of high quality natural resources within this unique area- including the existence of:
 - highest valued riparian areas;
 - highest valued upland wildlife habitat;
 - And large wetlands.
 - This is the same area which Metro has identified and qualitied under Title 3 and Title 13 regulations
 - o all of this exists within the deep ravine west of Boones Ferry Road within Seeley Ditch
- There are several individual property lots along Seeley Ditch which are long and narrow extending from
 west from Boones Ferry Road and bracketing both the east and west sides of the wetlands with extremely
 limited vehicular access to the wetland solely from Boones Ferry Road.
- There are homeowners such as myself, who recognized these unique and beautiful natural resources, and gone to various lengths to be good stewards of the land and its wildlife.
 - Just for an example- On two different occasions within the last year,
 - I have had to remove a large live animal trap from my property placed there by unknown persons, and
 - I also stop a hunter from shooting either a shotgun or rifle while wading through the wetlands approximately 100 feet from the back of my house (he did not have permission)
- I request the Council to be thoughtful of the wording of their stated goals for the areas especially with regard to the area west of Boones Ferry Road within Seeley Ditch.
 - O What does "increase equitable access to nature and active recreation opportunities" mean?
 - Does "equitable access" refer to equal partitioning between the Cities of Wilsonville and Tualatin---- or
 - Does "equitable access" refer to public access to private land?
 - Will "Natural Areas" be preserved and not developed?
 - Are large <u>un-fragmented</u> Natural Areas <u>which current wildlife requires</u> for their existence- being included as "community amenities and assets" – as stated in Principle #7?
 - How much loss of <u>local Significant Natural Resources</u> including wetlands and known High Quality Natural Wildlife Habitat will the Council allow to be purchased in remote counties to mitigate and offset local land infill and construction resulting from changes in zoning land use in this unique area.

The Council has been given an opportunity to create a plan which can incorporate residential needs along with the need for employment opportunities while still respecting the homes and neighborhoods of existing families.

A distinct part of this planning should also include preservation of areas which are known to be unique Significant Natural Resources – including un-fragmented Natural Areas large enough to maintain and preserve existing wildlife. If this is not done it will be an opportunity forever missed by future generations.

Please be clear in the directions given to project staff as they further develop the Guiding Principles in conjunction with the City of Wilsonville ---as to the implications created by the Guiding Principles and the long term impact upon various parts of the Basalt Creek Area.

Thank you for your time and consideration.

I hope I will hear further discussion and clarification on the points I presented.

Respectfully submitted,

Grace Lucini



OFFICIAL MINUTES OF THE TUALATIN CITY COUNCIL MEETING FOR AUGUST 25, 2014

Present: Mayor Lou Ogden; Council President Monique Beikman; Councilor Wade Brooksby;

Councilor Frank Bubenik; Councilor Joelle Davis; Councilor Nancy Grimes; Councilor

Ed Truax

Staff Present: City Manager Sherilyn Lombos; City Attorney Sean Brady; Community Services Director Paul Hennon; Deputy City Manager Sara Singer; Deputy City Recorder

Nicole Morris; Information Services Manager Lance Harris; Police Captain Larry

Braaksma; Assistant City Manager Alice Cannon

A. CALL TO ORDER

Pledge of Allegiance

Mayor Ogden called the meeting to order at 7:02 p.m.

B. ANNOUNCEMENTS

New Employee Introduction: Zoe Monahan, Management Analyst

Assistant City Manager Alice Cannon introduced Management Analyst Zoe Monahan. The Council welcomed her.

2. New Employee Introduction: Rich Mueller, Park & Recreation Manager

Community Services Director Paul Hennon introduced Park and Recreation Manager Rich Mueller. The Council welcomed him.

Tualatin Riverpark Greenway Gap Project Update

Community Services Director Paul Hennon announced the grant award of \$1.585 million from the Connect Oregon V grant for the completion of the Tualatin River Greenway project. More information on the grant acceptance and the project will presented at a future Council work session.

C. CITIZEN COMMENTS

This section of the agenda allows anyone to address the Council regarding any issue not on the agenda, or to request to have an item removed from the consent agenda. The duration for each individual speaking is limited to 3 minutes. Matters requiring further investigation or detailed answers will be referred to City staff for follow-up and report at a future meeting.

Tualatin Chamber of Commerce Director Linda Moholt spoke on behalf of C&E Rentals regarding overgrown vegetation at the corner of Tualatin-Sherwood Road and Teton Avenue. She stated the vegetation in the area is unsightly to have located in front of their business. Assistant City Manager Alice Cannon stated staff has been in contact with the company and they are working towards a resolution.

Tualatin Historical Society Member Larry McClure announced the 4th Annual Wine Tasting Auction to be held at the Tualatin Heritage Center on September 12. He invited all citizens to attend.

Gordon Rute presented issues regarding the Basalt Creek area. He spoke to the lack of buildable residential development in Tualatin and concerns with water, sewer and stormwater service to the area.

D. CONSENT AGENDA

The Consent Agenda will be enacted with one vote. The Mayor will ask Councilors if there is anyone who wishes to remove any item from the Consent Agenda for discussion and consideration. If you wish to request an item to be removed from the consent agenda you should do so during the Citizen Comment section of the agenda. The matters removed from the Consent Agenda will be considered individually at the end of this Agenda under, Items Removed from the Consent Agenda. The entire Consent Agenda, with the exception of items removed from the Consent Agenda to be discussed, is then voted upon by roll call under one motion.

MOTION by Council President Monique Beikman, SECONDED by Councilor Nancy Grimes to approve the consent agenda.

Vote: 7 - 0 MOTION CARRIED

- 1. Consideration of Approval of the Minutes for the City Council Work Session and Regular Meeting of July 28, 2014
- 2. Consideration of an Updated Washington County Master Interagency Teams Intergovernmental Agreement
- 3. Consideration of Approval of a New Liquor License Application for The Growler Guys
- 4. Consideration of Approval of a New Liquor License Application for New Seasons Market Nyberg Rivers

E. ITEMS REMOVED FROM CONSENT AGENDA

Items removed from the Consent Agenda will be discussed individually at this time. The Mayor may impose a time limit on speakers addressing these issues.

F. COMMUNICATIONS FROM COUNCILORS

Councilor Bubenik participated in the Tualatin Riverkeepers Paddle Event this past weekend. He encouraged everyone to participate next year.

G. ADJOURNMENT

Mayor Ogden adjourned the meeting at 7:30 p.m.

Sherilyn Lombos, City Manager	
Mcole Woons	_ / Nicole Morris, Recording Secretary
	_ / Lou Ogden, Mayor

From: G Lucini

To: COUNCIL; Lou Ogden; Monique Beikman; Wade Brooksby; Frank Bubenik; Ed Truax; Joelle Davis; Nancy Grimes

Cc: <u>Cindy Hahn; Aquilla Hurd-Ravich</u>

Subject: Letter for Public Record- Basalt Creek Concept Planning Process- Tualatin City Council

Date: Sunday, December 07, 2014 6:52:09 PM

Attachments: 2014 12-7Letter Tualatin Wilsonville -Councils- Planning Com Dec 2014.pdf

I would appreciate your consideration of the information contained in the attached PDF file.

The comments relate to the Basalt Creek Concept Planning process and the Public Meeting presentations to the Tualatin City Council on November 24 and on December 2, 2014.

I request the contents of the file become part of the Public Record for the Basalt Creek Joint Cities Public Meeting which was held on December 2, 2014.

Regards,

Grace Lucini 503 692 9890

GRACE LUCINI

23677 SW Boones Ferry Road Tualatin, Oregon 97062

December 7, 2014

To:

<u>All Tualatin City Council Members and Wilsonville City Council Members</u> -Joint Cities Basalt Creek Concept Planning Meeting -Meeting December 2, 2014

<u>All Wilsonville Planning Commission Members</u> -Commission Meeting -**December 10, 2014** <u>All Tualatin Planning Commission Members</u> -Commission Meeting - **December 18, 2014**

Re: Basalt Creek Area Concept Planning

Please Include this communication as part of the public record for the Basalt Creek Area Concept Planning-- to be associated with the Public Meetings listed above.

I have been observing the Basalt Creek Concept Planning process. Several unaddressed issues become apparent as the Basalt Creek Area Base Case Scenario is presented. These issues are created when the comments and presentations on the concept planning process are compared to the stated intent of Metro Ordinance 04-1040B----which is the basis for the entire concept planning process.

Unaddressed issues are:

- 1. The entire Basalt Creek Concept Planning process is based upon the current designated location of the East West Connector
- 2. The utility, safety, feasibility, and cost of the East-West Connector has not been established due to the lack of the appropriate level of due diligence
- 3. Due to lack of appropriate level of due diligence, if the location or design of the East-West Connector needs to be revised-planning based upon the current location will be of questionable use---- at the expense of the taxpayers.
- 4. Current presentations on conceptual planning for the Basalt Creek Area do not appear to conform to statements which are specific to the future development of the Tualatin Study Area within Metro Ordinance 04-1040B, which is the basis and authorizing tool for the Basalt Creek planning process.
- 5. The Base Case presentation the first of three alternative scenarios to be presented for consideration-includes road and infrastructure detail which will need to accommodate the stated primary purpose of the 124th-East West Connector which is to have limited local access /cross traffic to increase the volume and flow of regional freight traffic from Highway 99 to Interstate 5 unless overpasses are constructed for local roads across the 5-6 lane 6% grade East-West Connector –adding significant design and construction costs.
- 6. The Base Case Scenario presentation provides an extremely high level magnitude discrepancy factor for anticipated cost factors on construction through known masses of large basalt rock formations and mountain

ridges and steep grades. Topographical maps and onsite inspection of the location of the proposed concept plan (as presented) - easily suggests cost factors will weigh significantly towards the upper end of construction costs.

An update on the Basalt Creek Concept Planning Project is being presented on the progress on the staff and consultants' findings and to present their Base Case primary Base Case scenario for Concept Planning. Two additional scenarios are to be developed within the next month based upon the feedback provided by the City Councils, and their respective Planning Commissions.

When Metro authorized the process of the concept planning for the Basalt Creek Area in 2004, Metro Ordnance 04-1040B included remarks specific to the Basalt Creek Concept Planning process including:

- Establishment of a Highway 99-I-5 Regional Freight Transportation Connection
- Utilizing the Connection as a basis for jurisdictional boundaries
- Zoning on the north side of the Connector to be "Outside Residential Neighborhoods"
- Zoning on the south side of the Connector to be "Industrial"
- Acknowledged and Identified over ½ of the acreage within the Tualatin Study area and the Coffee Creek Study
 area was not conducive for Industrial Development
- And provided for the Evaluation and Protection of the Natural Resources within the Basalt Creek Area as part of the process

METRO ORDINANCE 04-1040B

II. Specific Findings for Particular Areas Added To UGB in Task 2 Remand Decision - Metro Ordinance 04-1040B

E. Tualatin

"The City of Tualatin and many residents of the area expressed concern about compatibility between industrial use and residential neighborhoods at the south end of the city. They have also worried about preserving an opportunity to choose an alignment between Tualatin and Wilsonville for the I-5/99WConnector; the south alignment for this facility passes through the northern portion of the Tualatin Study Area."

"In response to these concerns, the Council placed several conditions upon addition of this area to the UGB. First, the Council extended the normal time for Title 11 planning for the area: two years following the identification of a final alignment for the Connector, or seven years after the effective date of Ordinance No. 04-1040B, whichever comes sooner. This allows Title 11 planning by Washington County, the cities of Tualatin and Wilsonville and Metro to accommodate planning for the Connector alignment. "

"Second, the Council states that, so long as the alignment for the Connector falls close to the South Alignment shown on the 2040 Growth Concept Map, it will serve as the buffer between residential development to the north (the portion least suitable for industrial uses) and industrial development to the south (the portion of the area most suitable for industrial use)"

II. SPECIFIC CONDITIONS FOR PARTICULAR AREAS - Metro Ordinance 04-1040B

C. Tualatin Area

"Washington County or, upon annexation to the Cities of Tualatin or Wilsonville, the cities, in conjunction with Metro, shall complete Title 11 planning within two years following the selection of the right-of-way alignment for

the I-5/99W Connector, or within seven years of the effective date of Ordinance No. 04-1040, whichever occurs earlier.

Title 11 planning shall incorporate the general location of the projected right of way alignment for the I-5/99W connector and the Tonquin Trail as shown on the 2004 Regional Transportation Plan. If the selected right-of-way for the connector follows the approximate course of the "South Alignment," as shown on the Region 2040 Growth Concept Map, as amended by Ordinance No. 03-1014, October 15, 2003, the portion of the Tualatin Area that lies north of the right-of-way shall be designated "Outer Neighborhood" on the Growth Concept Map; the portion that lies south shall be designated "Industrial."

The governments responsible for Title 11 planning shall consider using the I-5/99W connector as a boundary between the city limits of the City of Tualatin and the City of Wilsonville in this area."

Staff Report Suitability for Industrial Development- Metro Ordinance 04-1040B

Table 2. Chief Operating Officer's Recommendation

				SUITABILITY FACTORS		
EXPANSION AREAS	Total	Net	Dominant	Access	Proximity	Slope
	Acres	Acres	Earthquake Zone ⁴			less 10%
Damascus West	102	69	D	~	✓	~
Tualatin (MPAC-partial)	646	339	D	✓	✓	~
Quarry (partial)	354	236	D	✓	✓	~
Borland Rd N. (partial)	575	164	A	✓	✓	~
Beavercreek. (partial)	63	30	D		✓	✓
Coffee Creek (partial)	264	97	D	✓	✓	✓

(Indicates approximately ½ of the Tualatin Study Area and less than ½ of the Coffee Creek Study Area was appropriate and/or anticipated to be Industrial Development)

Condition IG of Exhibit F - Metro Ordinance 04-1040B

"Requires the county or city to consider Metro's inventory of Goal 5 resources in their application of Goal 5 to the Tualatin Study Area. Title 3 (Water Quality, Flood Management and Fish and Wildlife Conservation) of the UGMFP requires the county or city to protect water quality and floodplains in the area. Title 11 of the UGMFP, section 3.07.1120G, requires the county or city to protect fish and wildlife habitat and water quality."

Entire Concept Planning process based upon location on East West Connector

It has been stated the location of the East West Connector as adopted by the Basalt Creek Concept Planning PAG Group in December 2012, and then adopted by Washington County Ordinance 767 in 2013, is to be incorporated and included as an existing factor within the Basalt Creek Concept Plan.

This is an important factor, as the East-West Connector is geographically located in the middle of the Basalt Creek Area, and includes a bridge which will tower approximately 100 feet into the air at the eastern end where it is anticipated the width of the bridge will be 5-6 lanes wide (to make accommodations for slow acceleration of freight trucks due to the steep grade).

(Please see attached Preliminary Design for East West Connector including topographical cross-section)

- A. It should be noted, the 124th East West connector does <u>not</u> in fact terminate at Interstate 5, nor do plans include any direct connection onto Interstate 5. All of the Interstate 5 regional freight traffic will be directed onto surface arterials and collectors which will then feed into an already compromised Elligsen/ Interstate-5 Interchange, competing with other local commercial and residential traffic.
- B. Preliminary design of the East West Connector indicates cut and fill of large amounts of land in order to achieve a minimum 6% road grade for regional freight traffic (which is within Washington County standards, but exceeds Federal Highway recommendations for design of highways for freight traffic).
- C. Preliminary design of the East West Connector indicates the East West Connector requires traffic stop lights at the top and bottom of a 6% grade bridge --- a known significant factor which will decrease speed and flow of freight traffic through the intersections and surrounding area.
- D. The steep expressway grade of the East West Connector will significantly and negatively impact local traffic when the 6% grade bridge over the wetlands becomes icy and the East-West Connector becomes slick and unsafe. Due to the above and below ground-level design of the East-West Connector (road cut and lengthy 100 foot bridge elevation); timely emergency vehicle access to attend accidents will be reduced due to limited access roads or off road access.
- E. The 6% grade of the Connector exceeds Federal ADA Recommendations may limit multimodality use of the East West Connector which is contrary to the current emphasis of State, Regional and local transportation goals. Design changes to accommodate ADA recommendations may increase design and construction costs which were not included during East-West Connector location discussions.
- F. Due to the need to cut and fill large amounts of land to construct the East-West Connector (which may also include an additional cross traffic proposed local road) in this area of known and identified wetlands, high value riparian, and high value uplands habitat---- Have the appropriate State and Federal agencies been consulted and these projects properly vetted as to impact on known wetlands and Significant Natural Resources identified within Goal 5, 3 and 13 standards?
- G. Was the <u>specific location</u> and design of the East-West Connector as identified in Washington County Ordinance 767 reviewed or vetted by those agencies responsible for protection of local, state and federal natural resources- as addressed in Metro 04- 1040B.

If the appropriate reviews by the appropriate State and Federal agencies was not done during and as part of the Tualatin –Wilsonville IGA and/or PAG evaluation process (as to the <u>specific location and design of the East West Connector within the Basalt Creek Area</u>) and its impact upon identified Significant Natural Resources has not been determined— it is not known if the present location of the Connector will require changes in location or design to comply with water quality standards or other environmental constraints.

If there are additional design features which are needed to reduce the 6% grade of the East-West Connector, or significant bridge design accommodations needed to increase multi-modal use- the ability and cost to achieve these changes---this information needs to be identified and included in the Concept Planning process for purpose of funding and to ensure compatibility with future planning.

Has the integrity and stability of the one basalt rock formation within the known wetlands upon which Washington County plans to use as the center footing for large 5-6 lane regional freight bridge ---has the appropriate level of due diligence been done to determine its feasibility for its intended use?

It seems appropriate these basic feasibility issues should be addressed and resolved immediately if the entire concept design process for the Basalt Creek Area revolves upon the viability of the <u>specific location of this 5-6 lane connector and bridge</u> before any concept scenario is presented for evaluation to the Cities or public.

Based upon the above, the design and location of the East-West Connector seems extremely counter intuitive for an expressway whose main purpose is to increase the flow of regional freight through this area- especially when other alternative scenarios did not pose such problems.

Spending time, effort and costs in concept planning based upon the location of the East-West Connector when appropriate feasibility studies specific to the connector's planned location may not have been obtained ---may be a significant oversight in the planning process. This may eventually cause a significant and unnecessary expense to taxpayers and may cause an unnecessary delay in resolution and implementation of the plan--- should the present location of the East West Connector be deemed inappropriate for construction.

Boundary and Zoning Issues

- 1. Comments continue to be raised regarding the utilization of the East-West Connector as a basis for jurisdictional boundaries (as suggested in Metro Ordinance 04-1040B)--due to concerns about different types of zoning on the north and south sides of the Connector.
 - If the current location of the East-West Connector remains as indicated- a significant portion bisects land with known wetlands, and Significant Natural Resources which pose constraints upon development limiting development on approximately ½ of either side of the East-West Connector. And, due to the topography of the area, the eastern bridge portion of the East West Connector is anticipated to rise 100 feet above the ground. Consequently there will not be development at face to face street level on a large portion of the East-West Connector. Both of these issues should ease some concerns expressed about driving along the East West Connector and seeing different types of development abutting the expressway at street level and should be able to remove this concern as a limiting factor in the decision making process.
- 2. Those preparing concept zoning plans within the Basalt Creek Area should be cognizant and respectful of the numerous existing homes and neighborhoods which were built under the zoning, the laws and the regulations in place at time. It is these people and families who will bear significant impact by changes in governance or zoning implemented by this process. It is again important to recognize the residents and property owners within the Basalt Creek Area have no elected representation within the Basalt Creek Concept Planning process.

Issues which should be addressed regarding the proposed Basalt Creek Base Case Scenario:

If the entire basis of the 124th East-West Connector is predicated on increasing the flow of Regional Freight Traffic from Highway 99 to Interstate 5 –in part by limiting the number of local access points interrupting the speed and flow of truck

traffic—then questions should be asked regarding the Base Case Scenario proposing a local road which intersect the East-West Connector and not included within the preliminary design plan for the East West Connector

- -What type of traffic control is intended at the intersection of the 5 lane East-West Connector and the Base Case proposed local road which runs north and south parallel and between SW Boones Ferry Road and SW Grahams Ferry Road (as identified in the December 2014 Basalt Creek Concept Plan Base Case Scenario)?
- is a less expensive traffic light sufficient to meet the local traffic needs without significantly interrupting truck eastwest truck traffic (which is estimated by Washington County Staff will be twice the volume of current Tualatin Sherwood Highway traffic)?
- -will an overpass/s be required for proposed local north south roads, and
- -who will pay for significant design and construction upgrade improvements to the East-West Connector plans, as well as the additional design & construction costs for the local road for any overpass across the 6% grade 5-6 lane Expressway through undulating topography?

Please see the attached topographical map —Indicating the approximate locations of the East-West Connector and the proposed Base Case north-south local road which intersects the Connector in the middle of a steep ridge.

A Recommendation for future Basalt Creek Concept Planning discussions and presentations:

As the topography of this area presents important constraints to the entire concept planning due to an extremely wide range of topographical features including steep grades and natural wetlands, it seems reasonable future concept plans should be presented with topographical overlays when making presentations to city officials and to the public-- to provide greater understanding and visual conceptualization of this complex project.

I appreciate your consideration of these issues when you forward your comments, recommendations or suggestions to the Basalt Creek Concept Planning staff and consultants as they make their revisions and create the next- and last- two alternative scenarios to be presented in February 2015.

Respectfully submitted,

Grace Lucini

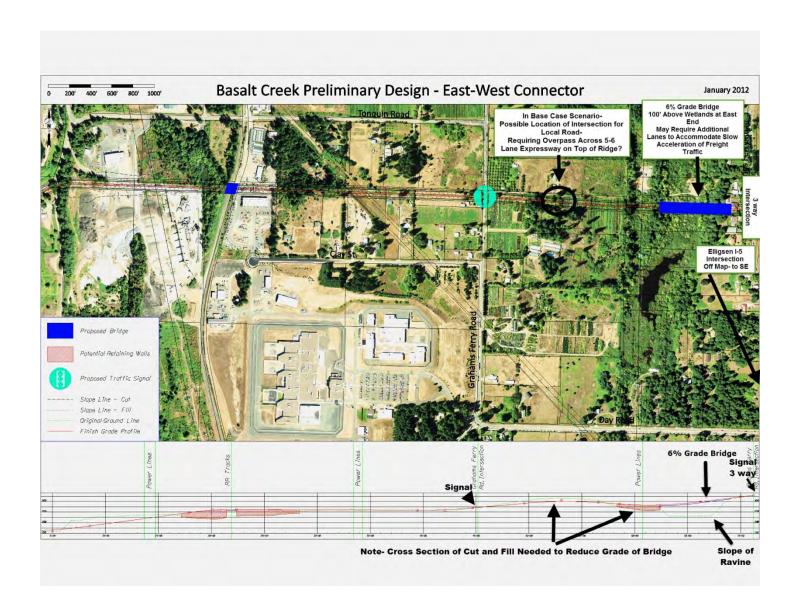
Attachments:

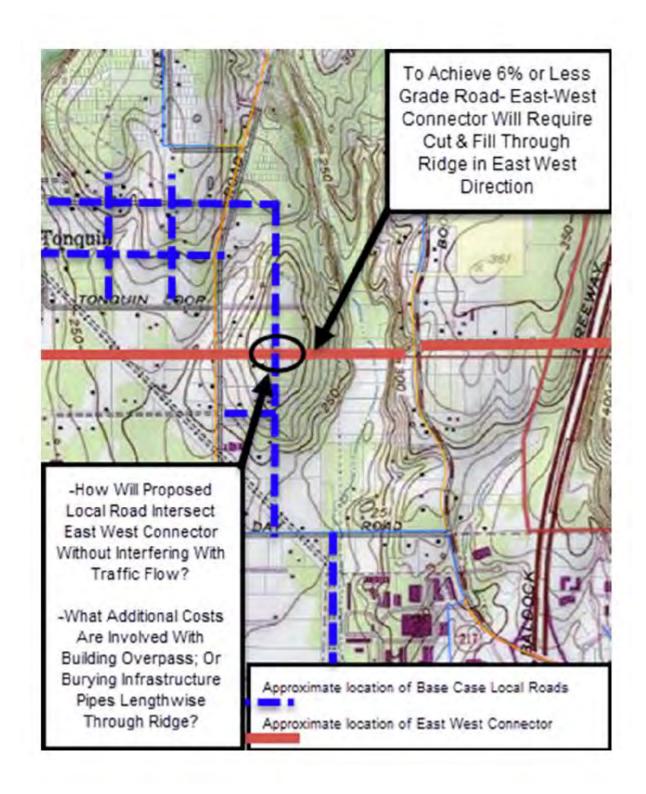
Preliminary Design for East West Connector-Washington County
Topographical Map East West Connector with Base Case Local Road Overlay

CC: Cindy Hahn, City of Tualatin

Aquilla Hurd-Ravich, City of Tualatin

Chris Neamtzu, City of Wilsonville







Attachment H2:

Public Comment Record 2015



From: G. Lucini

To: Councilor Susie Stevens; Councilor Charlotte Lehan; Councilor Julie Fitzgerald; Councilor Starr Scott;

Knapp@ci.wilsonville.or.us

Cc: council@ci.wilsonville.or.us; Bateschell, Miranda; JoelleDavis; Cindy Hahn

Subject: PLEASE INCLUDE AS PART OF PUBLIC RECORD -Basalt Creek and Compliance with ADA within Public ROW and

Public Trails-- for City of Wilsonville Council Work Session 4-20-15

Date: Friday, April 17, 2015 6:11:45 PM

Attachments: 2015-04-16 Proposed Basalt Creek Trail Map Comments.pdf

As residents of the Basalt Creek Area, and without elected representation within the decision making Basalt Creek Concept Planning IGA, we request the City Council of Wilsonville to take into consideration the following information when the Council convenes on April 20, 2015.

During the Council Work Session on 4-20-15, information will be presented on Basalt Creek Concept Planning – as well as on Wilsonville's' ADA Transition Plan. It is somewhat ironic and yet helpful that information on both of these issues will be presented during the same Council Work Session.

1. GRAHAMS FERRY ROAD- BOONES FERRY ROAD CONNECTOR-

The issue of the grade on proposed East West Connector between Grahams Ferry Road and SW Boones Ferry Road has been brought to the Council previously, but should be brought to the Council's attention again.

- The current design of the Connector will be approximately 1/2 of a mile in length and includes a bridge which will be 100 feet above ground at the east end. According to the presentation by Washington County Engineer Russell Knoeble at the Tualatin City Council Work Session on 4-13-15, the County is attempting to "not exceed a 6% grade on this bridge" by raising the level of the proposed intersection at Grahams Ferry Road and the planned Boones Ferry Connector.
- While implementing the goal of increasing the flow and volume of regional freight traffic through this specific location, what protections will be provided to pedestrians and bicyclists from this planned regional freight traffic- on the bridge and at the intersections at the top and the bottom of the 6% grade?
- What was not discussed during the Tualatin Council 4-13-15 meeting was the additional costs involved to build the bridge (which is part of the public ROW system) to be ADA compliant considering the anticipated 6% grade.
- These issues are in addition to other grade and safety issues for a bridge constructed over wetlands; a bridge which will be more prone to freezing and ice than the surrounding surface streets; and a design/location problem which will delay timely emergency services response due to the height of the bridge and the two limited street access point along the 124th –Boones Ferry Expressway.
- Knowledgeable truckers will not voluntarily use routes which slow their speed (i.e. a 6% grade with intersections at the top and bottom) or which increase fuel costs (i.e. accelerating up a 6% grade) when other local options are available.
- The current plan will continue to increase the flow and volume of regional freight traffic along SW Boones Ferry Road to the intersections at Day Road and the I-5 Interchange all the way up until the year 2035- and only when the Frobase Road Overcrossing is authorized, and issues surrounding the UBG in the area, are resolved.
- All of these factors again question the feasibility and utility of the planned location of the Grahams Ferry –Boones Ferry Connector as a regional freight route for year round use.
- Yet, all efforts of the current Concept Planning for the Basalt Creek Area are all
 predicated on the location of the East West Connector as currently planned. Should

the location of the bridge be found to be inappropriate due to wetland instability, negative impact upon significant natural resources and wetland /water quality, increased safety issues, lack of AGA compliance, or lack of use by knowledgeable truckers due to increased fuel costs and increased then the time, effort and taxpayer expense of most of the current concept planning will have been wasted.

2. APPARENT LACK OF THE APPROPRIATE DUE DILIGENCE AND THE INTEGRATION OF THIS INFORMATION DURING THE DEVELOPMENT AND PRESENTATION PHASE OF PROPOSED SCENARIOS

At the Wilsonville Council Work Session on 4-20-15, information on the current concept planning will be provided.

Maps which are included within the informational packet include proposed suggestions which are contrary to normal construction practice or not in compliance with local or Federal laws.

- o <u>Sanitary System Map places CWS line across multiple privately owned properties</u> without ROW access available by road.
 - On page 158 "Attachment B Sanitary System Alternative Maps: BASE CASE," indicates a proposed CWS Service System west of SW Boones Ferry Road and running in a North-South direction.
 - The location of the southern portion of this proposed line is not along a current or proposed future street and through the middle of several privately owned lots--which makes obtaining ROW, access, and maintenance of the line extremely problematic and therefore outside the usual and customary placement.
 - The location of the southern portion of this proposed line is either through the existing wetlands, through a basalt cliff, through our home, or through our septic drain field/ or reserve drain field.
 - All of these are previously known limiting factors which are problematic in placing this CWS line in the location as indicated on the map on page 158.
- o <u>Public Trail Included in Basalt Creek Concept Planning Maps-Through Numerous</u>
 <u>Parcels Of Privately Owned Property.</u>

Maps on pages 157, 159, 160, and 161 indicate a proposed public trail west of SW Boones Ferry Road which fragments our property as well as several other property owners. The proposed public trail runs north along the wetlands and into our backyard. The public trail then turns east through our barn and either through our home (or next to our home) and then up our driveway to connect to SW Boones Ferry Road.

(Please see the attached PDF file which provides a copy of the proposed public trail through the wetlands and up, into and through a significant portion of our homestead and property. This map was obtained from the City of Wilsonville City Council Work Session Information Packet 4-20-15, page 161 "Attachment B. Sanitary System-Alternatives Maps: Hybrid")

- Our driveway rises approximately 100 feet to reach Boones Ferry Road within approximately a 300 foot span---- with grades reaching 10-20%.
- This grade would cause the trail to exceed Federal ADA Standards- as well as Wilsonville's own ADA Transition Plan for public trails.
- Costs to come into ADA compliance would need to be critically evaluated due

- to the constraints of the topography.
- The driveway where to proposed trail is located- is the only vehicular access to our home. Because of the topography, there is limited room for expansion on either side of the driveway to accommodate a public trail as well as vehicles.
- The proposed trail also limits free access to a large section of our property in addition to removing our use and the enjoyment of our home and all our property.
- There are also obvious trespassing issues with the proposed location of the trail through our property and other privately owned lots.
- o Are the Cities of Wilsonville and Tualatin as part of the Basalt Creek Concept Planning IGA proposing to purchase our home (in good condition and built in 2002) and all of our property of 4.8 acers?
 - Is any funding available to be utilized for the purchase- with a reasonable belief that funding will be readily available for such a purchase?
 - If so, what timeframe would this purchase be envisioned?
 - Would it be reasonable and respectful to discuss a proposal of this nature with a property owner prior to public distribution of plans which significantly impact their property?

3. INCONSISTENT APPLICATION OF MAJOR DESIGN/PLANNING PRINCIPLES.

It has been stated by project staff members- A primary determination in the selection of the present location of the east-west connector over the hybrid alternative was due to the fewer number of property owners affected and need to obtain fewer numbers of ROW.

- o Yet, as evidenced by the Base Case Scenario Maps, and the various maps contained within the Wilsonville City Council Informational Packet for Council Meeting 4-20-15- there appears to be a total disregard to the number of property owners impacted by the location of various pipe lines and/or other public infrastructure and trails fragmenting private property.
- Due to the planned location of the East-West Connector an entire neighborhood/residential development will be destroyed at the proposed intersection of the East West Connector and Boones Ferry Road- without apparent concern for the property owners involved.

While we realize the concept planning process is still developing alternative scenarios-interim maps which are placed within the public domain and disseminated can have significant negative impact upon property owners- even if the proposed plans are not adopted.

The Basalt Creek Area consists of over 800 acers. Therefore planning for the area will affect many property owners. Out of consideration and respect for the many local property owners we are requesting the development and drafting of plans be reviewed for reasonable feasibility, and evaluated for known limitations--- prior to moving to a formal public presentation to prevent undue hardship on local property owners.

We have already been affected by other Basalt Creek Planning projects, and are very interested in seeing that property owners within the Basalt Creek Area are not subjected to impractical or unfeasible public presentation of plans and/or maps which may then inadvertently cause undue negative financial impact upon the property owners (i.e. clouding the property title, limiting salability of property due to potential public use etc.)

4. WOULD THIS BE AN APPROPRIATE TIME TO LOOK FORWARD AND INTEGRATE WITH OTHER NEWLY DEVELOPING MAJOR PUBLIC WORKS PROJECTS WHICH ARE BEING PLANNED WITHIN THE AREA?

- o The location and route of the Willamette Water Supply Program Pipeline from Wilsonville to Hillsboro and Beaverton was not yet identified when the East-West Connector was voted upon in December 2012.
- o Tualatin City Council Member Joelle Davis suggested at their 4-13-15 City Council Work Session that a consideration be given for placing the regional freight connection between 124th towards Interstate 5 along the same route as the Willamette Water Supply Program Pipeline---- at a cost savings which affects fewer residential properties. This location would also eliminate the need to construct a 6% grade bridge through known significant natural resources and wetlands and associated problems.

After the informational packet for the Wilsonville Council Meeting of 4-20-15 was posted on Tuesday 4-14-15 we submitted our concerns after business hours on 4-16-15, to the Wilsonville project manager for Basalt Creek Concept Planning, but have not yet received a response.

We are asking those who are involved in proposing various scenarios to come to our home to see first-hand the significant changes in topography of the area west of Boones Ferry Road and of the wetlands.

The ability to see the large basalt cliffs and steep slopes on the north end of the ravine (including our property) may help in the development of realistic and feasible alternatives.

We are yet again inviting the City Councilors to also do a site visit – that they may also understand the unique natural constraints within this specific section of the Basalt Creek Area. These constraints are difficult to visualize on a 2 dimensional map and cannot be seen from Boones Ferry Road above.

Respectfully submitted,

John and Grace Lucini 23677 SW Boones Ferry Road Tualatin, OR 97062 503 692 9890 From: G. Lucini

To: Knapp@ci.wilsonville.or.us; Councilor Starr Scott; Councilor Julie Fitzgerald; Councilor Charlotte Lehan; Councilor

Susie Stevens; Lou Ogden; Monique Beikman; Nancy Grimes; Wade Brooksby; Joelle Davis; Frank Bubenik; Ed

Truax; Council; Sandra King, City Recorder

Cc: Alice Cannon; Cindy Hahn; Aquilla Hurd-Ravich; Chris Neamtzu; Karushaar, Nancy; Bateschell, Miranda

Subject: City Council Work Session-May 2015---Basalt Creek Land Use Scenarios-Impact on Property Owners West Side of

SW Boones Ferry Road

Date: Monday, June 15, 2015 1:47:56 PM

Attachments: 2015 6-15- Land Use Options- Impact SW Boones Ferry Property Owners.pdf

As the cities of Wilsonville and Tualatin discuss the two proposed Land Use Options for the Basalt Creek Concept Planning, as local property owners without elected representation within the decision making process, and who will be directly affected by this process- we wish to bring to your attention an important issue which may affect us and some other property owners along SW Boones Ferry Road.

We direct your attention to one of many differences ---between proposed Land Use Option 1 and Land Use Option 2.

Land Use Scenario for Option 1 provides a consistent land use of <u>Residential Neighborhood</u> for our home which is on a parcel of 4.81 acers.

- The proposed land use is consistent on both sides of the Basalt Creek Canyon
- Both the east and the west portions of our property is indicted as Residential Neighborhood
- The center portion of our property includes wetlands designation.

Land Use Scenario for Option 2 indicates two different land uses for our property in addition to the wetlands.

- The east end of our property as proposed in Option 2 is the same as for Option 1-Residential Neighborhood.
- The west end of our property in this scenario differs from Option 1, and changes the land use to Employment Transition and may also include a triangle of Neighborhood Residential.
- The center portion of our property remains designated as wetlands.

It is apparent in the development of Option 2 – use of existing parcel lot lines was not considered when creating this part of the land use scenario. Multiple land uses and/or the recommendation of arbitrary diagonal use lines within existing parcels----- places additional burdens on existing individual property owners.

Please see the attached copy of proposed maps for Option1 and Option 2 with identification of the issues and properties in discussion.

We would appreciate your consideration of these issues when evaluating land use options for the property owners on the west side of SW Boones Ferry Road.

Respectfully submitted, John and Grace Lucini 23677 SW Boones Ferry Road Tualatin, Oregon 97062 From: Herb Koss

To: <u>Aquilla Hurd-Ravich; Cindy Hahn; LouOgden; Lou.ogden@juno.com</u>

Subject: RE: Basalt Creek

Date: Wednesday, July 08, 2015 3:44:11 PM

Aquilla

Would it be helpful if I had a planner draw up some options for our land?

Herb

From: Aquilla Hurd-Ravich [mailto:AHURD-RAVICH@ci.tualatin.or.us]

Sent: Wednesday, July 08, 2015 9:48 AM

To: Herb Koss; Cindy Hahn; LouOgden; Lou.ogden@juno.com

Subject: RE: Basalt Creek

Dear Mr. Koss,

We appreciate you coming by yesterday to share your input on the future of your property. We will take these comments into consideration as we move forward.

Thank you,

Aguilla Hurd-Ravich, AICP

Planning Manager
City of Tualatin | Community Development Department
503.691.3028 | www.tualatinoregon.gov.

From: Herb Koss [mailto:herb@kossred.com]
Sent: Wednesday, July 08, 2015 7:38 AM

To: Aquilla Hurd-Ravich; Cindy Hahn; LouOgden; Lou.ogden@juno.com

Subject: FW: Basalt Creek

Dear Cindy and Aquilla

Thank you for taking your time to meet with me today. First of all I sincerely hope that the land that my LLC owns is annexed into Tualatin vs Wilsonville. As I pointed out the 10 acres that our LLC owns is the corner of 124^{th} and Grahams Ferry (the north east corner). I have highlighted it on the attached map. My preference would be a boundary a shown on Option 1 or a boundary that I would call option 3.

I have always thought that a natural boundary line would be 124th, however I have not taken into consideration the sewer service that may alter that desire.

I did drive by the proposed commercial site and looked at the grades. If the commercial was located on our property it would necessitate a cut . The one site next to Tonquin Road would need to be filled.

My personal desire is to have most of our land designated residential with the potential of our corner being commercial although a commercial designation is not important to me.

As we discussed I believe that with a parkway road (124^{th}) a higher density residential zone would be a good transition from 124^{th} and allow for a lower density as development occurs to the North. The commercial activity to the south of our land can be buffered with appropriate landscaping.

Is their time for me to have a planner draw up some more detailed plans for our 10 acres and how it would work in concert with the property to our north. I would be happy to do so if time permits.

Again thanks for meeting with me on such a short notice.

Sincerely Herb Koss

Herb Koss | Owner & Broker Koss Real Estate Development and Investment Co. 22400 Salamo Rd. Suite 106, West Linn, OR 97068 herb@kossred.com | (503)730-2431 From: Zander Prideaux
To: "Bateschell, Miranda"

Cc: <u>Cindy Hahn; molly.prideaux@gmail.com</u>

Subject: RE: Basalt Creek follow-up

Date: Wednesday, July 29, 2015 8:32:56 AM

Miranda,

Thank you for the update. I will do my best to participate in the upcoming meetings and open house. Time is always a factor in my level of participation. It is a constant challenge running my own business, raising our kids, and trying to enjoy some free time. So I am including a letter with my official request.

Please let me know if you have any questions.

Thanks,

Zander

503.702.2507

From: Bateschell, Miranda [mailto:bateschell@ci.wilsonville.or.us]

Sent: Tuesday, July 21, 2015 6:56 PM

To: zprideaux@gmail.com

Cc: 'Cindy Hahn'

Subject: Basalt Creek follow-up

Xander,

Nice chatting with you on the phone last Friday. Sorry it has taken a while to follow-up with you. As I mentioned, the two Councils moved for staff to revisit the proposed boundary and make some edits. We are currently in the process of conducting an alternative boundary and land use scenario based on that input, which will go back to another Joint Council meeting anticipated for September 8, 6-8pm, City of Wilsonville City Hall (keep in tune on the project page for any updates and materials: www.basaltcreek.com). I am currently scheduled to go to Wilsonville City Council work session on 8/17 in preparation for that Joint Council meeting. I will also be at the 8/12 Wilsonville Planning Commission meeting to provide an update on the overall project.

As I mentioned on the phone there was not a recording of the June Joint Council. However, in response to your questions about the boundary near Boones Ferry Road, the Tualatin City Council expressed significant interest in maintaining the residential parcels to the west of Boones Ferry Road as residential parcels, keeping that residential community whole. City of Wilsonville Councilors acknowledged that position. The next scenario will be presented at the upcoming meetings described above and will likely reflect this discussion with the residential parcels spanning across the Basalt Creek Canyon proposed to be designated as future City of Tualatin. However, this will be under further discussion by the Councils.

In terms of public participation and input: You are welcome to testify at any City Council or Planning Commission meeting under general business. You are also welcome to submit written testimony for us to provide to Council at either the upcoming work sessions or for the Joint Council meeting where Basalt Creek is on the agenda (you can submit written testimony to me or Cindy (cc:d). The other avenue, which I encourage, is to participate in the upcoming public open house. It is not scheduled yet but we anticipate it will occur late September or October and will be posted on the website and an e-mail notification sent.

Thank you again for your interest in the project. Let me know if I can answer any more questions.

Best regards, Miranda

Miranda Bateschell

Long Range Planning Manager
City of Wilsonville | Community Development Department
503-570-1581 | bateschell@ci.wilsonville.or.us

Basalt Creek Planning Area:

To whom it may concern,

I am writing for a request to reconsider the decision to include our property in the City of Tualatin jurisdiction.

If a map is studied closely you will notice a natural division in property type on our northern border. Most houses to the North of us have a very nice residential layout to them. Our property and the ones to the south are much more organic in nature. It is our preference that our property be included in the Wilsonville jurisdiction. We feel our property would not be conducive to residential, due to the geography and proximity to the road.

Also we have strived over the years to maintain a native landscape surrounding the wetland that dominates our lower property, and would like to see it maintained long into the future.

I welcome any feedback.

Sincerely,

Arthur and Molly Prideaux

24305 SW Boones Ferry Rd

Tualatin, Or 97062

503.702.2507

From: Herb Koss
To: Cindy Hahn

Cc: Aquilla Hurd-Ravich; Alice Cannon; Sherilyn Lombos; Bateschell, Miranda

Subject: RE: Basalt Creek

Date: Tuesday, August 04, 2015 10:39:24 AM

Cindy

Thank you for your email. I happened to run into Lou Ogden this am and he confirmed that I have some time on the actual zoning issues.

When we spoke yesterday I suggested that I provide a tour of Stafford along with a side trip to the land I own in

the Basalt Creek area. Most are probably very familiar with Basalt Creek, but not Stafford.

The County and Metro have now retained the services of a mediator to help resolve the remand on Stafford. As I

mentioned to you I think crossing the Tualatin River would offer some opportunities for more housing for employers

and their employees working in Tualatin, retirement communities, 55+ housing (single Level), etc.

Again I would like to know who would be interested in a Stafford Tour and a side trip to Grahams Ferry where

124th ends?

The Stafford tour takes 1.5 hours.

My time is fairly flexible.

Sincerely

Herb Koss 503 730 2431

From: Cindy Hahn [mailto:CHAHN@ci.tualatin.or.us]

Sent: Monday, August 03, 2015 5:07 PM

To: Herb Koss

Cc: Aquilla Hurd-Ravich; Alice Cannon; Sherilyn Lombos; Bateschell, Miranda

Subject: RE: Basalt Creek

Hi Herb,

As we discussed, I have copied Aquilla Hurd-Ravich, Planning Manager, and Alice Cannon, Assistant City Manager, on this email so they are aware that you called about Basalt Creek.

Aquilla's phone is 503-691-3028 and Alice's is 503-691-3018. If you arrange a site visit of your property as you discussed with Sherilyn Lombos, City Manager, either Aquilla or Alice may be interested in participating.

I have also copied Miranda Bateschell, Long Range Planning Manager, at the City of Wilsonville who is managing the Basalt Creek project on their end so she is aware of your interest.

Our City Council will receive a briefing on the latest alternative for a jurisdictional boundary and potential land uses at work session on August 24. The public is welcome to attend, however, Council does not take public comment during the meeting. Materials will post on the City website one week before the meeting (on August 17). Work session usually starts at 5:00 pm at the Juanita Pohl Center. Please check the agenda in advance to see if there is a change to the start time as occurs occasionally.

Thank you for your interest in this project and please let me know if I can be of further assistance.

Cindy

Cíndy Luxhoj Hahn, AICP

Associate Planner

City of Tualatin | Community Development Dept | Planning Division

Phone: 503-691-3029 | Email: chahn@ci.tualatin.or.us

From: Herb Koss [mailto:herb@kossred.com] Sent: Wednesday, July 08, 2015 3:44 PM

To: Aguilla Hurd-Ravich; Cindy Hahn; LouOgden; Lou.ogden@juno.com

Subject: RE: Basalt Creek

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Sent: Wednesday, July 08, 2015 9:48 AM

To: Herb Koss; Cindy Hahn; LouOqden; Lou.oqden@juno.com

Subject: RE: Basalt Creek

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Thank you,

Aquilla Hurd-Ravich, AICP

Planning Manager
City of Tualatin | Community Development Department
503.691.3028 | www.tualatinoregon.gov.

From: Herb Koss [mailto:herb@kossred.com]

Sent: Wednesday, July 08, 2015 7:38 AM

To: Aquilla Hurd-Ravich; Cindy Hahn; LouOgden; Lou.ogden@juno.com

Subject: FW: Basalt Creek

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Is their time for me to have a planner draw up some more detailed plans for our 10 acres and how it would work in concert with the property to our north. I would be happy to do so if time permits.

Again thanks for meeting with me on such a short notice.

Sincerely Herb Koss

Herb Koss | Owner & Broker Koss Real Estate Development and Investment Co. 22400 Salamo Rd. Suite 106, West Linn, OR 97068 herb@kossred.com | (503)730-2431 From: <u>Aquilla Hurd-Ravich</u>

To: Herb Koss; Cindy Hahn; LouOgden; Lou.ogden@juno.com; John Fregonese
Cc: Don & Barb Hanson (don.hanson@otak.com); Bateschell, Miranda

Subject: RE: Basalt Creek

Date: Friday, August 21, 2015 8:34:46 AM

Mr. Koss,

Thank you for forwarding this concept drawing and cross section. The Project Management Team will include your ideas with other public comment that will be presented to both Councils later this fall.

Thanks again,

Aquilla Hurd-Ravich, AICP

Planning Manager
City of Tualatin | Community Development Department
503.691.3028 | www.tualatinoregon.gov.

From: Herb Koss [mailto:herb@kossred.com] Sent: Wednesday, August 19, 2015 4:40 PM

To: Aquilla Hurd-Ravich; Cindy Hahn; LouOgden; Lou.ogden@juno.com; John Fregonese

Cc: Don & Barb Hanson (don.hanson@otak.com)

Subject: RE: Basalt Creek

Good Afternoon Aguilla, Cindy, Lou and John

After our meeting I decided to hire Otak to draw up a plan that I had described to tie into the Tualatin existing residential housing from 124th North.

Note that the power line corridor is now a lineal parkway that links to the existing proposed open space. This land is far better suited for housing since there is considerable slopes on some of the land that do not make light industrial very feasible.

I know this maybe a bit ahead of the zoning process, but I wanted to send this to you now so you had a better idea of my suggested plan.

The Multifamily is a good use across from the light industrial use shown south of 124th.

Please let me know if you have any questions or suggestions.

Sincerely

Herb Koss

PS: Otak may be making some small changes to the plan, but I wanted to get this to you asap.

From: Herb Koss

Sent: Wednesday, July 08, 2015 7:38 AM

To: 'ahurd-ravich@ci.tualatin.or.us'; chahn@ci.tualatin.or.us; Louogden@juno.com

Subject: FW: Basalt Creek

Dear Cindy and Aquilla

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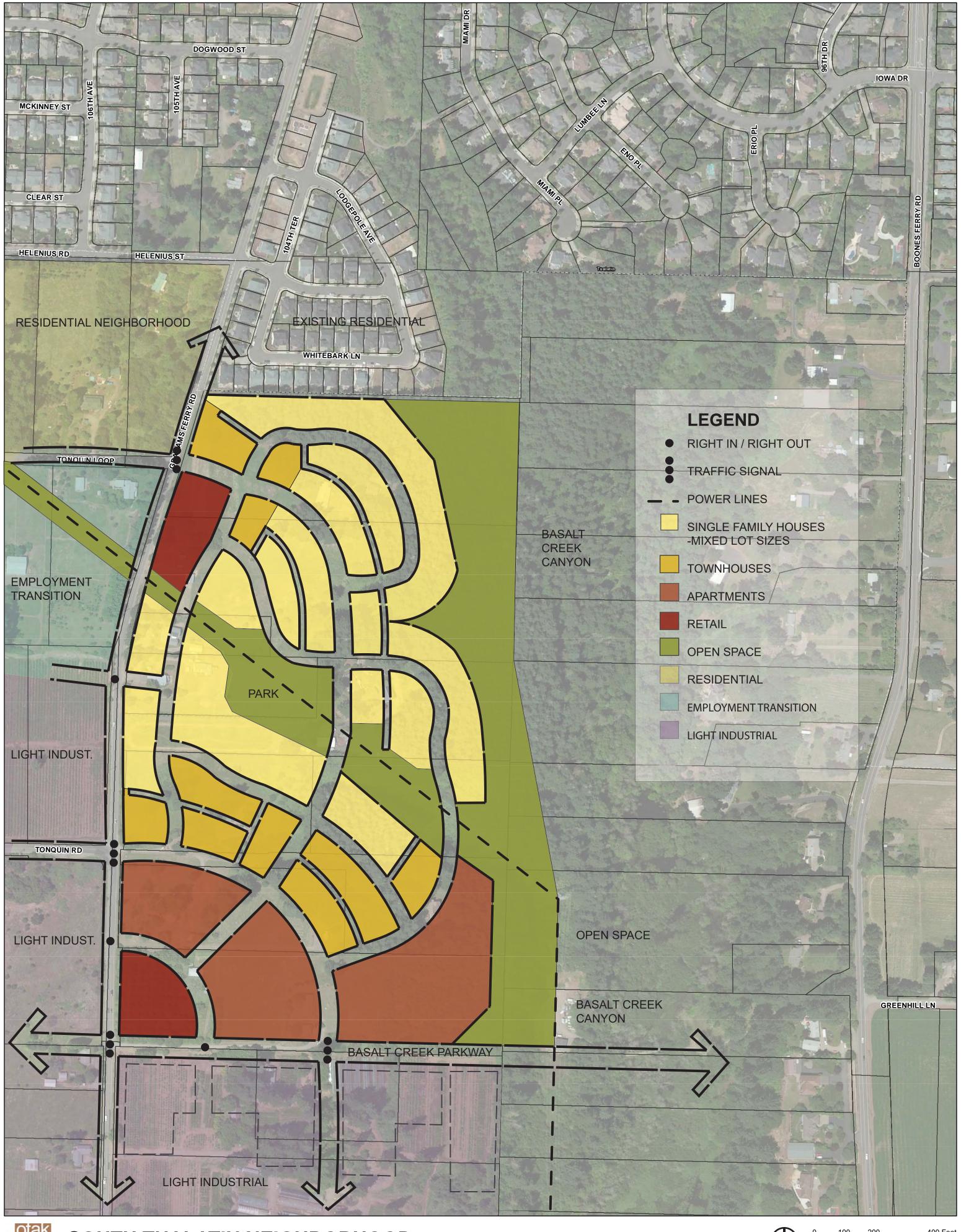
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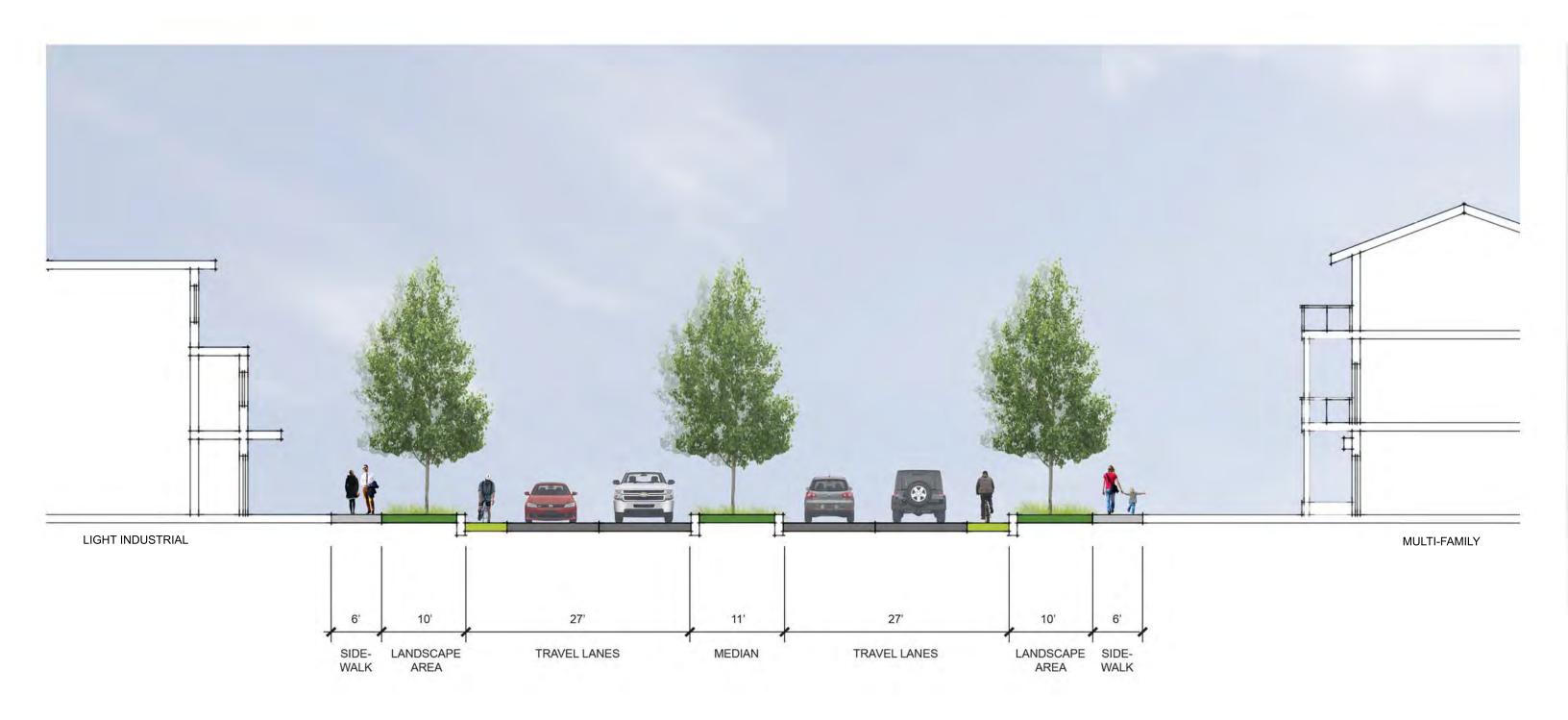
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Again thanks for meeting with me on such a short notice.

Sincerely Herb Koss

Herb Koss | Owner & Broker Koss Real Estate Development and Investment Co. 22400 Salamo Rd. Suite 106, West Linn, OR 97068 herb@kossred.com | (503)730-2431







From: <u>Bateschell, Miranda</u>
To: <u>Cindy Hahn</u>

Subject: FW: Follow up on Basalt Creek Concept Planning conversation- after Wilsonville Council WS 8-17-15

Date: Thursday, August 20, 2015 2:14:07 PM

fyi

Miranda Bateschell

Long Range Planning Manager
City of Wilsonville | Community Development Department
503-570-1581 | bateschell@ci.wilsonville.or.us

From: G. Lucini [mailto:grluci@gmail.com] Sent: Thursday, August 20, 2015 2:10 PM

To: Bateschell, Miranda

Subject: Re: Follow up on Basalt Creek Concept Planning conversation- after Wilsonville Council WS 8-

17-15

Thanks Miranda for your prompt reply. It is appreciated.

Looking forward to giving the public access and understanding of the information and dynamics which goes into the selection of the final option.

Grace

Sent from my iPhone

On Aug 20, 2015, at 1:47 PM, Bateschell, Miranda < bateschell@ci.wilsonville.or.us> wrote:

Ms. Lucini,

Thank you for your e-mail. I want you to know that Tualatin and Wilsonville staff are working with the consultant to have the right public meeting information posted on the website. We apologize for the oversight and understand the potential implications. The meetings are already posted on our individual city websites, but should be corrected on the project website very soon.

Thanks, Miranda

Miranda Bateschell

Long Range Planning Manager
City of Wilsonville | Community Development Department
503-570-1581 | bateschell@ci.wilsonville.or.us

From: G. Lucini [mailto:grluci@gmail.com]
Sent: Thursday, August 20, 2015 1:29 PM

To: Kraushaar, Nancy; Bateschell, Miranda; Cindy Hahn; Aquilla Hurd-Ravich

Cc: Sean Brady; Kohlhoff, Mike

Subject: Follow up on Basalt Creek Concept Planning conversation- after Wilsonville

Council WS 8-17-15

I'm following up on a conversation I had with Nancy and Miranda following the Wilsonville City Council Work Session on 8-17-15.

Part of our conversation centered upon the lack of notice of recent Public Meetings on Basalt Creek Concept Planning on its official website - <u>BasaltCreek.com</u>.

While actual notice was provided to some subscribed interested persons- General Public Notice via the official website for the project -has lacked posting of several important Public Meetings held by either Tualatin or Wilsonville in recent months. This omission of General Public Notice of Public Meetings on Basalt Creek Concept Planning on the official project website continues regarding future Public Meetings which have already been scheduled for concept planning.

According to the <u>BasaltCreek.com</u> website no Public Meetings on concept planning were scheduled for the month of August 2015 or September 2015.

Please see webshots of the three pages taken today (8-20-15) from <u>BasaltCreek.com</u> which are attached.

Absent are notices of recent Wilsonville City Planning Commission, Wilsonville City Council Work Session (which already occurred this month), Tualatin City Council Work Session (8-24-15), the Joint City Councils of Tualatin and Wilsonville Meeting (9-8-15); and the Tualatin City Planning Commission (9-10-15)— all which had/have Basalt Creek Concept Planning as an agenda item to be discussed.

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Since it is anticipated the selection of the recommended Concept Planning Option will be occurring within the months and voting by the City Councils will follow, it is increasingly important that the public have information on discussions and information exchanged on the decision making process by the governing bodies involved- as well as committees or commissions making recommendations to the governing bodies.

The Basalt Creek Concept Planning will affect over 800 acers- a very large geographical area. The ramifications of the concept planning will affect jurisdictional boundaries, and impact transportation and other significant governmental infrastructure with related impact on most taxpayers, and property owners.

As lack of appropriate Public Notice on Basalt Creek Concept Planning has been a concern of the past, and members of the Tualatin City Council have made assurances during City Council Meetings that the public would be notified of Public Meetings on the Concept Planning for Basalt Creek, I am requesting every effort be made to comply and exceed minimum requirements for Public Notice on Basalt Creek Concept Planning.

I hope these oversights or perhaps technical problems on the <u>BasaltCreek.com</u> website will be corrected as soon as possible- recognizing another Public Meeting on Basalt Creek Concept Planning is scheduled for the Tualatin City Council Work Session on Monday August 24, 2015.

Regards, Grace Lucini



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Get Involved

We value and encourage your input. Public involvement opportunities will be posted on the calendar of events below. You can also sign up to receive updates and meeting notices about the Concept Plan on the right-hand side of the page.

Contact Us

Visit the Basalt Creek $\underline{\text{Contact Us}}$ page and submit your questions, comments, or suggestions.

Calendar of Events

For event documents and materials, please go to Documents & Resources

Aug	∨ 2015 ∨	Today August 2015			Month Week		
MON	TUE	WED	THU	FRI	SAT	SUN	
27	28	29			1		
3	4	5	6	7	8		
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Concept Plan Updates

- Project Team Presents Alternative Options for Future Land Uses and a Jurisdictional Boundary; Open House to Occur in Late Summer
- Consultant Team Studies Sewer System Options and Costs in-depth; Open House shifted to Early Summer
- · Workshop and Online Survey Results
- June 17th, 2014 Community Workshop
- · Partnering Agreement

Sign up to receive email updates about the Basalt Creek Concept Plan!

Email address:

Your email address

SIGN UP

Upcoming Events

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No upcoming events

Watch a Video About Basalt Creek









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MON	TUE	WED	THU	FRI	SAT	SUN
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7	8	9	10	11	12	18
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28	29	30	7	2	3	

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Basalt Creek Concept Plan

6.25.15 Update: Project Team Presents Alternative Options for Future Land Uses and Jurisdictional Boundary; Open House to Occur in Late Summer

The Basalt Creek Concept Plan project team presented alternative options for future land uses and a jurisdictional boundary, as well as refined infrastructure cost estimates to individual City Councils and the Tualatin and Wilsonville Joint City Council in June 2015. Planning is underway for a Public Open House in August/September. See the News & Updates Page for more information.

To ensure you are receiving the most current project information, please subscribe to email updates here.

The Basalt Creek Concept Plan project will develop a plan for future development of the Basalt Creek and West Railroad Planning Areas. In 2004, Metro included this land within the urban growth boundary to accommodate increased development in the region for the next 20 years. Specifically, the Concept Plan will address a variety of factors including:

- · Future city limit lines between the Cities of Tualatin and Wilsonville
- · Land uses including industrial, commercial, residential, parks, trails, and green ways
- · Transportation network and system of connections for automobiles and pedestrians
- · Provision of urban services such as water, sanitary sewer, and stormwater



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From: G. Lucini

To: <u>Bateschell, Miranda</u>; <u>Nancy Karushaar</u>; <u>Cindy Hahn</u>; <u>Aquilla Hurd-Ravich</u>

Subject: Re: Follow up on Basalt Creek Concept Planning conversation- after Wilsonville Council WS 8-17-15

Date: Thursday, August 20, 2015 3:30:58 PM

Thank you for your action regarding the accuracy of information posted on the BasaltCreek.com website.

In checking after my previous email- I notice the website has now been updated to reflect scheduled public meetings on concept planning for the area for the months of Aug and Sept 2015.

I hope the website will receive routine monitoring in the future as any new public meeting/s are scheduled.

Thanks.

Grace

Sent from my iPhone

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Long Range Planning Manager City of Wilsonville | Community Development Department 503-570-1581 | bateschell@ci.wilsonville.or.us

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Regards, Grace Lucini
 From:
 LouOgden

 To:
 "Herb Koss"

Cc: Aquilla Hurd-Ravich; Cindy Hahn; Lou.ogden@juno.com; "John Fregonese"; "Don & Barb Hanson"

Subject: RE: Basalt Creek

Date: Thursday, August 20, 2015 10:41:40 PM

Attachments: <u>image003.png</u>

That's exactly how I understand it. It's just that your previous email said the intersection of Grahams and 124th. As you point out below, it is the intersection of Grahams and the Basalt Parkway, not 124th. I get it.

Thanks,



Lou Ogden

Resource Strategies Planning Group

Group Benefits & Life, Health, Disability, & Long Term Care Insurance for Businesses and Individuals

21040 SW 90th Ave. Tualatin, OR 97062 Phone 503.692.0163; Fax 503.385.0320 lou@louogden.com

From: Herb Koss [mailto:herb@kossred.com] Sent: Thursday, August 20, 2015 8:51 AM

To: Louogden

Cc: ahurd-ravich@ci.tualatin.or.us; chahn@ci.tualatin.or.us; Lou.ogden@juno.com; John Fregonese; Don

& Barb Hanson (don.hanson@otak.com)

Subject: RE: Basalt Creek

Good Morning Lou

The land that my LLC owns is the NE Corner of the Proposed Basalt Creek Parkway and Grahams' Ferry. I have had calls from the

Washington County transportation people about ROW on our frontage on Graham's Ferry and future ROW acquisition from our

southern Property line when the New Basalt Creek Parkway is constructed.

It is my understanding the until the new Parkway is built that Tonquin Road will be the connector to Graham's Ferry, but when the

Parkway is built it alinement will be along our southern boundary.

The plan that Otak produced for me shows a small retail center at both the intersection of Tonquin and Graham's Ferry and the

intersection of Graham's Ferry and the new Parkway (the extension of 124th).

Otak's plan connects to the existing housing in Tualatin with a parkway in the power line corridor. As I mentioned in the email,

with the plan attachments, the land shown in Otak's plan is better suited for housing then light industrial because of the existing

grades. If I have misunderstood the transportation plan I would appreciate staff commenting on this.

Thanks Herb

From: Louogden [mailto:lou@louogden.com] Sent: Wednesday, August 19, 2015 7:51 PM

To: Herb Koss

Cc: ahurd-ravich@ci.tualatin.or.us; chahn@ci.tualatin.or.us; Lou.ogden@juno.com; John Fregonese; Don

& Barb Hanson (don.hanson@otak.com)

Subject: Re: Basalt Creek

Hi Herb. Where you say your land is the NE Corner of Graham's Ferry and 124th I am confused. As I understand the plan is for 124th to extend south and intersect Tonquin in phase 1. In phase 2 124th will extend a bit farther south the new "Basalt Creek Pkwy". I don't know that 124th intersects Graham's Ferry??

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lou@louogden.com

On Aug 19, 2015, at 4:39 PM, Herb Koss < herb@kossred.com > wrote:

Good Afternoon Aquilla, Cindy, Lou and John

After our meeting I decided to hire Otak to draw up a plan that I had described to tie into

the Tualatin existing residential housing from 124th North.

Note that the power line corridor is now a lineal parkway that links to the existing proposed open space. This land is far better suited for housing since there is considerable slopes on some of the land that do not make light industrial very feasible.

I know this maybe a bit ahead of the zoning process, but I wanted to send this to you now so you had a better idea of my suggested plan.

The Multifamily is a good use across from the light industrial use shown south of 124th.

Please let me know if you have any questions or suggestions.

Sincerely Herb Koss

PS: Otak may be making some small changes to the plan, but I wanted to get this to you asap.

From: Herb Koss

Sent: Wednesday, July 08, 2015 7:38 AM

To: 'ahurd-ravich@ci.tualatin.or.us'; chahn@ci.tualatin.or.us; Louogden;

Lou.ogden@juno.com Subject: FW: Basalt Creek

Dear Cindy and Aquilla

Thank you for taking your time to meet with me today. First of all I sincerely hope that the

land that my LLC owns is annexed into Tualatin vs Wilsonville. As I pointed out the 10 acres that

our LLC owns is the corner of 124th and Grahams Ferry (the north east corner). I have highlighted it on the attached map. My preference would be a boundary a shown on Option

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Is their time for me to have a planner draw up some more detailed plans for our 10 acres and how it would work in concert with the property to our north. I would be

happy to do so if time permits.

Again thanks for meeting with me on such a short notice.

Sincerely Herb Koss

Herb Koss | Owner & Broker Koss Real Estate Development and Investment Co. 22400 Salamo Rd. Suite 106, West Linn, OR 97068 herb@kossred.com | (503)730-2431

<17713 - South Tualatin Neighborhood Diagram_08-18.pdf>

<17713 - Basalt Creek Parkway - Cross Section.pdf>

From: Herb Koss
To: LouOgden

Cc: Aquilla Hurd-Ravich; Cindy Hahn; Lou.ogden@juno.com; "John Fregonese"; "Don & Barb Hanson"

Subject: RE: Basalt Creek

Date: Friday, August 21, 2015 7:44:30 AM

Attachments: <u>image001.png</u>

Thanks for the email Lou. As you are aware I really hope that Tualatin is the city that will annex the land that we own

and the plan that I submitted is utilized. Thanks for sending me the email which allowed me to clarity the location.

Sincerely

Herb

From: Lou Ogden [mailto:lou@louogden.com] Sent: Thursday, August 20, 2015 10:42 PM

To: Herb Koss

Cc: ahurd-ravich@ci.tualatin.or.us; chahn@ci.tualatin.or.us; Lou.ogden@juno.com; 'John Fregonese';

'Don & Barb Hanson' **Subject:** RE: Basalt Creek

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lou@louogden.com

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Sent: Thursday, August 20, 2015 8:51 AM

To: Louogden

Cc: ahurd-ravich@ci.tualatin.or.us; chahn@ci.tualatin.or.us; Lou.ogden@juno.com; John Fregonese; Don

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To: Herb Koss

 $\textbf{Cc:}\ \underline{ahurd-ravich@ci.tualatin.or.us;}\ \underline{chahn@ci.tualatin.or.us;}\ \underline{Lou.ogden@juno.com;}\ John\ Fregonese;\ Don$

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Sent: Wednesday, July 08, 2015 7:38 AM

To: 'ahurd-ravich@ci.tualatin.or.us'; chahn@ci.tualatin.or.us; Louogden;

Lou.ogden@juno.com
Subject: FW: Basalt Creek

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Again thanks for meeting with me on such a short notice.

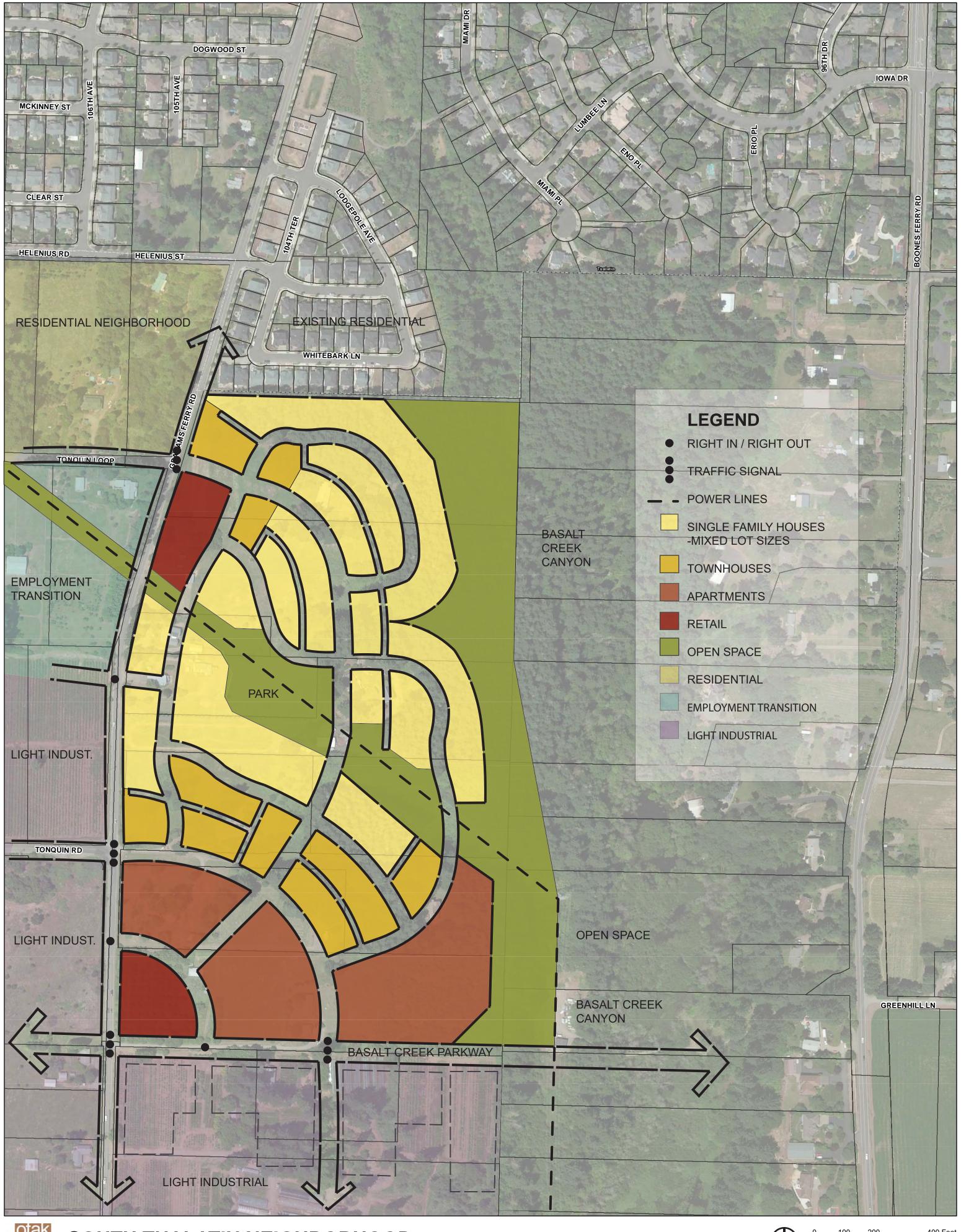
Sincerely

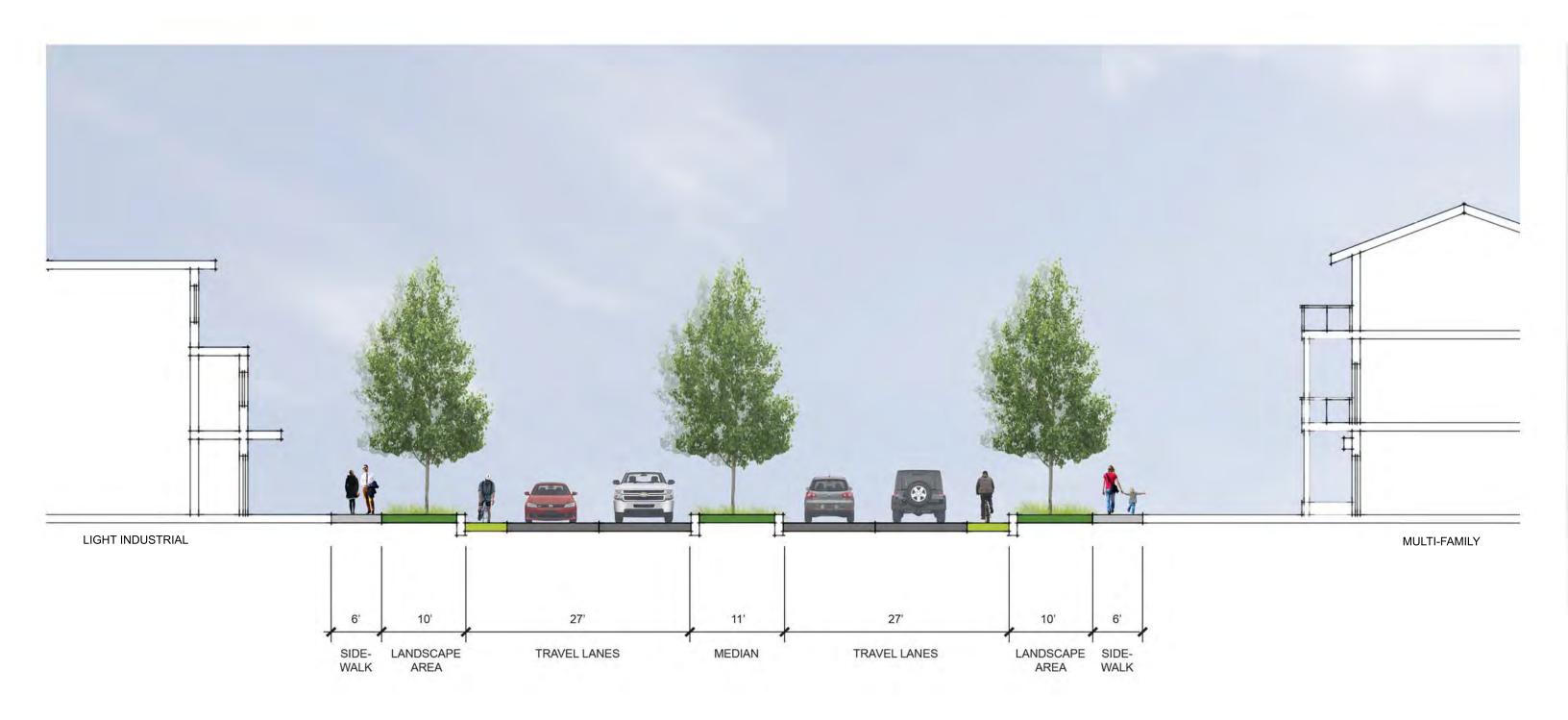
Herb Koss

Herb Koss | Owner & Broker Koss Real Estate Development and Investment Co. 22400 Salamo Rd. Suite 106, West Linn, OR 97068 herb@kossred.com | (503)730-2431

<17713 - South Tualatin Neighborhood Diagram 08-18.pdf>

<17713 - Basalt Creek Parkway - Cross Section.pdf>







From: Herb Koss
To: Cindy Hahn

Cc: Peter Watts; Ed Trompke (Ed.Trompke@jordanramis.com); Don & Barb Hanson (don.hanson@otak.com)

Subject: RE: Basalt Creek Concept Plan Project - September Notice of Upcoming Public Meetings

Date: Monday, August 31, 2015 2:36:22 PM

Attachments: <u>image001.png</u>

Thank you Cindy.

I am having Otak do some more work for us. As you know the LLC that I manage is affected big time by this plan.

More information from our planner – Don Hanson with Otak will be coming.

Thanks
Herb Koss

From: Cindy Hahn [mailto:CHAHN@ci.tualatin.or.us]

Sent: Monday, August 31, 2015 2:26 PM

Subject: Basalt Creek Concept Plan Project - September Notice of Upcoming Public Meetings



Greetings,

The Basalt Creek project team has decided to delay the Joint Council meeting, previously scheduled for September 8, 2015, due to several Councilors from each city being unable to attend. This schedule change also allows more time for analysis of boundary and land use options in the Basalt Creek Planning Area. A new meeting date will be posted as soon as it is confirmed.

Prior to this rescheduling, a boundary option was developed based on direction received from both City Councils in June. On August 17, 2015, that boundary option was presented to Wilsonville Council – materials are posted here. Tualatin Council reviewed the same material on August 24, 2015 - materials are available here. The presentation from the June 17, 2015, Joint Council meeting is available here.

Upcoming Presentations:

- CANCELLED Joint Tualatin and Wilsonville City Council Meeting: September 8, 6:00-8:00 pm, Wilsonville City Hall
- Tualatin Planning Commission: September 17, 6:30 pm, Juanita Pohl

Center (meeting materials posted September 10) – Project Update

Underway:

• **Public Open House** – A Public Open House is planned for Fall, where you will be asked to give input on the preferred alternative. More detailed information will be available in future email updates.

Thank you for your continued interest in this project. If you haven't already, please sign up for email updates <u>here</u>. For upcoming meetings, please view the project <u>calendar</u>.

If you have questions or desire more information, please feel free to contact:

Cindy Luxhoj Hahn, AICP

Associate Planner

City of Tualatin | Community Development Dept | Planning Division

Phone: 503-691-3029 | Email: chahn@ci.tualatin.or.us

From: Herb Koss

To: <u>Alice Cannon; Cindy Hahn</u>

Cc: Aquilla Hurd-Ravich; Sherilyn Lombos; Bateschell, Miranda

Subject: RE: Basalt Creek

Date: Monday, September 07, 2015 8:33:56 AM

Alice

I saved this email and thought I should contact you to see what your schedules may be. My Sept is filling up, but if I know

the best day and if am or pm works best I would be happy to try and accommodate your schedules.

I am sure you will find the Stafford tour interesting. If you have not visited the Basalt area that is interesting too.

Herb Koss

From: Alice Cannon [mailto:Acannon@ci.tualatin.or.us]

Sent: Friday, August 14, 2015 2:16 PM

To: Herb Koss; Cindy Hahn

Cc: Aquilla Hurd-Ravich; Sherilyn Lombos; Bateschell, Miranda

Subject: RE: Basalt Creek

Mr. Koss:

Thanks for the note. Sorry for the delayed response. August is a tough month to schedule something like this with so many people out enjoying vacations with their families before school begins.

I am out for a few days myself beginning next week but will be back the week of August 24. Perhaps we can visit the two areas in September. I will be back in about 10 days.

Thanks again for the invitation.

Alice

Alice Cannon

Assistant City Manager

City of Tualatin | Community Development

503.691.3018 | acannon@ci.tualatin.or.us | www.tualatinoregon.gov

From: Herb Koss [mailto:herb@kossred.com] Sent: Tuesday, August 04, 2015 10:39 AM

To: Cindy Hahn

Cc: Aquilla Hurd-Ravich; Alice Cannon; Sherilyn Lombos; Bateschell, Miranda

Subject: RE: Basalt Creek

Cindy

Thank you for your email. I happened to run into Lou Ogden this am and he confirmed that I have some time on the actual zoning issues.

When we spoke yesterday I suggested that I provide a tour of Stafford along with a side trip to the land I own in

the Basalt Creek area. Most are probably very familiar with Basalt Creek, but not Stafford.

The County and Metro have now retained the services of a mediator to help resolve the remand on Stafford. As I

mentioned to you I think crossing the Tualatin River would offer some opportunities for more housing for employers

and their employees working in Tualatin, retirement communities, 55+ housing (single Level), etc.

Again I would like to know who would be interested in a Stafford Tour and a side trip to Grahams Ferry where

124th ends?

The Stafford tour takes 1.5 hours.

My time is fairly flexible.

Sincerely

Herb Koss 503 730 2431

From: Cindy Hahn [mailto:CHAHN@ci.tualatin.or.us]

Sent: Monday, August 03, 2015 5:07 PM

To: Herb Koss

Cc: Aquilla Hurd-Ravich; Alice Cannon; Sherilyn Lombos; Bateschell, Miranda

Subject: RE: Basalt Creek

Hi Herb,

As we discussed, I have copied Aquilla Hurd-Ravich, Planning Manager, and Alice Cannon, Assistant City Manager, on this email so they are aware that you called about Basalt Creek. Aquilla's phone is 503-691-3028 and Alice's is 503-691-3018. If you arrange a site visit of your property as you discussed with Sherilyn Lombos, City Manager, either Aquilla or Alice may be

interested in participating.

I have also copied Miranda Bateschell, Long Range Planning Manager, at the City of Wilsonville who is managing the Basalt Creek project on their end so she is aware of your interest.

Our City Council will receive a briefing on the latest alternative for a jurisdictional boundary and potential land uses at work session on August 24. The public is welcome to attend, however, Council

does not take public comment during the meeting. Materials will post on the City website one week before the meeting (on August 17). Work session usually starts at 5:00 pm at the Juanita Pohl Center. Please check the agenda in advance to see if there is a change to the start time as occurs occasionally.

Thank you for your interest in this project and please let me know if I can be of further assistance.

Cindy

Cíndy Luxhoj Hahn, AICP

Associate Planner

City of Tualatin | Community Development Dept | Planning Division

Phone: 503-691-3029 | Email: chahn@ci.tualatin.or.us

From: Herb Koss [mailto:herb@kossred.com] Sent: Wednesday, July 08, 2015 3:44 PM

To: Aquilla Hurd-Ravich; Cindy Hahn; LouOgden; Lou.ogden@juno.com

Subject: RE: Basalt Creek

Aquilla

Would it be helpful if I had a planner draw up some options for our land?

Herb

From: Aquilla Hurd-Ravich [mailto:AHURD-RAVICH@ci.tualatin.or.us]

Sent: Wednesday, July 08, 2015 9:48 AM

To: Herb Koss; Cindy Hahn; LouOgden; Lou.ogden@juno.com

Subject: RE: Basalt Creek

Dear Mr. Koss,

We appreciate you coming by yesterday to share your input on the future of your property. We will take these comments into consideration as we move forward.

Thank you,

Aguilla Hurd-Ravich, AICP

Planning Manager

City of Tualatin | Community Development Department

503.691.3028 | www.tualatinoregon.gov.

From: Herb Koss [mailto:herb@kossred.com] Sent: Wednesday, July 08, 2015 7:38 AM

To: Aquilla Hurd-Ravich; Cindy Hahn; LouOgden; Lou.ogden@juno.com

Subject: FW: Basalt Creek

Dear Cindy and Aquilla

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Again thanks for meeting with me on such a short notice.

Sincerely Herb Koss

Herb Koss | Owner & Broker Koss Real Estate Development and Investment Co. 22400 Salamo Rd. Suite 106, West Linn, OR 97068 herb@kossred.com | (503)730-2431 From: Aquilla Hurd-Ravich

To: <u>G. Lucini</u>

Cc: Cindy Hahn; Bateschell, Miranda
Subject: RE: Basalt Creek Concept Planning
Date: Thursday, September 10, 2015 9:53:17 AM

Grace,

Thank you so much for help spreading the word about the work session on Monday night.

Going forward we will strive to present information in a way that clearly communicates what land uses are envisioned on individual lots. As I mentioned during our phone call, after a boundary is decided and each begins working on adoption we will develop more detailed information about land uses on individual lots. I appreciate the points you made below and we will take all those into consideration as we move forward.

Thanks again,

Aguilla Hurd-Ravich, AICP

Planning Manager
City of Tualatin | Community Development Department
503.691.3028 | www.tualatinoregon.gov.

From: G. Lucini [mailto:grluci@gmail.com]
Sent: Wednesday, September 09, 2015 8:03 PM

To: Aquilla Hurd-Ravich

Subject: Basalt Creek Concept Planning

Importance: Low

Hi Aquilla,

As you asked, I sent out a group email to notify my neighbors of the Public Meeting on Basalt Creek Concept Planning which was just placed on the Tualatin City Council Work Session for Monday September 14th. Thank you for your interest in attempting to notify the public of this newly scheduled meeting.

We also discussed my request to have property lines placed on the proposed Concept Planning Maps to assist property owners as well as City Councilors understand the potential implications of suggested land use planning.

This need for more specific information on lot lines and land use recommendations comes into play as exemplified by properties located between SW Boones Ferry Road and Grahams Ferry Road. Many of us have our homes on the eastern portion of our lots, and currently undeveloped but potentially useable property on the west side of the wetlands of Basalt Creek.

The City Councils have stated concerns about tax lots having one land use zoning throughout an entire tax lot.

It is unclear if this goal of one land use zoning will be applied to my property tax lot and those of my neighbors on SW Boones Ferry Road.

Pervious concept plans which have been presented to both City Councils appear to have:

1. Either mixed land use zoning on my property-residential on the east side; transitional

industrial on the west side and natural area in the middle, or

- 2. Land use of residential on the east, natural area in the middle, and residential on the west? On the west side-Would residential back directly up to transitional industrial? Will there be vehicular access to the west side of the lot?
- 3. The combined aggregate of useable property on the west side of the natural area from multiple property owners adds up to multiple acers.
- 4. This aggregate of properties on the west side of the Natural Area contains lush forested habitat some of which is relatively level.

Having easily defined property lots included in the proposed Concept Plans would assist in identifying what issues we have to address when the plans are presented for discussion.

If there is more specific information the project staff has--- as to how the west side of the Basalt Creek Canyon natural area will be zoned within the Concept Planning (i.e. the west side of my property) - can it be forwarded to me.

Thank you again for today's phone call.

Grace

From: Herb Koss
To: Cindy Hahn

Subject: RE: Basalt Creek Concept Planning Project - Updated September Notice of Upcoming Public Meetings

Date: Friday, September 11, 2015 3:00:09 PM

Attachments: image001.png

Thank you letting me know Cindy. I was planning on attending. Herb Koss

From: Cindy Hahn [mailto:CHAHN@ci.tualatin.or.us]
Sent: Friday, September 11, 2015 2:48 PM
To: JWLuci@gmail.com; (Balfour.Linfield@gmail.com); (donherbstpainting@hotmail.com); (imolen@hotmail.com); (lloyd@meiselrockproducts.com); (rdwa2014@yahoo.com); Abe T

(jmolen@hotmail.com); (lloyd@meiselrockproducts.com); (rdwa2014@yahoo.com); Abe Turki; aboloori@outlook.com; acharris1972@yahoo.com; Adam Butts (adameb77@gmail.com); akilstrom@pamplinmedia.com; Alan Aplin (aaplin@kerrcontractors.com); Albert Levit (levitrehberg@frontier.com); Alice Cannon; Andrew Young (andrew.young@nwnatural.com); andrew_hagman@hotmail.com; Anne Kennedy (annekennedy604@gmail.com); Aquilla Hurd-Ravich; arrowjc@comcast.net; Art Sasaki (Art Sasaki@msn.com); arva41@gmail.com; Barry Leeuwen; bastinado@e-z.net; 'bateschell@ci.wilsonville.or.us'; bberger22@hotmail.com; bbierwagen@parametrix.com; bburns@burnsbros.com (bburns@burnsbros.com); Ben Altman (baltman@sfadg.com); Ben Bryant; BerBruk@aol.com; Bob Galati; bob.kanyer@sterling.net; bob_bramel@hotmail.com; Brian Barker; Brian Clopton (brian@cloptonexcavating.com); Brian Harper; Brian Kelley (brian.kelley@nwnatural.com); Brian May (bmay@republicservices.com); Brian Sherrard (brian.sherrard@tvfr.com); brian.wilkinson@hdrinc.com; Brick Obye (brick@brixpaving.com); Bryan Cosgrove; Cameron Grile; Carrie Pak (PakC@CleanWaterServices.org); Cassandra Ulven; Catherine Holland; cathysnyder@frontier.com; Cheryl Dorman; Christine Bazant; christinebazant@gmail.com; Cindy Hahn; cindy luczkow@co.washington.or.us; Clark & Steph Eisert; Colin Cortes; coreyz@newdoorrealty.net; corie peterson@hotmail.com; Craiq Smith; csbrune@yahoo.com; cynthia ray@comcast.net; d.deelee@frontier.com; Dan Nebergall (citywidedan@gmail.com); danretz@gmail.com; Dave Selby (dave@shawwest.com); david@marksmetal.com; david@rpherman.com; dbq71@vahoo.com (dbq71@vahoo.com); Deane Leverett; Delia Wilson (dwilson@archdpdx.org); Devon Dobek; Diana Pompe; dohurtad@hevanet.com; Doris Wehler (dawehler@gmail.com); Doug Seely; DRuckman@republicservices.com; dustin.cooley@hdrinc.com; Dwayne.Cain@pqn.com; Ed Truax; edkcnw@comcast.net; elwyn@frontier.com; enjus@oregonian.com; Eric Mende; Eric Postma (espostma@comcast.net); Eric Williams; Erica Smith; erlapp@comcast.net; Ernie Brown; findley@pbworld.com; Francis Marta (fmarta@aol.com); FrankBubenik; Frank Bubenik; Gail, Jon; Gary Nebergall (citywts@comcast.net); gcwalbert@gmail.com; gdaa@aol.com; george.ledoux1@frontier.com; Ginger Aarons-Garrison; Gordon Root (gordon@staffordlandcompany.com); Gordon Root (gordonroot@aol.com); Grace Lucini; Greg Anderson; Hannah Childs (Hannah Childs Voice@gmail.com); Hartzog, Brenda; heisburtonc@yahoo.com; Herb Koss; herbk43@comcast.net; icecreamkid49@comcast.net; j_guerra_sr@hotmail.com; jackie brin@comcast.net; Jake Bartman; James Jensen (kyljnsn@yahoo.com); james.gregory@hdrinc.com; james.paris@gmail.com; Jamie Morgan-Stasny; Jan Giunta (jan.giunta@gmail.com); Jan Peterson; janet.robertson@stmaryspdx.org; janice.stripling@gmail.com; Jared Summers; jasonrmitchell@yahoo.com; jchapman@legendhomes.com; jeaniestuvick@comcast.net ; Jeff DeHaan (jeffdehaan@hayscompanies.com); Jeff Fuchs; jeff@crandallgroup.com; Jennifer Stephens; jenniferallen72@yahoo.com; Jerald Postema; Jerry Greenfield (jer.greenfield@gmail.com); Jerry Greenfield (jerrygreenfield@gmail.com); Jerry Palmer; jerrysharp@frontier.com; Jim Clark (jlclark@bpa.gov); Jim Evans; Jim Haynes; Jim Odoms (jimodoms@comcast.net); jmfairtaldo@comcast.net; Joe Monego (jamonego@gmail.com); Joelle Davis; John@decostaproperties.com; jojuly12@gmail.com; jonathan.soll@oregonmetro.gov; joseph_davis@mentor.com; Josh Gregory; jpaul@skbcos.com; jsjeldavis@yahoo.com; jtmoffett@bpa.gov; Judy Clopton (bj12clop@aol.com); Julia Hajduk; Julie Fitzgerald (fitzgerald@ci.wilsonville.or.us); Karen Alvstad; Karen Savage (Karen savage@co.washington.or.us); Karen Savage (karensavage725@vahoo.com); Kate Greenfield; kathilamm@qmail.com; Kathryn Duffy; Kathy Re; Katie Mangle; kaydix@comcast.net; Kimberly Haughn; Kraushaar, Nancy; Kristen Kibler; kristinasapsign@gmail.com; kurt@mohportland.com; kurtkreitzer@yahoo.com; Larry Oakes (larryoakes53@yahoo.com);

lashbrook@ci.wilsonville.or.us; Laura Doll (oregonhealthy@yahoo.com); Leila Aman (leila@frego.com);

linda@tualatinchamber.com; lisa@shamburqheatinq.com; lloen@comcast.net; loren@tualatinhills.org; Lou Ogden; lougyrl@gmail.com; lschelsky@westlakeconsultants.com; Marissa Houlberg; Mark Brown; Mark Fryburg; Marta McGuire (marta.mcguire@gmail.com); Martha Fritzie (mfritzie@clackamas.us); Marvin Mast; Mathew Scheidegger; matt.bihn@oregonmetro.gov; Matthew Keenen (mkeenen@capacitycommercial.com); mehdiasanaei@yahoo.com; melissa.hunting@pgn.com; mglavalo@gmail.com; Michael Houlberg; Mike Cataldo; mike.anders@lennar.com; miked@paceengrs.com; Monique Beikman; Morgan Will; mthornton@westlakeconsultants.com; naciabonilla@metlandgroup.com; Nancy Grimes; natashas.wchs@gmail.com; Neamtzu, Chris; Nic Herriges; Nick Storie; Nick Veroski; nique@earthlink.com; nrdull@amail.com (nrdull@amail.com); oregonminda@yahoo.com; OREGONREALTOR@HOTMAIL.COM; oregonsapp@msn.com; pamwilliams917@msn.com; Pastor Roger Levasa; patricelans@gmail.com; Paul Hennon; Paul Morrison; Paul R. Hribernick; paulpenning@gmail.com; pdxpeggysue@gmail.com; Peter Hurley (pkhurley1@gmail.com); Phil Johanson; Phyllis Millan (phyllmikey@frontier.com); Piseth Pich (piseth.pich@tvfr.com); pjvv@comcast.net; plucarm@gmail.com; pternan@nwpipe.com; raffaellycathy@gmail.com; Randy & Karen Alvstad; Randy McLeod (randymcleod54@hotmail.com); Rappold, Kerry; reyneufeld@gmail.com; rgood@livebsl.com; rgoodrich@obec.com; Rich Mueller; Richard Goddard (richardgoddard2010@gmail.com); richardm@trimet.org; Robert Fagliano (rfagliano@sherwood.k12.or.us); Robert Kellogg; Robert Kellogg; rodneymg@gmail.com; Ron Kief; roni.winters@fnf.com; rotramel@pbworld.com; rrostamizadeh@gmail.com; rudiopass@yahoo.com; Russell Knoebel; ruvcrusin76@gmail.com; rwshull@ymail.com; Ryan OBrien; sarahpf81@gmail.com; sbizon@msn.com; Scott Platt; Scott Starr (scottstarr97070@gmail.com); scott.mitton1@gmail.com; scottgj@comcast.net; sgb90210@aol.com; Sherilyn Lombos; Sherman Leitgeb (Sherman@EquityOregon.com); simon@springall.com; snjplatt@msn.com; sonya@frego.com; spiff88@gmail.com; ssummers@allstate.com; Stacy Rumgay (staceyr@europa.com); stenstrd@gmail.com; Stephan Lashbrook (lashbrook@ridesmart.com); Stephen Roberts; Steve Adams (adams@ci.wilsonville.or.us); Steve Anderson; Steve Parr; Steve Titus; stevewinegar@frontier.com; Stu Peterson; Susie Stevens; Susie Stevens (stevens@ci.wilsonville.or.us); suziq612@aol.com; tanyastricker@earthlink.net; terri.wortman@gmail.com; tgc205@comcast.net; tiffany.delgado@pgn.com ; Tim Davis; Tim Knapp (mayor@ci.wilsonville.or.us); Tim Marshall; Timothy Wilson (timothy.j.wilson@odot.state.or.us); Tod Shattuck (tod.shattuck@pgn.com); Todd Hickok; Todd Perimon; Tom Mills (millst@trimet.org); Tom Pessemier; Tom Re; toni.stanhope@fnf.com; trov.gagliano@pgn.com; tualatincitizens@gmail.com; Vander Prideaux; vceserani@vahoo.com; vicbartruff@creeksidebiblechurch.org; vinjefam@gmail.com; Wade Brooksby; whitlee.preim@mail.house.gov; wilcocka@gmail.com; William Beers (beers.william@gmail.com); Willie Fisher; willisjt@hotmail.com; wk@wkellington.com; wlcollett@aim.com; Woodley, Tim (Woodlevt@wlwv.k12.or.us); Zander Prideaux

Subject: Basalt Creek Concept Planning Project - Updated September Notice of Upcoming Public Meetings

Importance: High



Continued discussion by the Tualatin City Council about boundary and land use options has been **postponed** from the September 14, 2015 work session to the October 12, 2015 work session. This is a follow up conversation to the discussion held during the August 24, 2015 work session.

Upcoming Presentations:

- Tualatin Planning Commission: September 17, 6:30 pm, Juanita Pohl Center (meeting materials posted September 10) – Project Update
- <u>POSTPONED</u> Tualatin City Council (Work Session): October 12 (postponed from September 14), 5:00pm, Juanita Pohl Center (You will be notified if this date changes.)

<u>Underway</u>:

• **Public Open House** – A Public Open House is planned for Fall, where you will be asked to give input on the preferred alternative. More detailed information will be available in future email updates.

Thank you for your continued interest in this project. If you haven't already, please sign up for email updates here. For upcoming meetings, please view the project calendar.

If you have questions or desire more information, please feel free to contact:

Cindy Luxhoj Hahn, AICP

Associate Planner

City of Tualatin | Community Development Dept | Planning Division

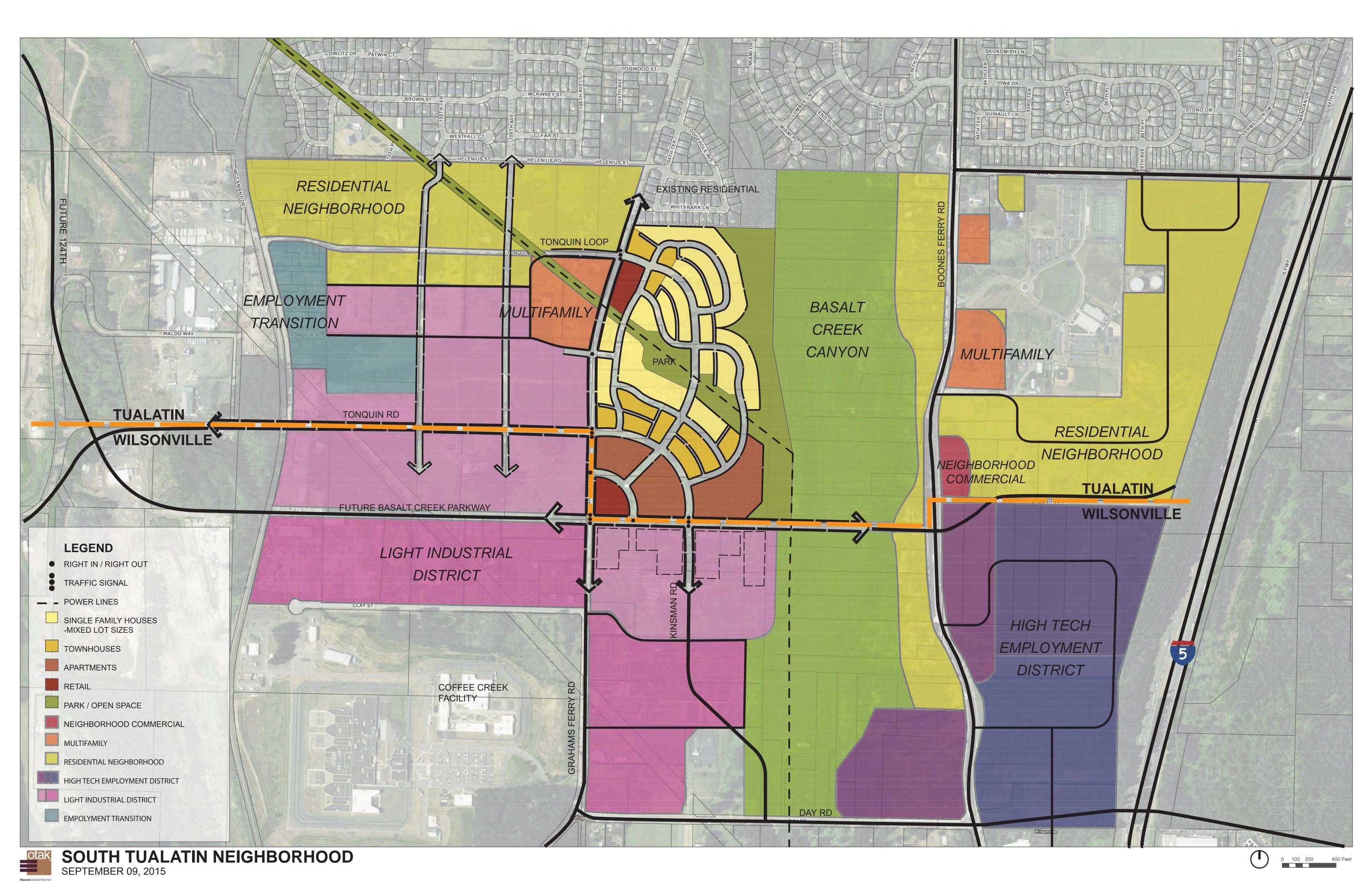
Phone: 503-691-3029 | Email: chahn@ci.tualatin.or.us

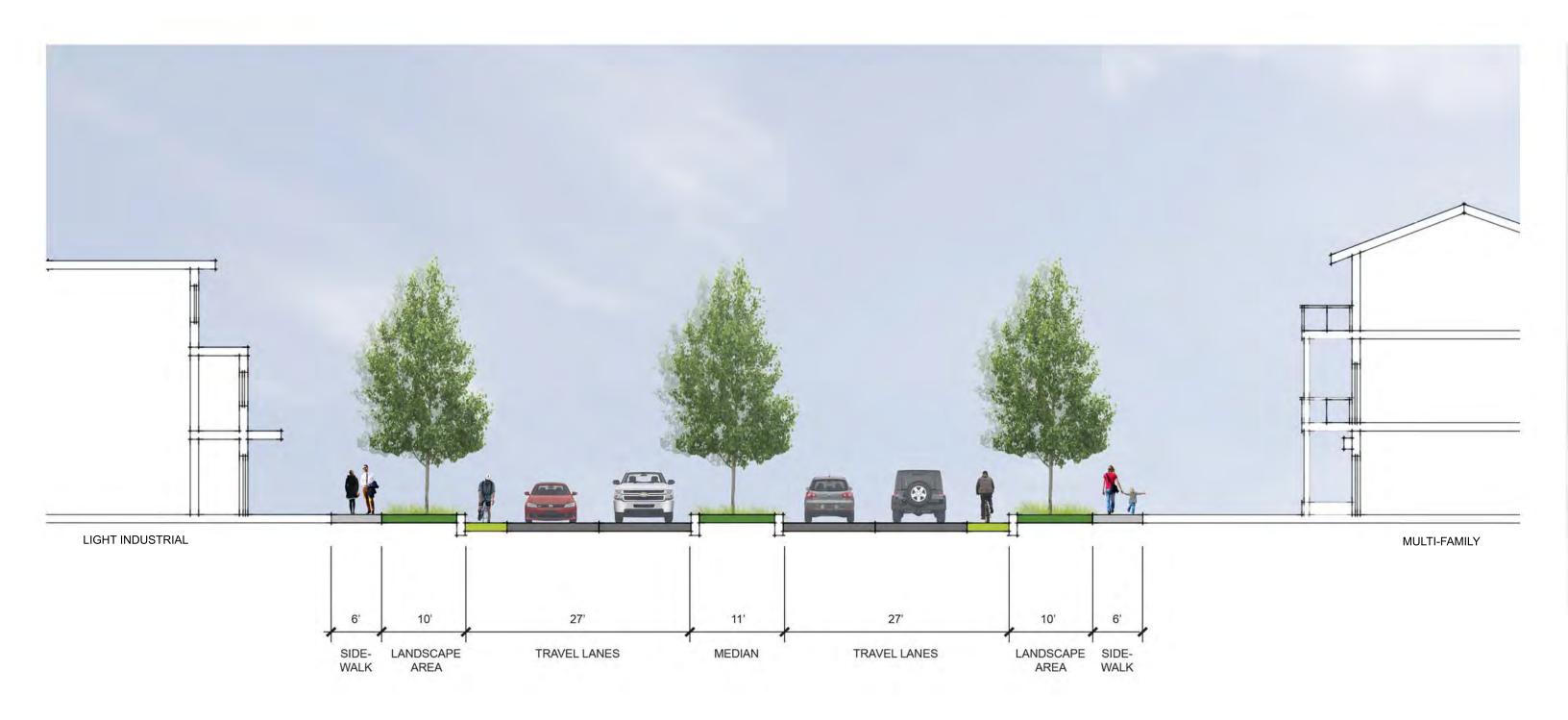
From: Herb Koss
To: Cindy Hahn

Date: Friday, September 11, 2015 3:25:15 PM

Attachments: 17713 - South Tualatin Neighborhood -Option 4 09-09-15.pdf

Herb Koss | Owner & Broker Koss Real Estate Development and Investment Co. 22400 Salamo Rd. Suite 106, West Linn, OR 97068 herb@kossred.com | (503)730-2431







From: Herb Koss
To: Cindy Hahn

Subject:FW: BASALT CREEK PLANING DISTRICTDate:Friday, September 11, 2015 3:28:43 PM

Attachments: 17713 - Basalt Creek Parkway - Cross Section.pdf

17713 - South Tualatin Neighborhood -Option 4 09-09-15.pdf

THE FIRST MESSAGE WAS TOO LARGE AND BOUNCED BACK TO ME. I AM SENDING THE BASALT CREEK PARKWAY

CROSS SECTION VIA SEPARATE EMAIL. I am assuming that the attachments were the problem.

From: Herb Koss

Sent: Friday, September 11, 2015 2:47 PM

To: Louogden; council@ci.tualatin.or.us; chahn@ci.tualatin.or.us; ahurd-ravich@ci.tualatin.or.us; shahn@ci.tualatin.or.us; shahn@ci.tualatin.or.us); <a href="mailto:shahn@ci.tualatin.or.us<

Cc: 'John Fregonese'

Subject: FW: BASALT CREEK PLANING DISTRICT

I you feel that I have missed anyone that this should be forwarded to I would appreciate your assistance. I believe that I have copied all of the council members. I also did not know who I should forward to in Wilsonville. I did send this to Miranda Bateschell and Mayor Knapp

PLEASE LET ME KNOW IF THE ATTACHMENTS DO NOT OPEN

Subject: FW: BASALT CREEK PLANING DISTRICT

Dear Mayor Ogden, Council Members and Tualatin Staff:

Please find attached a modified plan that was prepared by Mr. Don Hanson a senior planner with Otak. After several site visits I decided that I would retain the services of a professional planner to help prepare a 4th option for the Basalt Creek planning area. I realize that the plan that Otak has prepared is a step above the general planning done on most of the Basalt Creek area, but we felt the opportunity to create a great neighborhood was an important element to show on the plan and how it fits into the remainder of the planning area.

I am the managing member of the LLC that owns the land on the Northeast Corner of Grahams Ferry and the proposed Basalt Creek Parkway. One of the attachments with this email illustrates the potential transition between the light industrial use and a residential zone. Other buffers including setbacks and landscaping are often used, but in this case the parkway is a great buffer and transition between land uses.

The option 4, which we call South Tualatin Neighborhood shows the ability to create a great neighborhood. The plan demonstrates how housing densities can transition from the lower densities that match existing neighborhoods to the north to higher densities at the south end where there is an interface with employment lands.

The topography of the site illustrated by the Otak plan utilizes the sloped topography. A visit to the Basalt Creek Planning area and viewing the land from Tonquin Road from West to the East

clearly shows that a housing zone is a much better use of the land. Residential land uses are shown on the Otak plan where there is more varied topography because a residential use can be easily adapted to the slopes. Employment/Light Industrial Land uses require fairly level ground to accommodate large flat buildings and site improvements that can accommodate truck loading and circulation.

Two retail pockets are shown in locations that are easy to walk to for both residents and workers in the district.

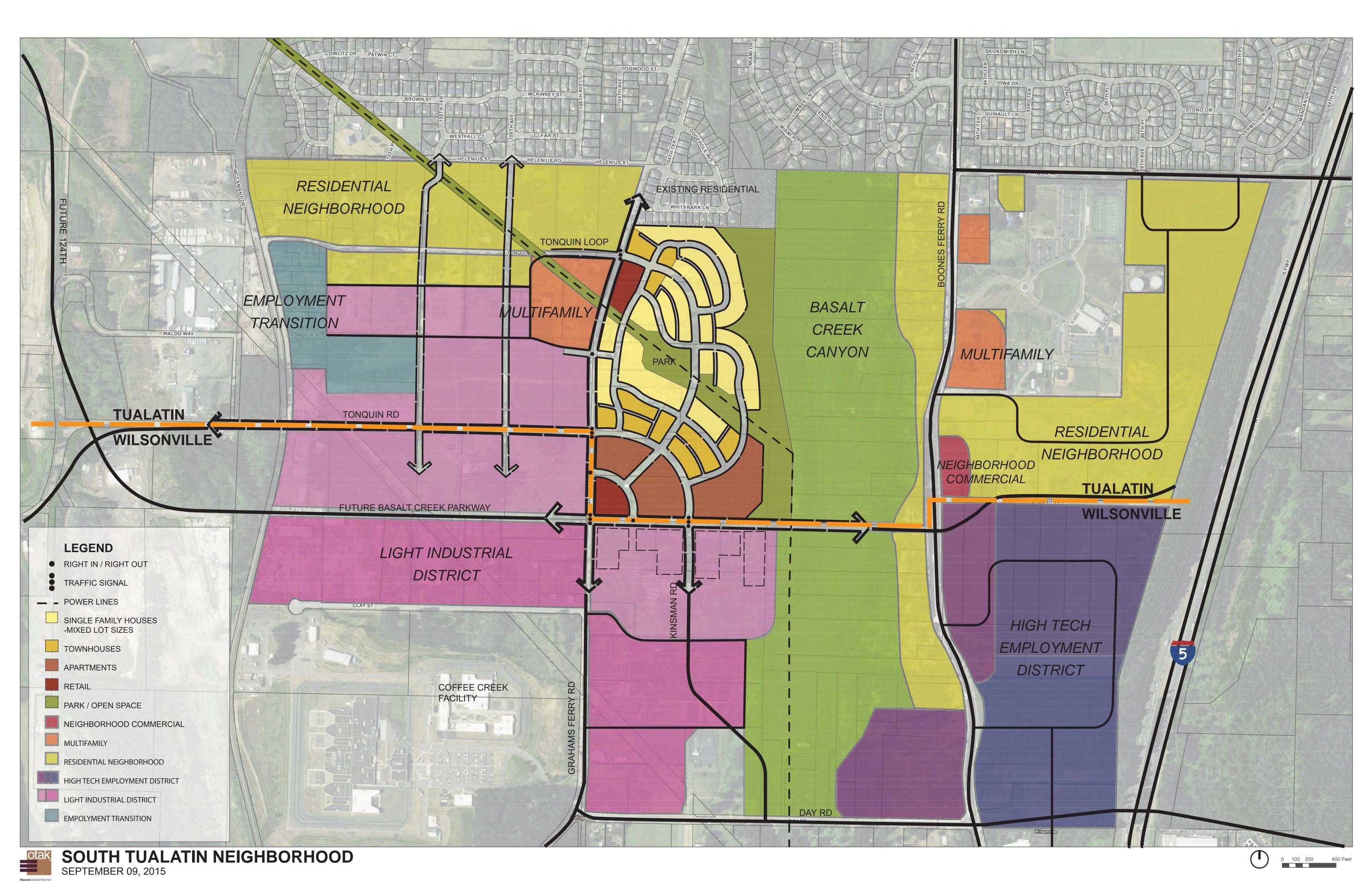
The power line happens to be an amenity for pedestrians and bikers and is connected to the Basalt Creek Canyon, which will include bike and pedestrian trails.

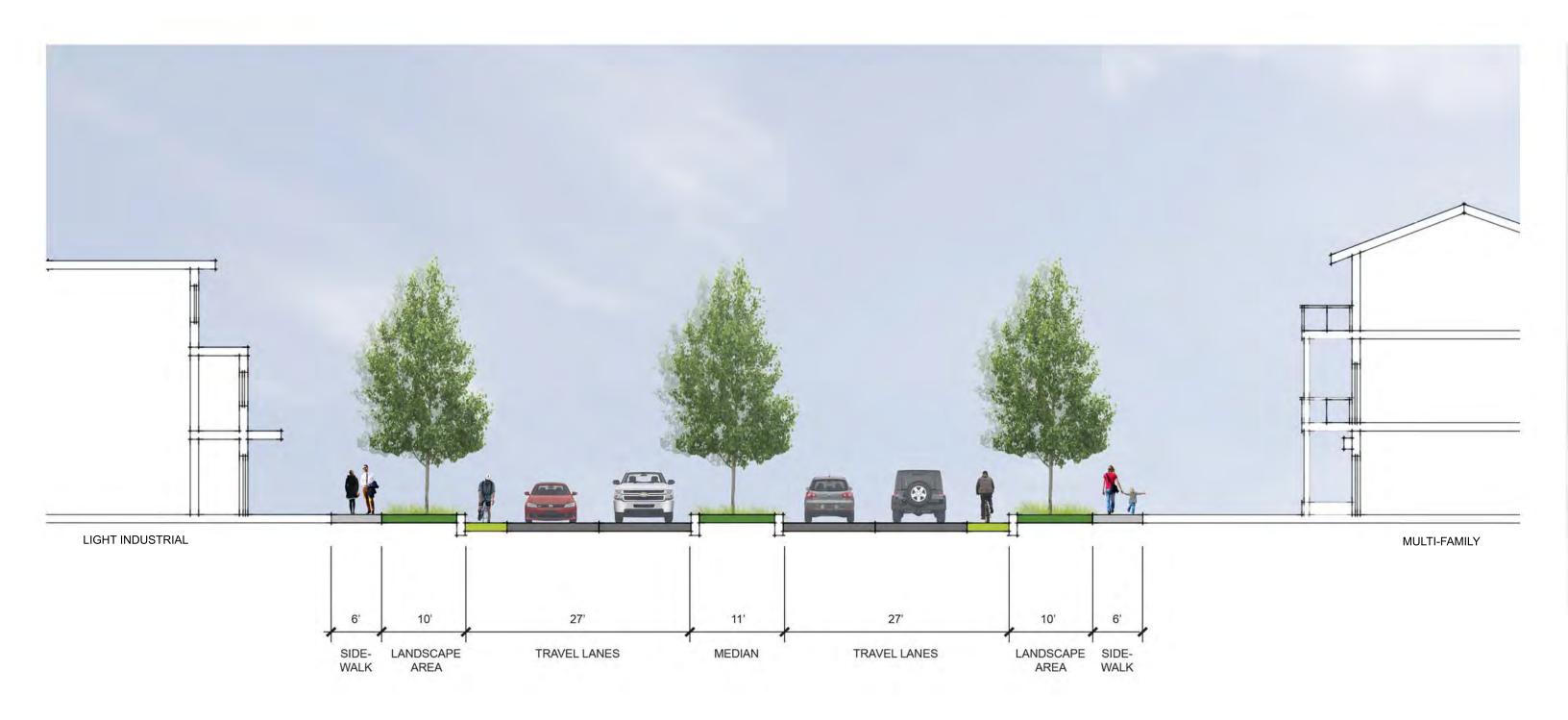
I believe that the city boundaries shown are logical--- along collector streets with a clear delineation. Both cities get a fair balance of land. Wilsonville benefits from the High Tech Zoning and Tualatin benefits from a modest increase in Light Industrial Zoning to Tonquin Road.

I sincerely hope that the plan is modified to include what I consider to be an opportunity to create a great neighborhood as illustrated by the attached plan.

Sincerely

Herb Koss Managing Member of Sherwood Grahams Ferry LLC 503 730 2431







From: Herb Koss

Subject: FW: Map for Lou and TCC Staff
Date: Saturday, October 03, 2015 8:26:17 PM

Attachments: 17713 - South Tualatin Neighborhood -Option 4 09-09-15.pdf

17713 - Basalt Creek Parkway - Cross Section.pdf

I apologize if this email is a duplicate. I had some bounce back when the first email was sent.

From: Herb Koss [mailto:herb@kossred.com]

Sent: Thursday, September 10, 2015 5:21 PM

To: Herb Koss

Subject: FW: Map for Lou and TCC Staff

Dear Mayor Ogden, Tualatin City Council Members and Planning Staff

As you are aware I have been concerned with the both the boundary decisions and the land use on the property that I am the managing member of the LLC that owns the Land on the Northeast Corner of Grahams Ferry Road and the new Basalt Creek Parkway.

When the first Boundary Options came out known as Option 1 and Option 2 the land that we own was in the City Limits of Tualatin. **That is our desire.** Boundary option 3 altered the line and now our land would be in the City of Wilsonville.

I decided to retain the use of a land use planning firm whom I had worked with for many years. The firm is Otak and the head planner is Don Hanson. Don and I have worked together for many years and I wanted someone to assist us with a plan that we felt would be the most successful for all stakeholders. I have attached the plan which we call the South Tualatin Option 4 plan along with a cross section of the Basalt Creek Parkway as an illustration of a buffer between light industrial and a residential use.

The plan that Otak has prepared is an opportunity to create a great neighborhood. Housing densities can transition form lower densities that match the existing neighborhoods to the north to higher densities at the south end where there is an interface with employment lands. The edge between the two uses can be specifically designed to minimize the impacts.

The attached plan takes advantage of the more varied topography because the residential zoning is easily adapted to slopes. A visit to the site viewing the area from the west to the east on Tonquin Road identifies the slope issues.

Employment/Light Industrial land uses require even slopes for large flat buildings

and site improvements that accommodate truck loading and circulation.

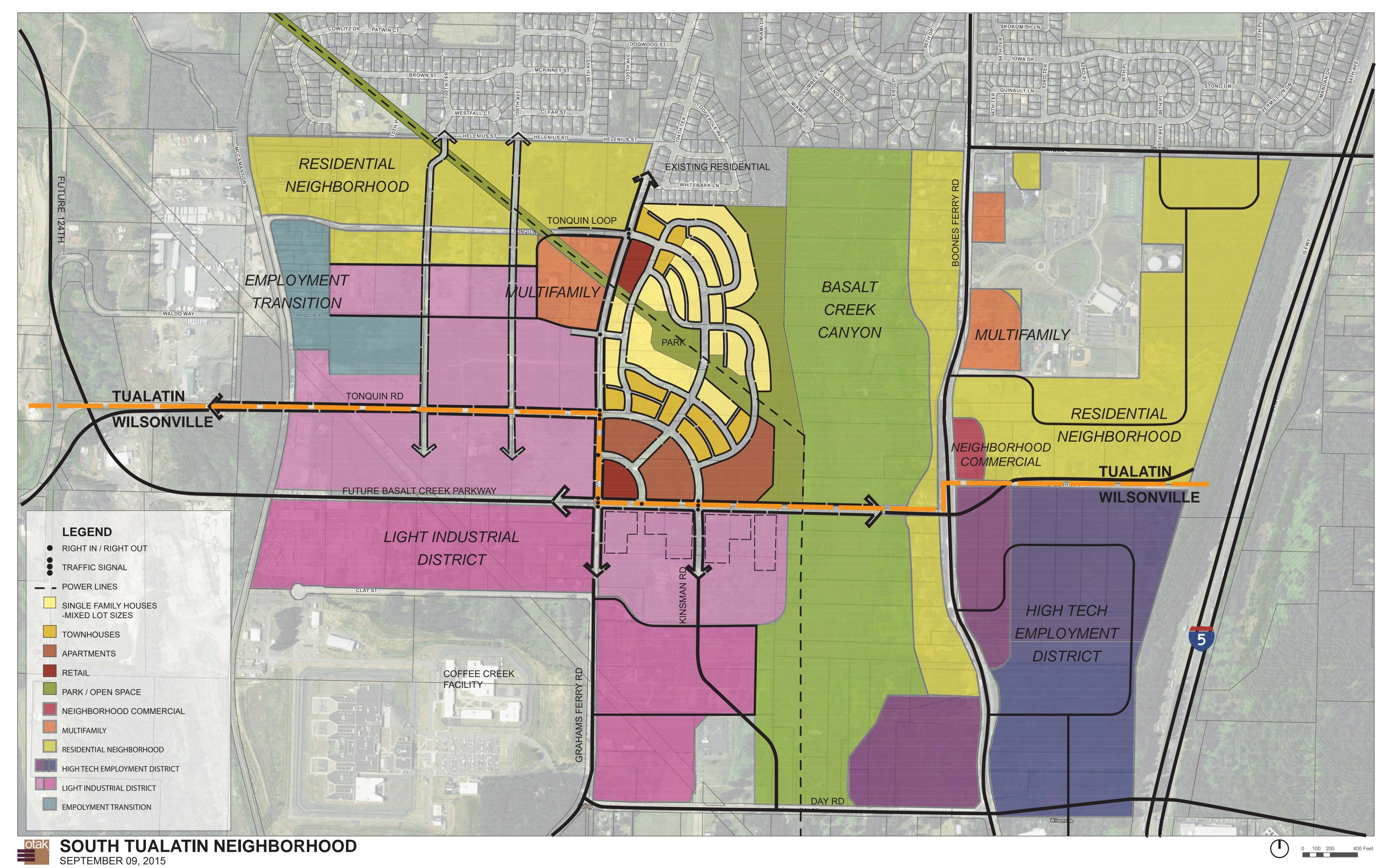
The Otak plan includes two pockets of retail locations that are easy to walk to for both residents and workers in the district.

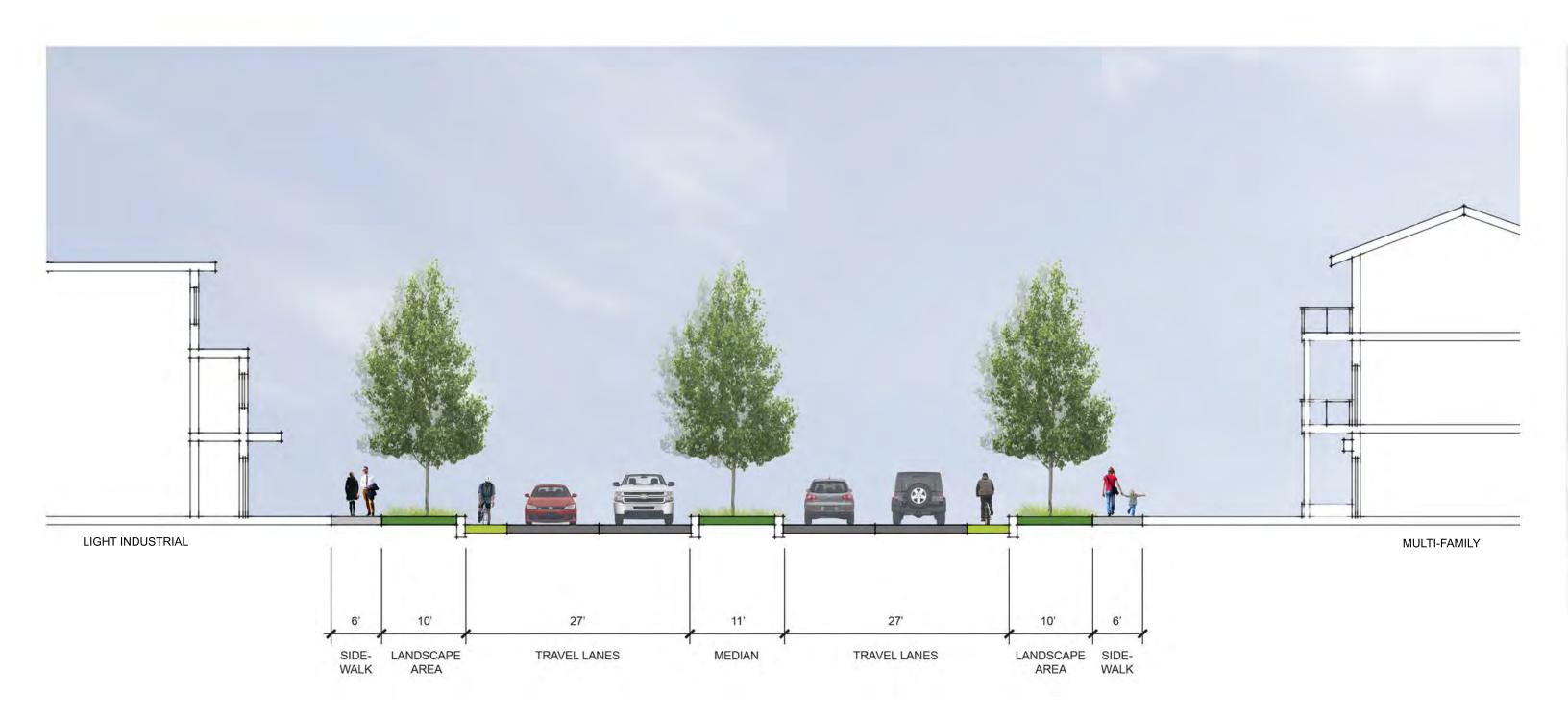
It is also interesting that the Power Line is an amenity for pedestrians and bikers and flows well into the Basalt Creek Canyon area which will no doubt have a trail system within its boundaries.

Finally the City Boundary is logical, along collector streets with a clear delineation. Both cities get the right balance of land uses. Wilsonville benefits from the High Tech zone and Tualatin obtains a slight edge on Light Industrial uses.

My hope are that these points are helpful in determining the final planning map for the Basalt Creek area. If you have any questions of me or our land planner from Otak Mr. Don Hanson please let me know.

Sincerely Herb Koss







JOHN W. LUCINI GRACE N. LUCINI

23677 SW Boones Ferry Road Tualatin, OR 97062 503 692 9890 GrLuci@gmail.com CITY OF TUALATIN
RECEIVED

OCT 2 6 2015
ENGINEERING &
BUILDING DEPARTMENT

Wednesday, October 21, 2015

VIA ELECTRONIC MAIL AND REGULAR MAIL

BASALT CREEK CONCEPT PLANNING IGA

City of Wilsonville 29799 SW Town Center Loop E Wilsonville, OR 97070

City of Tualatin 18880 SW Martinazzi Ave. Tualatin, OR 97062

RE: Basalt Creek Concept Planning - Water Run-off/ Storm Drainage

To Whom It May Concern:

As the Basalt Creek Concept Planning process continues to develop a Fourth Option for proposal to the City Councils of both Wilsonville and Tualatin, we would like to take this opportunity to provide to the cities and project staff additional information regarding water runoff problems which have negatively impacted our property.

While members of the Basalt Creek Concept Planning project staff were performing an on-site inspection of the area and our property on June 3, 2015, we commented upon the recent flooding which occurred during a rain storm on May 18, 2015 which significantly affected us and our property. During the meeting we provided project members copies of photos taken at the time of the flooding- some of which are included with this letter.









In order to gain more information about the flooding which we experienced on May 18th, we obtained the services of Liberte Environmental Associates, Inc.. After a great deal of research and investigation, Dave La Liberte P.E., produced a report, "Review of SW Boones Ferry Road Drainage Report- Recent Related Design and Construction from about 2009 into 2015 in Washington County, Oregon". A copy of this report is attached.

It appears the genesis of most of the water which caused the flooding does not originate from our property.

We have also retained the services of attorney Karl G. Anuta to assist us in navigating a resolution of these drainage issues.

We bring this information to you -as you continue to do concept planning for this area. It is important that project staff, and those who will ultimately be making the final decisions as to development, zoning and necessary infrastructure, be aware of a condition which now exists regarding water runoff within the area --- and the potential for significant future drainage problems onto our property. It is hoped project staff will consider and include within their plans provisions for the reduction of peak flows and for the retention of drainage flow upstream (which will assist with the rehydration of the local aquafers as well as reduction of drainage volume off site).

We hope this information will be of assistance to you in the Basalt Creek Concept Planning process. Regards,

John Lucini

Sylace Lucini

Attachments:

"Review of SW Boones Ferry Road Drainage Report- Recent Related Design and Construction from about 2009 into 2015 in Washington County, Oregon" by Liberte Environmental Associates, Inc., August 2015

Letter- Karl G. Anuta- October 2015, "Basalt Creek Planning Area Storm Water Run Off Issues"

CC: Cindy Hahn, City of Tualatin (via Electronic Mail)
Aquilla Hurd-Ravich, City of Tualatin (via Electronic Mail)
Alice Cannon, City of Tualatin (via Electronic Mail)
Jeff Fuchs, PE, City of Tualatin (via Electronic Mail)

Miranda Bateschell, City of Wilsonville (via Electronic Mail) Nancy Karushaar, City of Wilsonville (via Electronic Mail) Chris Neamtzu, City of Wilsonville (via Electronic Mail) Steve R. Adams P.E., City of Wilsonville (via Electronic Mail)

KARL G. ANUTA

LAW OFFICE OF KARL G. ANUTA, P.C.
7.35 SW FIRST AVENUE, 2^{MD} FLOOR
PORTLAND, OREGON 97204
(503) 827-0320

E-mail kga@integra.net

TRIAL ATTORNEY
LICENSED IN
OREGON & WASHINGTON

FACSIMILE (503) 228-6551

October 20, 2015

VIA REGULAR MAIL

City of Wilsonville 297997 SW Town Center Loop E Wilsonville, Oregon 97070 City of Tualatin 18880 SW Martinazzi Ave Tualatin, Oregon 97062

Re: Basalt Creek Planning Area Storm Water Run Off Issues

To Whom It May Concern:

This office has been retained by John and Grace Lucini to assist them with drainage and water run off issues at their residence located in unincorporated Washington County at 23677 SW Boones Ferry Rd, Tualatin, Oregon 97062. The property is within the Basalt Creek concept planning area.

I write just to advise (or in some cases remind) you that the Lucinis have earlier this year had significant storm water flooding or drainage issues on their property. As the City of Wilsonville and the City of Tualatin proceed with planning for the surrounding area, you should keep in mind that further development upslope from the Lucini's will most likely produce further compacted or impervious surfaces. That will likely increase the stormwater run off in the vicinity. That will potentially affect the Lucini's property.

When you develop concept plans, or consider development approvals, be sure that those plans fully address the handling of drainage and storm water run off so that the stormwater flows do not harm or burden down slope and downstream neighbors (which includes but is not limited to the Lucini's). It would not be fair, appropriate, or lawful for either City to allow or approve development that causes additional storm water flows to run onto or over Lucini (or any down slope/stream neighboring) property in a way that causes or potentially causes damage.

The Lucinis have obtained the services of LaLiberte Environmental Associates Inc., to investigate the cause of the most recent flooding of their property, that occurred during a rain storm on May 18, 2015. Enclosed is a report from LEA, Inc., addressing the causes of that flooding, which appear to be associated with the recent redevelopment and movement of Boons Ferry Road in Washington County.

City of Wilsonville City of Tualatin October 20, 2015

We provide copies of this report simply as a reminder to the Cities that there needs to be **careful** planning and **careful and accurate** analysis, before any development is approved or undertaken. Failure to do so can create significant problems, both for neighboring landowners and taxpayers, and for any local government that does not properly take into account the potential effects on those neighbors/taxpayers.

We trust you will take these concerns into account, when doing your future planning in and around this same area. If you have any questions, or you wish to tour the Lucini property, please feel free to contact them directly.

Sincerely

Karl G. Anuta

KGA/ev Enclosures

Review of SW Boones Ferry Road Drainage Report

Recent Related Design and Construction from about 2009 into 2015 in Washington County, Oregon

Prepared for

John and Grace Lucini

23677 SW Boones Ferry Road

Washington County

Postal Address: Tualatin, Oregon

Prepared by

Dave LaLiberte
Principal Engineer

Liberte Environmental Associates, Inc.
Wilsonville, Oregon



1. Summary

This review shows that Washington County's Drainage Report¹ for the Boones Ferry Road widening project does not substantially follow the Clean Water Services (CWS 2007)² standards for storm and surface water discharges. However, the Drainage Report states that it is adhering to CWS 2007.³

no cursony

Significant changes to the road culvert and basin upstream of the Lucini property⁴ have been conducted and supported by Washington County as part of its Boones Ferry Road Improvement Project construction. These changes have caused increased downstream flooding and erosion impacting the Lucini property, other properties and the Basalt Creek wetlands that drain to the Coffee Lake Creek wetlands. Flooding and erosion on the Lucini property, from a post construction rainfall on May 18, 2015, can be seen in Photos A1 through A7 contained in Appendix A of this review.

It is of great concern that flooding was caused by a storm much less in total volume than the critical 25-year design storm used in the Drainage Report for conveyance facilities. It is alarming that future full build-out conditions, which are conditions in the Concept Plan phase for the Cities of Wilsonville and Tualatin⁵, have received no evaluation in the Drainage Report. More flooding and erosion on the Lucini property are the likely outcomes of increased discharges from upstream.

Erosion control measures, required in the CWS&COW 2008 planning document⁶, are neglected for the Lucini property and other affected downstream properties including receiving wetlands. Drainage basin areas significantly impacted by the Road Improvement construction equipment activity and material storage are associated with vegetation removal, grading, leveling, soil compaction, gravel roads and pads, and other factors affecting the road project. These basin alterations were not restored to preconstruction drainage conditions. The degradation of the upstream watershed, above the Lucini property and draining to the road culvert, was not identified in the Drainage Report.

¹ Drainage Report (2013), <u>Storm Drainage Report – SW Boones Ferry Road (SW Day Road to SW Norwood Road</u>, by MacKay Sposito for Washington County, Capital Project Management (CPM), Final January 31, 2013.

² CWS (2007), Design and Construction Standards for Sanitary Sewer and Surface Water Management, for Clean Water Services (CWS), Hillsboro, Oregon, June 2007.

³ CWS 2007, Page 2, Sec. 2.0 - Design Criteria, Subsection 2.1 – Stormwater Management Requirements.

⁴ John and Grace Lucini property, 23677 SW Boones Ferry Road, Washington County, Postal Address: Tualatin, OR.

⁵ COW&COT (2015), Basalt Creek Concept Plan, City of Wilsonville (COW) and City of Tualatin (COT), on-going as of June 2015.

⁶ CWS&COW (2008), Erosion Prevention and Sediment Control – Planning and Design Manual, by CWS, City of Wilsonville (COW) and other jurisdictions.

This review has focused necessarily on CWS 2007 storm and surface water standards. When requirements of the adjacent and downstream jurisdiction of the City of Wilsonville (COW 2014) are compared, the discrepancies of the Drainage Report and the constructed outfall to the Lucini property raise still more issues. ^{7,8} For example, both CWS 2007 and COW 2014 require a Downstream System that is lacking in the evaluation for stormwater discharging from the County's outfall. Moreover, the proposed and now constructed 83-foot long culvert is over twice the length of the original pipe because it must pass through fill area that once provided stormwater storage above the Lucini property. Two new inlet catchbasins, rather than the one old original catchbasin, are used to collect more stormwater to send to the extended culvert.

The COW 2014 standards cannot be met because the Drainage Report performed no downstream system drainage analysis for the Lucini property. As discussed in this review, other failures exist for the County's road culvert when it is compared to potential COW 2014 requirements.

By not practicing due diligence, the County has failed to accurately evaluate existing and future conditions for the basin above the road culvert, which drains to the Lucini property causing flooding and erosion. This review concludes that the problems of flooding and erosion on the Lucini property can only be resolved by stormwater storage and detention upstream of the County's road culvert, which is the primary cause of the problem.

⁷ City, of Wilsonville (COW 2014), <u>Stormwater & Surface Water Design and Construction Standards</u>, Section 3 – Public Works Standards, Community Development Department, as revised September 2014.

⁸ City of Wilsonville (COW 2015), Stormwater Retrofit Plan, NPDES MS4 Support, June 2015.

1. Problem Statement

This report provides a review of the Drainage Report related to recent design and construction of the SW Boones Ferry Road widening project that dates from approximately 2009 into 2015 as conducted by Washington County, Oregon.

The recent Boones Ferry Road widening has significantly disrupted and altered the drainage areas above the Lucini property. This has resulted in increased flooding on the property because the local drainage is overwhelmed by increased storm flows emanating from the Boones Ferry Road project. Photos of the May 18, 2015 storm flood event can be seen in Appendix A – Photos A1 through A7. 10

The County did not perform the required downstream system analysis of the conveyance elements receiving flow, and passing through the property, from the project. Nor did the Drainage Report evaluate full build-out conditions upstream of the road culvert, which will cause future increased flooding and erosion on the property.

Alterations in the drainage occurred when portions of the adjacent subbasins to the road construction were filled, blocking storm flows from entering the road alignment. Excess flows are now sent directly to increased capacity inlets draining the subbasin (see Appendix B – Photos B1 and B2). This drainage from pre-development areas is now being routed to new and expanded stormwater inlets discharging excess stormwater directly onto the property. As shown in Photo B3, the culvert outlet capacity is also enlarged and lower-friction plastic pipe used. Compare the newly cleared and expanded outlet area with that of the old pipe outlet area in Appendix C – Photo C2. 12

The analysis used to evaluate drainage in the project basin did not take into account the degradation of historical and natural stormwater storage in the subbasins above the property. Nor did the drainage evaluation perform a hydraulic analysis of the culvert that drains a portion of the Boones Ferry Road project onto the property.

The precipitation data that was relied upon in the Drainage Report, which includes the CWS design storm distribution chart, is based on a weather stations that did not record the storm event that flooded the property.

Storm water quality conditions for storm discharges from the road widening project onto the Lucini property were degraded with apparent high suspended solids (see Appendix A - Photos A1 and A7). Flood waters from the road project caused deposition of large amounts of sediment onto the property's lawn, walkways, lower driveway and other areas (see Photos A4 through A7).

⁹ Herein, the "Lucini property" is known as the "property".

¹⁰ Appendix A photos taken by John and Grace Lucini, May 18, 2015.

¹¹ Appendix B photos by Dave LaLiberte (LEA) on May 26, 2015.

¹² Appendix C photos by Grace Lucini on December 20, 2012.

3. Background

This report provides a review of the Drainage Report related to recent design and construction of the Boones Ferry Road Improvement Project that dates from approximately 2009 into 2015 as conducted by Washington County, Oregon. The road alignment from Day Road on the south to Norwood Road on the north is characterized as the Boones Ferry Road project throughout this document.

For estimating storm flow rates emanating from the project, the Drainage Report follows the primary document, *Design and Construction Standards for Sanitary Sewer and Surface Water Management* for Clean Water Services (CWS 2007). The Drainage Report cites the *Low Impact Development Approaches Handbook* (CWS 2009) for storm water quality design issues. ¹⁶

The Stormwater & Surface Water Design and Construction Standards¹⁷ for the City of Wilsonville (COW 2014) is referenced herein. Being downstream, Wilsonville subsequently receives the uncontrolled stormflows from the Boones Ferry Road project via the Lucini property. Wilsonville's stormwater and surface water requirements are very similar to the CWS 2007 standards, which were intended for use by the County in the Drainage Report. Consequently, the problems inherent in the Drainage Report, disregarding key elements of the CWS 2007, have their corresponding defects in Wilsoville's storm and surface water standards as contained in COW 2014.

Problems relate to the lack of a Downstream System evaluation for the property, hydraulic design criteria omissions, discharge of uncontrolled stormflows into sensitive wetland areas, failure to implement Low Impact Development Approaches (LIDA) and potentially other problems.

The Stormwater Retrofit Plan (COW 2015) relating to the City of Wilsonville NPDES Municipal Separate Storm Sewer System (MS4) permit is also referenced herein. ¹⁸ A number of significant issues arise when the Boones Ferry Road drainage impact is compared to potential Wilsonville storm permit requirements. Issues include the need to use regional facilities and Low Impact Development (LID) practices to achieve pollutant reduction, implementation of peak flow reduction controls, instream erosion and potential future erosion issues, target erosion problems at culvert outfalls and other stormwater permit related concerns.

¹³ Drainage Report (2013).

¹⁴ Herein, the "SW Boones Ferry Road project" refers to the road alignment from SW Day Road on the south to SW Norwood Road on the north.

¹⁵ CWS 2007, Design and Construction Standards for Sanitary Sewer and Surface Water Management, for Clean Water Services (CWS), Hillsboro, Oregon, June 2007.

¹⁶ CWS 2009, Low Impact Development Approaches Handbook, for Clean Water Services (CWS), Hillsboro, Oregon, July 2009.

¹⁷ City of Wilsonville (COW 2014), Stormwater & Surface Water Design and Construction Standards, Section 3 – Public Works Standards, Community Development Department, as revised September 2014.

¹⁸ City of Wilsonville (COW 2015), Stormwater Retrofit Plan, NPDES MS4 Support, June 2015.

4. Synopsis of Significant Issues

Significant issues related to the Drainage Report include:

a) Inconsistent Drainage Report – The report indicates it is relying upon CWS 2007 for storm flow evaluation methodology which requires a "Review of Downstream System". However, no Downstream System review exists in the Drainage Report for the County's storm water culvert flow across the Lucini property. Despite supposed lower stormflows being reported in the Drainage Report²⁰, the storm inlet capacity for the culvert has been substantially increased. Stormflows are now conveyed to the storm inlets, and hence onto the property, much more rapidly than prior to the Boones Ferry Road widening project. This problem will worsen in the future because the Drainage Report and construction design did not take into account the future effects of full build-out conditions.

In addition, the culvert storm flow capacity is increased from about 1.5 cubic-feet-persecond before the project to about 6.6 cfs after the project.²¹ This is an increase in stormflow capacity of 440 percent from the old drainage system to the new. Moreover, the drainage design results in a headwater to culvert pipe diameter (HW/D) ratio of 5, which is substantially greater than the ratio of 2 called out in the CWS 2007 standards. This produces very active stormflows with high velocity discharge from the culvert pipe. These stormflows are highly erosive to the downstream drainage system. With increased stormflows, degradation of water quality from intensified erosion and increased suspended solids is a high risk factor (see Photos A1 and A7).

The CWS 2007 rainfall depths for the design storms used in the Drainage Report rely upon data from the *Precipitation-Frequency Atlas of the Western United States*. ²² Four (4) close National Weather Service (NWS) stations reporting rainfall depths used for the design storms are at Hillsboro, McMinnville, Portland and Salem. Three of these stations recorded no more than a trace amount of precipitation for May 18, 2015 although flooding was caused in the Boones Ferry Road vicinity. The remaining station at McMinnville recorded only a small amount of precipitation at 0.13 inches over two hours. This precipitation data comparison shows that the drainage design of the road project is inadequate to protect the property because it lacks buffering benefits of stormwater storage and detention.

¹⁹ CWS 2007, see Chapter 2, Page 12 under the 2.04.2 subsection heading "3. Review of Downstream System", i.e., this is subsection 2.04.2.3.

²⁰ See Drainage Report on Page 11, Table under heading 5.5 - Hydrologic Analysis Results. Specifically, see the table results for Discharge Location 15L that indicates a reduction in stormflows.

²¹ Manning's equation is used to calculate the storm flow capacity. See Linsley and Franzini, *Water Resources Engineering* (1979). See also White, *Fluid Mechanics* (1986). Note that "cfs" is cubic-feet-persecond.

²² NOAA 1973, *Precipitation-Frequency Atlas of the Western United States*, National Oceanic and Atmospheric Administration (NOAA) and National Weather Service (NWS), NOAA Atlas 2, Volume X – Oregon, 1973.

There is significant risk that the much greater duration and rainfall volume design storms, e.g., the 24-hour storms for the 10-25- and 100-year recurring events, will cause still more dangerous flooding. Without the buffering effects of stormflow control using detention storage, the road project cannot protect properties from storms substantially less than the design storm volumes. Recall that the Design Report is theoretically based on the CWS 2007 surface and stormwater standards. Photos of flooding on the property, for an actual storm comprising far less total rainfall volume than the design storms in the Drainage Report, are shown in Appendix A – Photos A1 through A7.

b) Loss of Natural and Previously Existing Upstream Detention. This can be seen when comparing previously existing ground elevations with final ground elevations shown in County's 100 percent complete Drawing Sheet 24A in Appendix D.²³ Natural and historical storm water detention and storage in the upstream subbasin have been substantially reduced by about 72 percent in this profile section alone.

Road widening construction extends north and south of the County's culvert on the upstream (east) side. This has the effect of filling storage depressions, increasing impervious areas through construction activities, blocking stormflows and rapidly funneling increased discharges into the culvert emptying onto the property.

c) Effects of Increased Stormflows Disregarded. Washington County altered subbasins upstream of the property causing more flow to be directed into the culvert discharging to the property from the widened road project. Compare existing and proposed hydrology maps from the Drainage Report excerpted in Appendix E.²⁴

It can be seen in Appendix E – Drawing HYD1 that the stormwater subbasin 17S, upstream of the culvert 15L discharging to the property, has been significantly altered. This is apparent when comparing the constructed project as proposed with its new subbasin 56S consisting significantly of road widening fill. This new subbasin blocks and funnels increased storm flows from the altered subbasin 17S, which is now called 59S.

The County is required to evaluate future full build-out conditions in the subbasin above the property but the effects of these increased flows is completely neglected in the Drainage Report.

d) Stormwater Requirements are not Applied with Due Diligence. Washington County's approach to drainage requirements was intended to be based on design standards identified in CWS 2007. However, the County did not practice due diligence and did not perform a Downstream System evaluation as necessary for consistency with CWS 2007. No complete assessment of the drainage through the property was undertaken for the culvert discharge emanating from the Boones Ferry Road widening project.

²³ See also Sheet No. 24 (Construction Notes for Sheet No. 24A).

²⁴ See Drawing Sheet Title HYD1 (existing conditions hydrology) on PDF Page 35 of 152; and Sheet Title HYD2 (proposed conditions hydrology) on PDF Page 36 of 152.

²⁵ CWS 2007, see Chapter 2, Page 12 under the 2.04.2 subsection heading "3. Review of Downstream System", i.e., this is subsection 2.04.2.3.

Comparisons between CWS 2007 and potential COW 2014 stormwater standards are provided in Section 5 –Detailed Issues as they are significant.

The criteria cited in CWS 2007, states that "Peak runoff rates shall not exceed predevelopment rates" but the County did not carry out an accurate comparison of historical, existing and proposed stormflows to make this determination for the discharge passing through its road culvert.

The Drainage Report did not assess the flood impact on stormwater quality for sensitive wetlands downstream of the culvert including the property, the wetlands surrounding Basalt Creek and the Coffee Lake Creek wetlands. These sensitive areas lie in unincorporated Washington County and the City of Wilsonville.

The Drainage Report did not employ LIDA in relation to the road culvert discharging onto the property. The catchment above the culvert was substantially altered as part of the road widening project resulting in elimination of existing and natural stormwater storage, enlarged impervious area and increased peak runoff. Stormflow inlet capacity to the culvert was substantially increased, which is inconsistent with the LIDA priority in CWS 2007 to "minimize stormwater runoff". ²⁷

A number of significant issues arise when the Boones Ferry Road drainage impact is compared to potential Wilsonville stormwater permit requirements. For this comparison, the *Stormwater Retrofit Plan* (COW 2015) that relates to the City of Wilsonville NPDES Municipal Separate Storm Sewer System (MS4) permit is referenced herein.²⁸

²⁶ CWS 2007, see Chapter 4, Page 6, subsection 4.03.3, under item "b".

²⁷ CWS 2007, Chapter 4, Page 17, subsection 4.07.1, "Low Impact Development Approaches (LIDA)" 2nd sentence under "Purpose".

²⁸COW 2015, Stormwater Retrofit Plan, NPDES MS4 Support.

5. Detailed Issues

There are a number of significant problems affecting the Lucini property because of the road widening project. These issues follow from the previous Section 4 - Synopsis of Significant Issues and are discussed in detail below.

a.) Inconsistent Drainage Report

Important causes of Drainage Report inconsistencies are discussed in this section. Under the Drainage Report assumptions that storm runoff flows are reduced²⁹, the culvert storm flow capacity is inconsistently increased by about 440 percent. Moreover, the storm inlet capacity in the altered subbasin above the property is substantially increased. Natural and historical storm water detention and storage in the upstream subbasin have been extensively reduced by about 72 percent in the stormwater inlet section alone.³⁰ This elimination of stormwater storage is also carried out throughout the subbasin. Flows are now conveyed to the storm inlets, and hence onto the property, much more rapidly than prior to the widening project. Moreover, although CWS 2007 standards require evaluation of full build-out conditions for the subbasin above the property, this condition has been alarmingly omitted in the Drainage Report.

Review of Downstream System was Not Performed by the County

No downstream system review was performed for the property receiving County stormflows. The Drainage report indicates it is relying upon CWS 2007 for storm flow evaluation methodology which requires a "Review of Downstream System". However, no Downstream System review exists in the Drainage Report for the County's storm water culvert flow across the property.

Stormflows to the Lucini Property are Increased, not Decreased

The Drainage Report assumes that, because some acreage above the Lucini property is reduced, the stormflow rates to the property are also reduced. Flow rates are actually increased over those reported, however. This is because the Drainage Report disregards basic hydrologic components, such as increased storm water conveyance and loss of storm water storage, that increase peak storm water flow rates. The report also neglects the effects of increased runoff from future development. The Drainage Report fails to acknowledge these defects increasing the risk of flooding on the property.

New Road Culvert has Increased Capacity Inconsistent with Supposed Reduced Flows The culvert storm flow capacity is increased from about 1.5 cubic-feet-per-second to about 6.6 cfs. ³¹ This is an increase in stormflow capacity of 440 percent from the old drainage system to the new. This is a contradictory condition because, storm flows are

²⁹ See Drainage Report on Page 11, Table under heading 5.5 - Hydrologic Analysis Results. Specifically, see the table results for Discharge Location 15L that indicates a reduction in stormflows.

³⁰ For the road widening project, see the County's 100 percent complete Drawing Sheet 24A. See also Sheet No. 24 (Construction Notes for Sheet No. 24A). These drawing sheets are also contained in Appendix D of this review.

³¹ Manning's equation is used to calculate the storm flow capacity of the old concrete pipe (n=0.013, pipe flowing half full) and the new plastic pipe (n=0.009, pipe flowing full). See Linsley and Franzini, Water Resources Engineering (1979). Note that "cfs" is cubic-feet-per-second.

claimed to be reduced, but the County is increasing storm flow capacity of the culvert draining the upstream subbasin.

CWS 2007 limits the height of water (headwater) above the culvert invert elevation:³²

- b. Hydraulic Design
- 1. Culverts will be designed to safely pass the 25-year flow.
- 2. Headwater [HW]
- A) For new culverts 18 inches in diameter or less, the maximum allowable design storm event headwater elevation (measured from the inlet invert) shall not exceed two times the pipe diameter [D] or three times the pipe diameter with a seepage collar unless an exception is approved by the District or City.

 [Bold by LEA]

The "two [2] times the pipe diameter" CWS 2007 requirement is because greater ratios bring about very high flow velocities discharging from the culvert. This results in supercritical stormflows, which cause adverse conditions including hydraulic jump and excessive erosion.

The 100 percent design drawing³³ shows that the HW/D ratio is over 5 to 1, which is substantially greater than the 2 to 1 ratio identified in CWS 2007.

Flooding problems at the Lucini property are additionally aggravated because existing and future development conditions were disregarded in the Drainage Report. As CWS 2007 standards require:³⁴

- 5.05 Storm Conveyance Design Considerations
- 5.05.1 Design for Full Build Out

Storm drainage facilities shall be designed and constructed to accommodate all future full build-out flows generated from upstream property.

The Drainage Report made no attempt to evaluate the full build-out stormflow conditions that will affect the property. Increased discharges from future development, through the County's road culvert, will result in worse flooding than presently exists.

New Storm Inlet Capacity has been Increased Inconsistent with Supposed Reduced Flows The storm inlet capacity has been substantially increased. Stormflows are now conveyed to the storm inlets, and hence onto the property, much more rapidly than prior to the Boones Ferry Road widening project. This is a contradictory condition setup in the Drainage Report because, storm flows are claimed to be reduced, but the County is increasing the storm flow capacity of the inlets draining the upstream subbasin.

³² CWS 2007, Page 18 in Chapter 5, Section 5.07.6 – Culverts (Storm Only), see item b. Hydraulic Design.

³³ See Sheet No.179 of 274 of the 100 percent drawings, this is drawing labeled 24A – Storm Outfall #5: Plan and Profile. The headwater (HW) for the new culvert design is top of catch basin (CB) elevation 335.62 feet minus the culvert pipe invert elevation of 330.61, which equals 5.01 feet. Thus, the HW/D ratio is 5.01 for the 1-foot diameter (D) culvert pipe. That is a 5 to 1 ratio.

³⁴ CWS 2007, Chapter 5, Page7, see 1st paragraph in section 5.05.

Stormwater Quality is Reduced

The Drainage Report inaccurately estimates stormflows draining to the property and hence under-predicts suspended solids loadings. This is inconsistent with the report's claim that stormwater quality conditions and concentrations are in compliance with standards. With increased stormflows, degradation of water quality from increased suspended solids is a high risk factor (see Photos A1 and A7).

Design Storm Precipitation Data versus Actual Rainfall

The Drainage Report used the CWS 2007 design storm for designing the Boones Ferry Road drainage. The CWS 2007 relies upon precipitation data from regional NWS stations at Hillsboro, McMinnville, Portland and Salem. However, while the NWS stations showed only trace amounts of precipitation, the amount of rainfall causing flooding in the Boones Ferry Road vicinity was significant. Other nearby areas such as Tualatin and King City reported flooding. Reports of rainfall amounts as part of the storm included Sherwood at 0.7 inches. Reports of rainfall amounts as part of the storm included Sherwood at 0.7 inches. This amount characterizes instantaneous and hourly rainfall intensity for periods corresponding to the peak rainfall. At the time of the flooding on the property, the NWS stations reported only trace amounts with the exception that McMinnville recorded a small amount at 0.13 over a two hour period.

b.) Loss of Natural and Previously Existing Upstream Detention

Natural and historical storm water detention and storage in the upstream subbasin have been drastically reduced. Storm water flows that once slowly found their way from the adjacent subbasin onto the Boones Ferry Road alignment are now excluded, by the fill from the widened roadway, and are routed directly into the culvert draining to the property. Comparing the previously existing ground elevations with the final ground elevations. See Drawing Sheet 24A that is the Plan and Profile for Storm Outfall #5.37

Erosion control measures, required in the CWS&COW 2008 planning document³⁸, are neglected for the Lucini property and other affected downstream properties including receiving wetlands. Drainage basin areas significantly impacted by the Road Improvement construction equipment activity and material storage are associated with vegetation removal, grading, leveling, soil compaction, gravel roads and pads, and other factors affecting the road project. These basin alterations were not restored to preconstruction drainage conditions. The degradation of the upstream watershed, above the Lucini property and draining to the road culvert, was not identified in the Drainage Report.

³⁵ KPTV, <u>Thousands Lose Power as Storm Brings Thunder</u>, <u>Lightning to Metro Area</u>, FOX 12 Meteorologists, May 18, 2015

³⁶ FOX12 Weather Blog, <u>11 pm: Storms in SW Metro Only</u>, from Meteorological Assimilation Data Ingest System (MADIS), for May 18, 2015.

³⁷ For Sheet No. 24A, see also Sheet No. 24. These drawings are Sheet Nos. 178 and 179 (of 274 total drawings) contained in the County's 100% plan submittal.

³⁸ CWS&COW (2008), Erosion Prevention and Sediment Control – Planning and Design Manual.

c.) Effects of Increased Stormflows Disregarded

Washington County altered subbasins upstream of the Lucini property causing more flow to be directed into the culvert discharging to the property from the widened road project. Compare existing and proposed hydrology maps from the Drainage Report excerpted in Appendix E.³⁹

It can be seen in Appendix E – Drawing HYD1 that the stormwater subbasin 17S, upstream of the culvert 15L discharging to the property, has been significantly altered. This is apparent when comparing the constructed project as proposed with its new subbasin 56S consisting of road widening fill. This new subbasin blocks and funnels increased storm flows from the altered subbasin 17S, which is now called 59S.

For the existing condition subbasin 17S shown on Sheet HYD1, the original 40-foot long 12-inch diameter culvert drains through the property to the wetlands surrounding Basalt Creek. This culvert is identified as Discharge Location 15L on Sheet HYD1 for the original condition hydrology. Subbasin 17S and adjacent subbasins have seen notable development in the form of retaining walls, road fill, construction activity, extensive gravel pads, driveways and access roads, and other activities that increase impervious surfaces.

For the proposed condition subbasin 59S shown on Sheet HYD2, the proposed and now constructed 83-foot long 12-inch diameter culvert is over twice the length of the original pipe intended to drain through the property. The altered culvert (55L in Sheet HYD2) that drains subbasin 59S has expanded inlet flow capacity as exhibited by the two new catch basins identified and shown on Drawing Sheet 24A in Appendix D.⁴⁰

d.) Stormwater Requirements are not Applied with Due Diligence
Washington County's approach to drainage requirements was intended to be based on design standards identified in CWS 2007. However, the County did not perform a Downstream System evaluation as necessary for consistency with CWS 2007. All No complete assessment of the drainage through the property was undertaken for the culvert discharge emanating from the Boones Ferry Road widening project.

Stormwater Standards are Similar for Clean Water Services and Wilsonville Wilsonville's stormwater management standards are very similar to CWS 2007. Both CWS and Wilsonville stormwater standards have comparable requirements for Downstream System evaluation for areas receiving drainage from the road project (see COW 2014 standards in Section 301.11.02 under "5. Review of Downstream System"). Additional comparisons between CWS 2007 and COW 2014 stormwater standards are provided throughout this subsection.

³⁹ See Drawing Sheet Title HYD1 (existing conditions hydrology) on PDF Page 35 of 152; and Sheet Title HYD2 (proposed conditions hydrology) on PDF Page 36 of 152.

⁴⁰ For Sheet No. 24A, see also Sheet No. 24. These drawings are Sheet Nos. 178 and 179 (of 274 total drawings) contained in the County's 100% plan submittal.

⁴¹ CWS 2007, see Chapter 2, Page 12 under the 2.04.2 subsection heading "3. Review of Downstream System", i.e., this is subsection 2.04.2.3.

Hydraulic Design Criteria

The criteria cited in CWS 2007, states that "Peak runoff rates shall not exceed predevelopment rates" but the County did not carry out an accurate comparison of historical, existing and proposed stormflows to make this determination for the discharge passing through its road culvert. The COW 2014 design standards in Section 301.11.02 also limit peak flow rates between pre and post development: 43

10. Flow Control Requirement: The duration of peak flow rates from post-development conditions shall be less than or equal to the duration of peak flow rates from pre-development conditions for all peak flows between 42% of the 2-year storm peak flow rate up to the 25-year peak flow rate, based on a 2- through 25-year, 24-hour return storm. Specifically, the 2-year post-development runoff rates shall not exceed 42% of the 2-year predevelopment runoff rates; the 10- and 25-year post-development runoff rates shall not exceed the respective 10- and 25-year predevelopment runoff rates.

Discharges to Sensitive Areas

The Drainage Report did not assess the flood impact on stormwater quality for sensitive wetlands downstream of the culvert including the Lucini property, the wetlands surrounding Basalt Creek and the Coffee Lake Creek wetlands. These sensitive areas lie in unincorporated Washington County and the City of Wilsonville.

Flood conditions, as identified in this review, adversely affect storm water quality on the property as well as the downstream drainage comprised of sensitive areas. Storm flood flows, laden with suspended solids and potentially other associated chemical concentrations, reduce water quality entering the sensitive wetland areas surrounding Basalt Creek. This wetland complex subsequently drains into the Coffee Lake Wetlands and Coffee Lake Creek⁴⁴ in the City of Wilsonville. The CWS 2007 standards require:⁴⁵

c. Discharges to sensitive areas shall maintain the hydro period and flows of pre-development site conditions to the extent necessary to protect the characteristic functions of the sensitive area.

The Drainage Report does not allow for protecting sensitive areas downstream of the road culvert and Lucini property. No Downstream System evaluation was conducted.

The COW 2014 in Section 301.11.02 - Stormwater Management Facility Design Standards under "a. Purpose" also indicates conditions where stormwater management facilities are required because of increased stormwater runoff and pollution: ⁴⁶

a. Purpose

New development and other activities that create new impervious surfaces or increase the amount of stormwater runoff or pollution leaving the site are required to construct or fund

⁴² CWS 2007, see Chapter 4, Page 6, subsection 4.03.3, under item "b".

⁴³ COW 2014, see Section 301.11.02 - Stormwater Management Facility Design Standards, Page 68, paragraph under "10. Flow Control Requirement".

⁴⁴ Sections of Coffee Lake Creek in Wilsonville are also known as Seely Ditch.

⁴⁵ CWS 2007, see Chapter 4, Page 9, subsection 4.05.4 for Water Quality Treatment Requirements, under "Design Considerations" item c.

⁴⁶ COW 2014, see Section 301.11.02 - Stormwater Management Facility Design Standards, Page 62, paragraph under "a. Purpose"

permanent stormwater management facilities to reduce contaminants entering the stormwater and surface water system.

Omission of Low Impact Development Approaches

The Drainage Report claims to follow CWS 2007 that recommends Low Impact Development Approaches (LIDA). 47

Generally, the first priority for LIDA is to minimize stormwater runoff generated from urban development to reduce hydrologic impacts.

The County did not employ LIDA in relation to the road culvert discharging onto the property. The catchment above the culvert was substantially altered as part of the road widening project resulting in elimination of existing and natural stormwater storage, enlarged impervious area and increased peak runoff. Stormflow inlet capacity to the culvert was substantially increased inconsistent with the LIDA priority in CWS 2007 to "minimize stormwater runoff". Channel area downstream of the road culvert was opened up and vegetation removed increasing the reducing time to peak flows and increasing stormflow capacity onto the property.

Similarly, COW 2014 in Section 301.11.02 under "d. Design Criteria" indicates stormwater conditions for Low Impact Development (LID) under item "2": ⁴⁸

2. The goal is to prioritize the use of LID facilities to the MEP [Maximum Extent Practicable] to mimic the natural stormwater runoff conditions of the pre-developed site and recharge the groundwater. The City's strategy to meet this goal is to incorporate LID principles in site planning and facility design.

Potential Impact of Wilsonville's Retrofit Plan

A number of significant issues arise when the Boones Ferry Road drainage impact is compared to potential Wilsonville stormwater permit requirements. For this comparison, the *Stormwater Retrofit Plan* (COW 2015) that relates to the City of Wilsonville NPDES Municipal Separate Storm Sewer System (MS4) permit is referenced herein.⁴⁹

⁴⁷ CWS 2007, Chapter 4, Page 17, subsection 4.07.1, "Low Impact Development Approaches (LIDA)" 2nd sentence under "Purpose".

⁴⁸ COW 2014, Section 301.11.02 - Stormwater Management Facility Design Standards, Page 64, under "d. Design Criteria" see item "2".

⁴⁹COW 2015, Stormwater Retrofit Plan, NPDES MS4 Support.

Regional Facility Needed. Issues include the need to use regional facilities and LID practices to achieve pollutant reduction. As stated in the retrofit plan (bold by LEA):⁵⁰

The City's SMP [Stormwater Master Plan, May 2012] references stormwater policies that comprise the **major objectives for the City's stormwater retrofit strategy**. The stormwater policies help support the selection, prioritization, and installation of CPs for improved water quality. Relevant policies and implementation measures are listed below.

- EXP-5: The City of Wilsonville shall use a combination of regional and onsite facilities to achieve the recommended pollution reduction outlined in this Stormwater Master Plan.
 - Implementation Measure EXP-5a: Locate regional facilities downstream of existing development where suitable to protect existing wetland and riparian areas.
- LID-1: The City shall prioritize the implementation of Low Impact Development (LID) techniques and habitat-friendly development practices throughout the City for new development, redevelopment, and retrofitting of existing development.

The lack of upstream detention to reduce peak storm flows discharging to the property is a significant problem with the constructed road widening project. A regional facility intended to rectify historical errors in stormflow control affecting the property is supported by the retrofit plan.

Peak Stormflow Reduction Controls. The retrofit plan states the need to:51

Implement recently adopted stormwater design standards [COW 2014] for new and redevelopment projects that promote infiltration of stormwater and address peak flow control, volume reduction, and flow duration.

Peak stormflow controls were not implemented for the culvert discharging onto the Lucini property.

Stormflow Erosion Assessment. Instream erosion and potential future erosion issues are another concern of the retrofit plan, which identifies the need to:⁵²

• Complete the hydromodification assessment for Boeckman Creek, Coffee Lake Creek, and applicable tributaries. The assessment will include verification of current instream erosion issues, areas with high future erosion potential, and evaluation of the feasibility of retrofit projects (including those identified in the SMP).

Because of the lack of stormflow control upstream of the property, and the likelihood of substantial development in the catchment areas draining to the road culvert, a high future erosion potential exists downstream of the road project into the wetlands surrounding Basalt Creek and draining subsequently into Coffee Lake Creek.

Erosion Prevention and Control. The retrofit plan calls for targeting erosion problems at culvert outfalls:⁵³

⁵⁰Ibid, Page 2, subsection 2.1 Stormwater Policies, 1st and 2nd bulleted items.

⁵¹ Ibid, Page 3, subsection 2.3 Water Quality Programs, 2nd bulleted item.

⁵² Ibid, Page 4, last bulleted item in subsection 2.3 Water Quality Programs.

⁵³ Ibid, Page 6, 1st and 3rd paragraphs in subsection 3.4 Erosion Prevention and Control.

The City's SMP includes a number of projects that target erosion problems at outfalls and along the stream corridors. Areas of active erosion are assumed to be, in part, due to the increase or excess stormwater runoff volumes discharging through the outfall or in the stream channel. Active erosion areas result in the transport of excess sediment loads into the stream channel, increasing turbidity and reducing instream water quality. Sediment loads can occlude stream beds and impact fish and other stream habitats. Erosion at outfalls can also lead to site and slope stability issues.

Also,

Preferred Stormwater Retrofit Strategy

The preferred strategy to prevent erosion is to retrofit outfalls with known and active erosion problems. For instream erosion issues, targeted channel excavation and restoration activities, including planting and vegetation enhancement to reduce scour potential, shall be conducted. The project identification efforts (see Section 4.1) and the project prioritization efforts (see Section 4.2) include water quality retrofit projects that incorporate erosion prevention.

The culvert that outfalls onto the Lucini property from the road widening project has caused significant flooding and erosion on the property as shown in the Photos A1 through A7 in Appendix A of the review.

Appendices

Appendix A: Downstream System Carrying Stormflows from the SW Boones Ferry Road Widening Project (Photos by John and Grace Lucini) Excessive flood flows on May 18, 2015 overwhelm the Lucini property

Photo A1. Storm flood waters directed to the Lucini property from Boones Ferry Road.



Photo A2. Channel conveying Boones Ferry Road drainage across the Lucini property.



Photo A3. The junction for the channel and driveway pipe are overwhelmed and flood waters drain into the front yard toward the house.

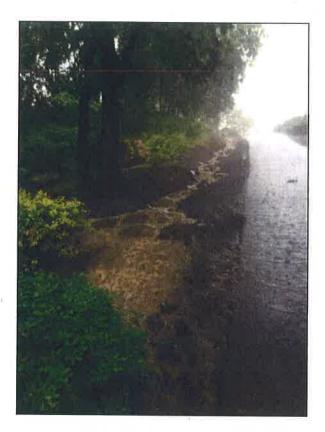


Photo A4. Flooding storm water ultimately found its way into the lower driveway area.



Photo A5. The front lawn drained its flood waters into the walkway and porch in front of the house.





Photo A6. The front walkway steps drain into the lower driveway and garage area.

Photo A7. Flooding stormwater ultimately found its way into the lower driveway and garage area.



Appendix B

Appendix B: New Storm Drainage Facilities Upstream of the Property (Photos taken by Dave LaLiberte of LEA on May 26, 2015)

Drains Adjacent Subbasins to the East of the Widened Road Alignment

Photo B1. New Stormwater Inlet #1 (North).



Photo B2. New Stormwater Inlet #2 (South).



Photo B3. New culvert outlet upstream of the Lucini property. This view looks east toward Boones Ferry Road.



Photo B4.

Looking northerly at the widened road. Note the retaining wall and raised gravel areas draining to the culvert. The curb on the east edge of the road (on right) now blocks the adjacent catchment stormflow. This photo was taken by LEA on July 16, 2015.

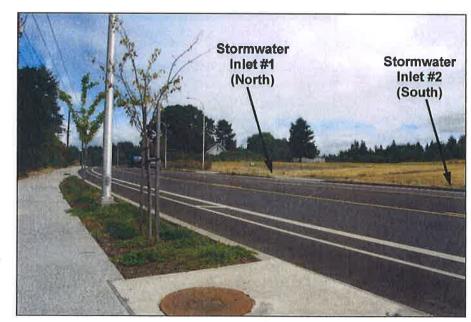
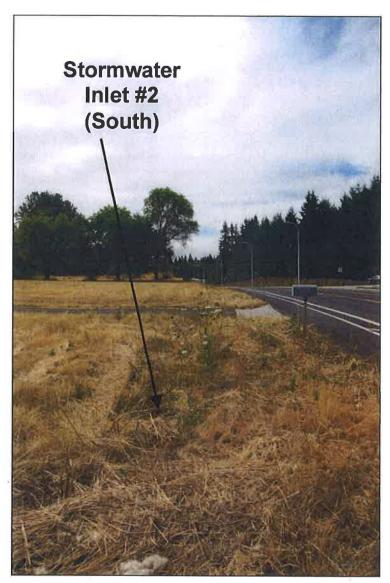


Photo B5. Looking southerly at widened road. The new stormwater Inlet #2 (South) is in the foreground. The curbing on the east edge of the road (on left) now blocks the adjacent catchment stormflow and redirects it to the culvert discharging to the Lucini property. This photo was taken by LEA on July 16, 2015.



Appendix C: Original Drainage of Storm Water from SW Boones Ferry Road (Photos taken by John & Grace Lucini on Dec. 20, 2012)

Adjacent Subbasins to the East Drain into the Road Alignment

Photo C1. Drainage from the original Boones Ferry Road (December 2012). Looking northerly with ponding on the eastern (right) portion of the road. The white fence line of the Lucini property can be seen in the distance in the upper left of the photo, i.e., looking to the northwest.

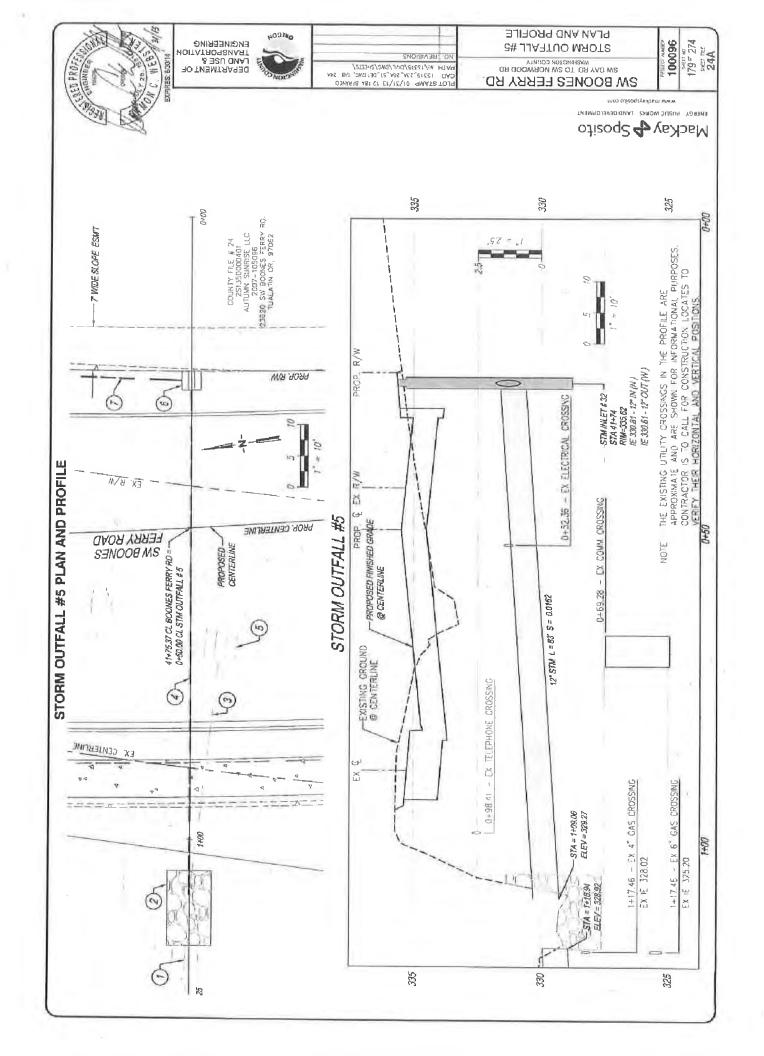


Photo C2. At top of photo is the original Washington County culvert outlet under Boones Ferry Road discharging to the west (December 2012). This is an old concrete pipe. The pipe at the lower-left portion of the photo is the plastic pipe draining onto the Lucini property.



Appendix D

Drawing Profile of Boones Ferry Road Culvert Affecting the Lucini Property From 100% Plan Submittal by Washington County



EX 12" CMP STM IE=328.92

ODOT CLASS 30 RIPRAP PAD 8'LONG x 7 WIDEX 1.5'DEEP PLUS Y ABOVE PIPE CROWN (~)

EX 12" CONC PIPE L=40' S=0,0166

12"STM SEWER L = 83" S = 0.0162 (q)

TOG 334.21 IE 329.94-12" OUT (W) 83 23

(v)

(D)

STM CB # 32 (DITCH INLET)

@ STA 41+24 (24' RT)

TC 335.62

IE 330.81 - 12" IN (N)

IE 330.65 - 12" COUT (N)

12"STW L=77" S= 0.0101 **(**

> толойговуютьем мим ENERGY PUBLIC WORKS LAND DEVELOPMENT

100096 24

MacKay 💠 Sposito







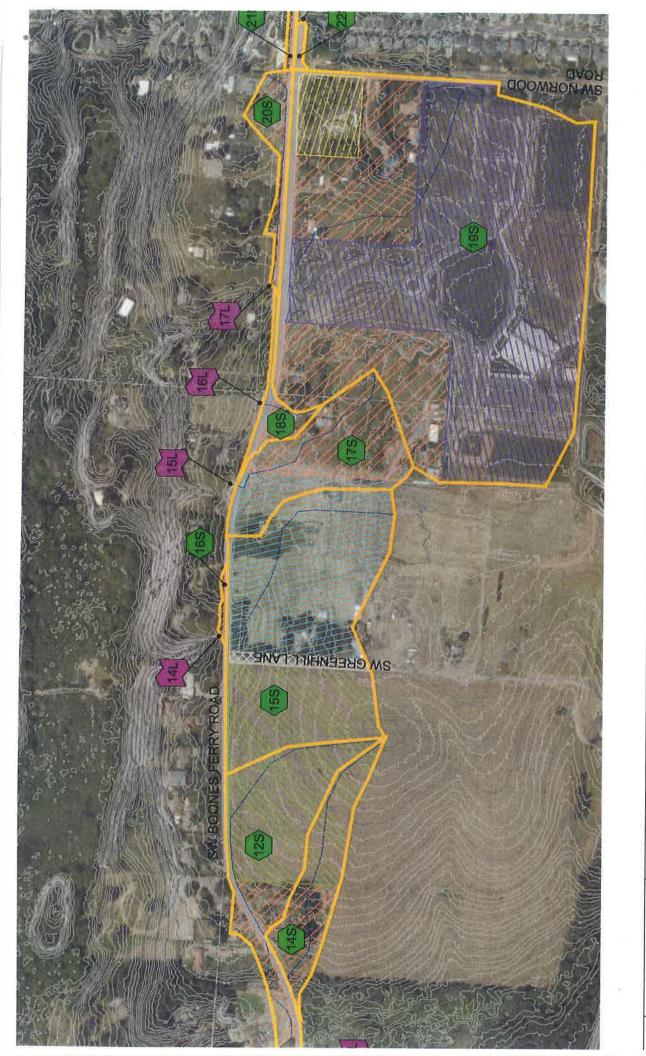
PLOS BATAMR. 01/31/13 12:184 BIRANCO CAD: 15:18:22a_22d_512_pr.,0wc, 15:8: 24 TATH ##\18:18/cwl_1mo/siee1/24

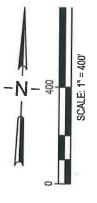
CONSTRUCTION NOTES

SW BOONES FERRY RD. WASHINGTON COUNTY WASHINGTON COUNTY

Appendix E

Hydrologic Maps from the Drainage Report Drawings HYD1 (existing, PDF page 35/152) and HYD2 (proposed, PDF page 36/152)





CONTRIBUTING	SUBBASINS	105	115	125	135,145	155, 165	175
DOWNSTREAM RECEIVING ENTITY	-=	EXISTING STORM DRAIN (CITY OF WILSONVILLE) 10S	EXISTING STORM DRAIN (CITY OF WILSONVILLE) 11S	MISC SURFACE FLOW EXISTING DRAW, WEST	MISC SURFACE FLOW EXISTING DRAW, SOUTHEAST	EXISTING RAVINE, WEST	EXICTING DIDE CONVEYANCE WEST
PRIMARY SITE	CONVEYANCE	GUTTER FLOW	GUTTER FLOW	MISC SURFACE FLOW	MISC SURFACE FLOW	CULVERT(S)	CI II VERT/C\
\RGE	NO!						

From: <u>G Lucini</u>

To: <u>Aquilla Hurd-Ravich</u>; <u>Cindy Hahn</u>; <u>Bateschell, Miranda</u>

Subject: Basalt Creek Concept Planning - Questions
Date: Monday, December 07, 2015 6:02:07 PM

Hi Aquilla, Cindy, and Miranda,

Hope you all had a good Thanksgiving,

I am trying to keep up to date on to the Basalt Creek Projects.

I thought there was going to be a Joint Cities Meeting for the Basalt Creek Concept Planning scheduled for Dec. 16th. Since I don't see this listed on either Council's calendar, nor posted on the BasaltCreek.com website- has it been postponed?

Either way- it might be helpful if the appropriate information was posted on BasaltCreek.com—since this is a very busy time of year for many people. It would also help avoid confusion between the November Basalt Creek Concept Plan Information Update Letter which announced the Dec. 16th meeting--- and the lack of any mention on the BasaltCreek.com website- or either City's website.

I also wanted to let you know about the environmental studies which are beginning for evaluating the Grahams Ferry to Boones Ferry Connector.

As you may know, ODOT received funding for studies, and started to do preliminary on site evaluations.

On 11-23-15 Russell Knoebel brought a group by the house. According to Russell,

"The County is scheduled to hire a consultant in the next few months to start environmental work on this project.

At this point ODOT would like to have their environmental experts take a look at the area to determine the environmental concerns for the area"

In addition to Russell there were the following people who attended the onsite:

Renus Kelfkens WA County Project Manager renus_kelfkens@co.washington.or.us 503 846 7808

 $\label{eq:michele-R.THOM@odot.state.or.us} Melissa Hogan, Regional Environmental Coordinator - \underline{Melissa.J.HOGAN@odot.state.or.us} \\ Thomas McConnell, Environmental Project Manager - \underline{Melissa.J.HOGAN@odot.state.or.us} \\ Thomas McConnell - \underline{Melissa.J.HOGAN@odot.state.or.us} \\$

Thomas.E.MCCONNELL@odot.state.or.us

This causes me to ask:

- Should the environmental evaluation indicate difficulties with the location of the Grahams
 Ferry Road and Boones Ferry Road Connector (as currently situated near the Greenhill Lane
 intersection) how will this impact the Basalt Creek Concept Planning being done by
 Wilsonville and Tualatin?
- Hasn't the location of the Connector been an assumed criteria and a basis upon which most

of the concept planning pivots upon?

- Will agreements made within the next couple of months between Tualatin and Wilsonville and prior to the findings of the environmental assessment be reasonable? Appropriate?
- Will the same situation exist regarding the location of the connector ---prior to the receipt of basic geotechnical assessments?

Looking forward to hearing from you. Grace

From: <u>G Lucini</u>

To: <u>Aquilla Hurd-Ravich</u>

Subject: Storm Water on Lucini Property # 1st of 3

Date: Monday, December 14, 2015 10:49:14 PM

Attachments: 2015 12-7 Outfall #5 Looking west towards Lucini-email.mp4

2015 12-7 North side of driveway-downstream conduit- Labled.jpg

2015 12-13 Water Level Behind House After Rains.JPG

Hi Aquilla,

Received your phone message when we returned home this evening.

We appreciate your concern in checking on the conditions of the water runoff coming on to our property after the rain storms this last week.

We weren't flooded this week, but there is a significant volume and velocity of water coming onto our property.

I attempted to send a batch of photos and videos in an email, but due to size limitations at Tualatin City email addresses the email bounced back. I will send 3 smaller batches.

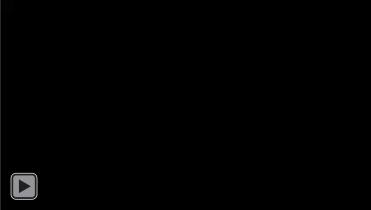
Photos may provide one of the best methods to share the drainage flows which come onto our property. John took a few photos and videos on Monday 12-7-5 which are attached.

I think you can understand our continued concerns.

Thanks for your concern.

John and I plan to attend the Joint Cities Meeting on Basalt Creek Concept Planning on Wed. It sounds from your last email that we will not see you there. Hopefully we will see you next time. Hope you have an enjoyable holiday.

Grace









Attachment H3:

Public Comment Record 2016



From: Karen

To: <u>Aquilla Hurd-Ravich</u>

Subject: Re: Contact Form Submission from Karen Alvstad

Date: Tuesday, January 12, 2016 8:42:23 AM

Aquilla,

I do appreciate the complexity of such a project. My husband and I have attended numerous city council and public meetings including the last one where the the councils could not vote on the boundary due to a parliamentary detail where the meeting hadn't been correctly "labeled". Have the councils now voted? Again I ask if there is any sort of deadline for submission of the plan to Metro?

Thank you,

Karen Alvstad

Sent from my iPad

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> On Jan 7, 2016, at 1:14 PM, Aquilla Hurd-Ravich < AHURD-RAVICH@ci.tualatin.or.us> wrote:
```

> Hi Karen,

> Thank you for the comment and for following the Basalt Creek project. The project team is diligently working on the next steps and a timeline which will include the public meeting. Now that we have clear direction on where the boundary should go we can continue putting together information for the public meeting.

```
> Thanks for contacting us,
> Aquilla Hurd-Ravich, AICP
> Planning Manager
> City of Tualatin | Community Development Department
> 503.691.3028 | www.tualatinoregon.gov.
> -----Original Message-----
> From: Karen Alvstad [mailto:kalvstad@hotmail.com]
> Sent: Wednesday, January 06, 2016 1:40 PM
> To: Cindy Hahn
> Subject: Contact Form Submission from Karen Alvstad
> Name: Karen Alvstad
```

> Email: kalvstad@hotmail.com

> Comments: Has Metro issued a deadline for Tualatin/Wilsonville councils to present a plan for Basalt Creek? If so, when? If not, do the cities have an idea of when it will be finished? When will landowners no longer be bound by the 20 acre minimum? Also, what is the holdup on the public meeting? Thank you, Karen Alvstad

From: <u>G Lucini</u>

To: Aquilla Hurd-Ravich; Bateschell, Miranda
Subject: Upcoming Meetings on Basalt Creek Planning?
Date: Sunday, February 07, 2016 12:17:15 PM

Hi Aquilla and Miranda,

Are there any meetings scheduled for Basalt Creek Concept Planning?

Looking at the BasaltCreek.com website I don't see anything scheduled for Feb or Mar, and we didn't receive any letters via snail mail as to the status of the project. A couple of people have asked me if I had heard anything as they had also check the website.....

Thanks, Grace Lucini From: Stephen Anderson
To: "Cindy Hahn"

Subject: RE: Basalt Creek Concept Plan Project - November Notice of Upcoming Public Meetings

Date: Wednesday, March 09, 2016 9:49:22 AM

Attachments: image003.png

Good morning, Cindy,

I have been following the Basalt Creek Concept development, but I have not been able to find a detailed map of the current 'Base Plan' on the web site. Is it available to look over? Would it be possible to have you send me a copy?

Since the planning work seems to have extended beyond the 24 month schedule, is there a new schedule of events (actual decisions, not planning sessions) for the Basalt creek area? This would be very helpful for landowners as well.

Thanks!

Steve

Stephen F. Anderson, P.E.



Sustainable and Efficient Power Production Stephen.Anderson@Frontier.com 503.297.8263

From: Cindy Hahn [mailto:CHAHN@ci.tualatin.or.us]

Sent: Friday, November 13, 2015 4:56 PM

To: Stephen Anderson

Cc: Aquilla Hurd-Ravich; Alice Cannon; Bateschell, Miranda; Neamtzu, Chris; Kraushaar, Nancy Subject: RE: Basalt Creek Concept Plan Project - November Notice of Upcoming Public Meetings

Hi Steve,

Thank you for your comments and for your interest in the Basalt Creek Concept Plan project.

The information about wells in the area going dry is interesting. If you are able to share any details about which properties are experiencing this problem, it would be helpful as we continue planning for the area.

Please do not hesitate to contact me if you have any other questions or need more information.

Cordially,

Cíndy Luxhoj Hahn, AICP

Associate Planner

City of Tualatin | Community Development Dept | Planning Division

Phone: 503-691-3029 | Email: chahn@ci.tualatin.or.us

From: Stephen Anderson [mailto:Stephen.Anderson@Frontier.com]

Sent: Wednesday, November 11, 2015 1:05 PM

To: Cindy Hahn

Subject: RE: Basalt Creek Concept Plan Project - November Notice of Upcoming Public Meetings

Hi Cindy,

Thanks for sending this along. It is helpful to know where we are on the progress of the study.

But it is also frustrating for the many landowners in the area that need to know what will happen with their land. And many others are anxious to get water and sewer services because their wells have gone dry. Those that are immediately south of Tualatin in the area near Knife River are especially harmed by the delay in decision making.

Is there any chance that Tualatin could move forward immediately to annex parcels piecemeal until the 'study' is completed? This would be a great help to many who have been kept in limbo for many years.



Stephen F. Anderson

03.297.8263

From: Cindy Hahn [mailto:CHAHN@ci.tualatin.or.us]

Sent: Tuesday, November 10, 2015 9:54 AM

Subject: Basalt Creek Concept Plan Project - November Notice of Upcoming Public Meetings



Greetings,

Thank you for your continued interest in the Basalt Creek Concept Plan project.

At the June 17, 2015 Joint City Council meeting, the Councils reviewed two options for a jurisdictional boundary and land uses in the Basalt Creek planning area. Since that meeting, the Cities of Tualatin and Wilsonville have considered alternative options with the goal of identifying a preferred alternative that satisfies the aspirations of both Cities and provides the best solution for the local community while meeting regional government requirements for concept planning. A meeting has been scheduled for the Tualatin and Wilsonville City Councils to continue the discussion of jurisdictional boundary and land use options for the planning area.

Upcoming Presentations:

• **Joint Tualatin and Wilsonville City Council Meeting**: December 16, 6:00-8:00 pm, Wilsonville City Hall (meeting materials posted December 9).

Future Engagement Opportunities:

Public Open House: A Public Open House is still being planned; however, a
date has not yet been determined for this event. More information will be
available in future email updates.

Please stay current on concept planning news by signing up for email updates on the project website at www.BasaltCreek.com. Information about upcoming meetings will be included in future email updates as well as on the website project calendar. If you have questions or desire more information, please feel free to contact:

Cindy Luxhoj Hahn, AICP

Associate Planner

City of Tualatin | Community Development Dept | Planning Division

Phone: 503-691-3029 | Email: chahn@ci.tualatin.or.us

From: G. Lucini
To: Jeff Fuchs

Cc: <u>Dominique Huffman; Aquilla Hurd-Ravich; Alice Cannon; Sherilyn Lombos; John Lucini</u>
Subject: Re: Concerns-- Resolution 5272-16 Implications Regarding Basalt Creek Area

Date: Thursday, April 07, 2016 7:16:10 PM

Hi Jeff.

Thank you for taking the time for your thoughtful response to my email.

As you are aware (as you have done an on site visitation to my property--- and have seen the manner in which storm water drainage flows on to my property)--- my husband and I are acutely concerned about the current storm water drainage system and will be particularly interested in any future plans for addressing storm water drainage in the future.

Thanks again, Grace Lucini

Sent from my iPhone

On Apr 7, 2016, at 1:29 PM, Jeff Fuchs < <u>ifuchs@ci.tualatin.or.us</u>> wrote:

Grace.

Thank you for your questions regarding our upcoming storm water master plan. I will try to answer your questions concisely and as clearly as possible, but please feel free to call me or send me an email if you need a better explanation or if you have other questions.

- <!--[if !supportLists]-->1. <!--[endif]-->Is it appropriate at this time for the Basalt Creek area to be included within the City of Tualatin Storm Water Master Plan? We believe this is the appropriate time to included the Basalt Creek Planning Area in the Storm Water Master Plan (SWMP). We included the Planning Area in the SWMP so we can evaluate existing and future drainage conditions for an area that will likely be annexed into Tualatin in the future. Evaluating storm water hydrology and hydraulics in the Basalt Creek Planning area will allow us to better plan for future infrastructure needs by understanding how much runoff to expect and anticipating where the runoff will flow based on existing topography and possible future land uses. Including this work in this contract will allow us to save money versus creating a future separate document just for the Planning Area.
- <!--[if !supportLists]-->2. <!--[endif]-->If it is appropriate to include the unincorporated area of Washington County into the Master Planning of the City of Tualatin, will property owners within the Basalt Creek area be given the same opportunities for exchanging information and concerns regarding storm water drainage as the stakeholders /CIOs in Tualatin? Yes.
- <!--[if!supportLists]-->3. <!--[endif]-->If so, will the same contractual requirements be provided for the inclusion of Basalt Creek Area property owners in the development of the Storm Water Drainage Master Plan- as currently provided the stakeholders/CIOs within Tualatin? The Public Involvement and Outreach plan for the SWMP has not yet been developed. Once the Consultant is under contract, we will work with them to develop a plan that includes all impacted neighborhoods including the Basalt Creek Planning Area. I expect this to be covered within the existing scope of work and fee.

As we move forward with the SWMP, we will keep you informed about meetings that affect the Basalt Creek Planning Area. Please feel free to call e or email me with any concerns or questions you have about this project or other engineering related items within the City or future annexation areas.

Thank you,

Jeff Fuchs, PE

City Engineer
City of Tualatin | Community Development
18880 SW Martinazzi Avenue
Tualatin, Oregon 97062-7092
o) 503.691.3034 | c) 541-788-6621
jfuchs@ci.tualatin.or.us | www.tualatinoregon.gov

From: G Lucini [mailto:grluci@gmail.com]
Sent: Tuesday, April 05, 2016 9:04 PM

To: Jeff Fuchs

Cc: Dominique Huffman; Aquilla Hurd-Ravich; Alice Cannon; John Lucini

Subject: Concerns-- Resolution 5272-16 Implications Regarding Basalt Creek Area

Hi Jeff,

I saw that you and Dominique Huffman have presented a Services Contract proposal to the Tualatin City Council to revise the city's Master Plan for Storm Water Drainage.

On the April 11, 2016 Tualatin City Council meeting agenda (posted 4-4-16), Resolution No. 5272-16 has been placed on the Council's Consent Agenda Item D # 3:

"Consideration of Resolution No. 5272-16 Authorizing the City Manager to Sign a Professional Services Agreement with Brown and Caldwell for the Development of Tualatin's Storm Water Master Plan"

Included within the scope of this contract are aspects which include the Basalt Creek Area:

- "drainage basin delineations for the Basalt Creek Planning Area and the SW Industrial Planning Area will be included. Development of drainage basins in these (undeveloped) areas will be based on existing concept planning documentation, proposed transportation corridors and existing topography".
- "Verification of areas with future development potential, including the Basalt Creek Planning Area and the SW Industrial Planning Area."
- "Calculate fees and surcharge: ...A designated surcharge will be developed for the Basalt Creek Planning Area"

The contract also includes provisions for soliciting input/ questionnaires from the City of Tualatin's local CIOs and other stakeholders within the City of Tualatin, as well as specifying meetings with CIO leaders. The contract also identifies other additional meetings with stakeholders and/or CIOs.

Currently property owners within the Basalt Creek Area are not within the City Limits of Tualatin. We do not have elected representation within the Tualatin City government and we have no official standing or voting rights within Tualatin's CIOs.

It is understood that in the future, with the completion and the eventual

implementation of Basalt Creek Concept planning, portions of the Basalt Creek Area will come under the jurisdiction of the City of Tualatin. However, at this time the exact areas to be annexed into the City have not yet been formally identified, nor has the annexation process been delineated.

It is unclear to me at this time if the property I own within the Basalt Creek Area will be under the jurisdiction of the City of Tualatin, or when/if it will be annexed into the City of Tualatin.

I therefore ask the following questions:

- <!--[if !supportLists]-->1) <!--[endif]-->Is it appropriate at this time for the Basalt Creek area to be included within the City of Tualatin Storm Water Master Plan?
- <!--[if !supportLists]-->2) <!--[endif]-->If it is appropriate to include the unincorporated area of Washington County into the Master Planning of the City of Tualatin-
 - <!--[if !supportLists]-->a. <!--[endif]-->Will property owners within the Basalt Creek area be given the same opportunities for exchanging information and concerns regarding storm water drainage as the stakeholders /CIOs in Tualatin?
 - <!--[if !supportLists]-->b. <!--[endif]-->lf so, will the same contractual requirements be provided for the inclusion of Basalt Creek Area property owners in the development of the Storm Water Drainage Master Plan- as currently provided the stakeholders/CIOs within Tualatin?

Additionally, as a property owner in the Basalt Creek Area- an area specifically identified within the proposed contract for the development/revision of the City of Tualatin Storm Water Master Plan, my husband and I, as "interested persons" are---specifically requesting to be provided Notice of any public meeting regarding the development, modification or inclusion of <u>any</u> plans for the Basalt Creek Area- including Storm Water Drainage under the State of Oregon Public Meeting Laws including ORS 192.60-690.

I look forward to hearing from you prior to the City Council Meeting on April 11, 2016 as to the concerns I have presented regarding the proposed services contract for revision/development of Tualatin's Storm Water Master Plan.

I am also looking forward to being provided Notice with the identification of the principal subjects to be covered of <u>each and all Public Meetings</u> regarding planning and/or development within the Basalt Creek Area- as I and my husband have requested in the past.

Regards,

Grace and John Lucini

From: Cynthia Ray

To: ahurd-ravich@ci.tualatin.or.us

Subject: Basalt Creek - Norwood Trees

Date: Sunday, May 01, 2016 7:36:53 AM

Dear Ms. Hurd-Ravich

I was unfortunately not able to attend the Basalt Creek meeting last week due to a scheduling conflict. I do however want to be sure to put my name on the list of those who do <u>NOT</u> want the trees removed and who want to do whatever it takes to keep the huge majestic evergreen fir/pine trees that parallel Norwood from the Horizon School campus to I-5 from being removed.

Not only to these trees provide a beautiful visual addition to the area, they also provide filtering of three huge pollutants; the dust, exhaust and noise from the I-5 traffic, something that in our day and age is <u>priceless</u>. Even if removed and "replaced" it would take decades to replace the environmental benefits they are now providing for free.

Please keep me on the list for all future events/information releases, etc., regarding these trees and the surrounding area.

Thank you Cynthia Ray From: <u>Diana Pompe</u>

To: <u>ahurd-ravich@ci.tualatin.or.us; bateschell@ci.Wilsonville.or.us</u>

Subject: Compliments to all

Date: Tuesday, May 03, 2016 11:41:34 PM

Hi there, I had a home listed on Day Road when your project started, so I signed up to receive your updates. I want to commend you both and the staff who sends out the informational updates. I have never been as well-informed for a project as you are keeping the Basalt Creek area informed. I have been extremely impressed by your updates. I've done a lot in Wilsonville and Sherwood since we came here in 1976. I used to write for the Wilsonville Times (prior to the Spokesman) and one of the tasks I had was to sit at city council on Mondays nights usually until 11 p.m. Then I wrote until 2 a.m., slept a few hours and headed into a business on Tigard's Main Street, the drop off spot for articles. I hope you aren't having to do that to keep us informed. But good job to all!! I've appreciated your reports.

Diana Pompe, Broker with MORE Realty, Inc. 14945 sw Sequoia Pkwy, #150, Portland, OR 97224

Dir: 503-625-5743 or dianapompe@gmail.com

www.HomesByMORE.com: 503-353-6673 or MORE

 From:
 Tom Re

 To:
 Karen Perl Fox

 Cc:
 Aquilla Hurd-Ravich

Subject: RE: Basalt Creek Concept Plan - Notice of Upcoming Meetings

Date: Friday, May 06, 2016 4:12:36 PM

Attachments: image001.png

image003.png

Karen -

Thank you very much for taking your time to respond to me.

Actually, either I'm very confused or missing something but either one is very frustrating to me. I'm hearing from the Fregonese Group annexation process could / should begin by end of this year (2016). My wife, who was able to attend the Open House, heard that realistically annexation application process will occur in February (2017).

Now, it sounds like summer of 2017? - Over a year from now?

And, a side note, not sure of the legality of annexation (and I will look into) but it seems a lot more efficient and logical to annex all the properties that want to be included at one time, not individually.

Thank you, Tom Re

From: Karen Perl Fox [mailto:kperlfox@ci.tualatin.or.us]

Sent: Friday, May 6, 2016 2:52 PM

To: Tom.re@comcast.net **Cc:** Aquilla Hurd-Ravich

Subject: RE: Basalt Creek Concept Plan - Notice of Upcoming Meetings

Tom:

Thank you for your inquiry. At this point, the beginning of annexation process for Basalt Creek area looks like it would start around Summer 2017. The annexation application timeframe is roughly about 6 months.

Following an approved annexation application, then the development application process can begin.

Does this provide you with the information you need?

Karen Perl Fox

Senior Planner
City of Tualatin | Community Development Department
503.691.3027 | www.tualatinoregon.gov.

From: Tom Re [mailto:tom.re@comcast.net] Sent: Thursday, May 05, 2016 2:35 PM

To: Lynette Sanford Cc: Aquilla Hurd-Ravich

Subject: RE: Basalt Creek Concept Plan - Notice of Upcoming Meetings

Hello Lynette & Aquilla: Thank you for the update.

I had to miss the Open House but my wife Kathy said it went well with some light at the end of the tunnel regarding annexation.

My understanding (I hope I got it correctly), from info from Fregonese and Assoc., is that application for annexation looks like the end / 1st of next year with application to develop soon to follow. Does that sound like a fair time frame?

Thank you, Tom Re

From: Lynette Sanford [mailto:LSanford@ci.tualatin.or.us]

Sent: Thursday, May 5, 2016 10:45 AM To: Brian Harper; Brian Sherrard (brian.sherrard@tvfr.com); Jim Clark (jlclark@bpa.gov); Karen Savage (Karen_savage@co.washington.or.us); Paul Hennon; Rappold, Kerry; Renus Kelfkens; Rich Mueller; Russell Knoebel; Stephan Lashbrook (<u>lashbrook@ridesmart.com</u>); Steve Adams (adams@ci.wilsonville.or.us); Timothy Wilson (timothy.j.wilson@odot.state.or.us); (Balfour.Linfield@gmail.com); (donherbstpainting@hotmail.com); (jmolen@hotmail.com); (<u>lloyd@meiselrockproducts.com</u>); Abe Turki; <u>aboloori@outlook.com</u>; <u>acharris1972@yahoo.com</u>; Adam Butts (adameb77@gmail.com); afk@nwnatural.com; akilstrom@pamplinmedia.com; al@ventureprop.com; Alan Aplin (aaplin@kerrcontractors.com); Albert Levit (levitrehberg@frontier.com); Alice Cannon; Andrew Young (andrew.young@nwnatural.com); andrew_hagman@hotmail.com; Andy Braun; Anne Kennedy (annekennedy604@gmail.com); Aquilla Hurd-Ravich; arrowjc@comcast.net; Art Sasaki (Art_Sasaki@msn.com); arva41@gmail.com; ballarche@frontier.com; Barry Leeuwen; 'bateschell@ci.wilsonville.or.us'; bberger22@hotmail.com; bbierwagen@parametrix.com; bburns@burnsbros.com (bburns@burnsbros.com); Ben Altman; Ben Altman (baltman@sfadg.com); Ben Bryant; BerBruk@aol.com; Bob Galati; bob.kanyer@sterling.net; bob_bramel@hotmail.com; bowen aggie@yahoo.com; Brian Clopton (brian@cloptonexcavating.com); Brian Kelley (brian.kelley@nwnatural.com); Brian May (bmay@republicservices.com); Brick Obye (brick@brixpaving.com); Bryan Cosgrove; bt 247@msn.com; Cameron Grile; carolynrmayer; Carrie Pak (PakC@CleanWaterServices.org); Cassandra Ulven; Catherine Holland; cathysnyder@frontier.com; cbchrisphiladelphia@gmail.com; cenloe@msn.com; chad@creeksidebiblechurch.org; chaserd2003; Cheryl Dorman; Christine Bazant; christinebazant@gmail.com; Cindy Hahn; cindy luczkow@co.washington.or.us; Clark & Steph Eisert; clrask@me.com; Colin Cortes; Connie Randall; corie_peterson@hotmail.com; corie_peterson@hotmailto:coreyz@newdoorrealty.net; corie_peterson@hotmailto:coreyz@newdoorrealty.net; corie_peterson@hotmailto:coreyz@newdoorrealty.net; corie_peterson@hotmailto:coreyz@net; corie_peterson@hotmailto:coreyz@newdoorrealty.net; corie_peterson@hotmailto:coreyz@newdoorrealty.net; corie_peterson@hotmailto:coreyz@newdoorrealty.net; corie_peterson@hotmailto:coreyz@newdoorrealty.net; <a href="mailto:c Smith; csbrune@yahoo.com; cynthia ray@comcast.net; d.deelee@frontier.com; Dan Nebergall (citywidedan@gmail.com); danielwebb@canby.com; danretz@gmail.com; Dave Selby (dave@shawwest.com); david@marksmetal.com; david@rpherman.com; dbg71@yahoo.com (dbg71@yahoo.com); Deane Leverett; Delia Wilson (dwilson@archdpdx.org); desi@bartholemy.biz; Devon Dobek; Diana Pompe; dohurtad@hevanet.com; Doris Wehler (dawehler@gmail.com); Doug Seely; DRuckman@republicservices.com; Dwayne.Cain@pgn.com ; Ed Truax; ed@bartholemy.biz ; edkcnw@comcast.net; elwyn@frontier.com; emyers@summitdevelopmentgroup.com; enjus@oregonian.com; Eric Mende; Eric Postma (espostma@comcast.net); Eric Williams; Erica Smith; erlapp@comcast.net; Ernie Brown; fisits@gmail.com; Francis Marta (fmarta@aol.com); Frank Bubenik; FrankBubenik; Gail, Jon; Gary Nebergall (citywts@comcast.net); gary_johansen@yahoo.com; gcwalbert@gmail.com ; gdaa@aol.com; george.ledoux1@frontier.com; Ginger Aarons-Garrison; Gordon Root (gordon@staffordlandcompany.com); Gordon Root (gordonroot@aol.com); Grace Lucini; Greq

Anderson; Hannah Childs (Hannah Childs Voice@gmail.com); Hartzoq, Brenda; heisburtonc@yahoo.com;

Herb Koss (herb@kossred.com); herbk43@comcast.net; icecreamkid49@comcast.net; <u>j querra sr@hotmail.com</u>; <u>jackie brin@comcast.net</u>; Jake Bartman; James Jensen

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(kyljnsn@yahoo.com); james.gregory@hdrinc.com; Jamie Morgan-Stasny; Jan Giunta
(jan.giunta@gmail.com); Jan Peterson; janet.robertson@stmaryspdx.org; Jared Summers;
jasonj90@hotmail.com; jasonrmitchell@yahoo.com; jchapman@legendhomes.com;
jeaniestuvick@comcast.net; Jeff DeHaan (jeffdehaan@hayscompanies.com); Jeff Fuchs; Jennifer
Stephens; jenniferallen72@yahoo.com; Jerald Postema; Jerry Greenfield (jer.greenfield@gmail.com);
Jerry Greenfield (jerrygreenfield@gmail.com); Jerry Palmer; jerrysharp@frontier.com; Jim Evans; Jim
Haynes; Jim Odoms (jimodoms@comcast.net); jmfairtaldo@comcast.net; Joe Monego
(jamonego@gmail.com); Joel Cvetko; Joelle Davis; John@decosta-properties.com; jojuly12@gmail.com;
ionathan.soll@oregonmetro.gov; joseph_davis@mentor.com; Josh Gregory; jpaul@skbcos.com;
jsjeldavis@yahoo.com; jtmoffett@bpa.gov; Judy Clopton (bj12clop@aol.com); Julia Hajduk; Julie
Fitzgerald (fitzgerald@ci.wilsonville.or.us); JWLuci@gmail.com; Karen Alvstad; Karen Savage
(karensavage725@yahoo.com); Kate Greenfield; kathilamm@gmail.com; Kathryn Duffy; Kathy Re; Katie
Mangle; kaydix@comcast.net; kenzier@itrothinc.com; Kimberly Haughn; KKlein59; Kraushaar, Nancy;
Kristen Kibler; <a href="mailto:kristinasapsign@gmail.com">kristen Kibler; kristinasapsign@gmail.com</a>; <a href="mailto:ksandblast@westlakeconsultants.com">ksandblast@westlakeconsultants.com</a>;
kurt@mohportland.com; l6reser@frontier.com; Larry Oakes (larryoakes53@yahoo.com);
lashbrook@ci.wilsonville.or.us; Laura Doll (oregonhealthy@yahoo.com); lbuechler@gmail.com;
<u>leeab@pbworld.com</u>; Leila Aman (<u>leila@frego.com</u>); <u>linda@tualatinchamber.com</u>;
lisa@shamburgheating.com; lloen@comcast.net; loren@tualatinhills.org; Lou Ogden; lougyrl@gmail.com
; Ischelsky@westlakeconsultants.com; Marissa Houlberg; Mark Brown; Mark Fryburg; Marta McGuire
(marta.mcquire@gmail.com); Martha Fritzie (mfritzie@clackamas.us); Marvin Mast; Mathew Scheidegger;
matt.bihn@oregonmetro.gov; Matthew Keenen (mkeenen@capacitycommercial.com);
mehdiasanaei@yahoo.com; melissa.hunting@pgn.com; mglavalo@gmail.com; Michael Houlberg; Mike
Cataldo; mike.anders@lennar.com; miked@paceengrs.com; Monique Beikman; Morgan Will;
mthornton@westlakeconsultants.com; naciabonilla@metlandgroup.com; nadine@frego.com; Nancy
Grimes; natashas.wchs@gmail.com; Neamtzu, Chris; Nic Herriges; Nick Newman; Nick Storie; Nick
Veroski; novin.kaihani@gmail.com; nrdull@gmail.com (nrdull@gmail.com); oregonminda@yahoo.com;
oregonsapp@msn.com; pamwilliams917@msn.com; Pastor Roger Levasa; Paul Morrison; Paul R.
Hribernick; paulpenning@gmail.com; pdxpeggysue@gmail.com; Peter Hurley (pkhurley1@gmail.com);
Phil Johanson; Phyllis Millan (phyllmikey@frontier.com); Piseth Pich (piseth.pich@tvfr.com);
pjvv@comcast.net; pternan@nwpipe.com; raffaellycathy@gmail.com; Randy & Karen Alvstad; Randy
McLeod (randymcleod54@hotmail.com); randybiggs@yahoo.com; revneufeld@gmail.com;
rgood@livebsl.com; rgoodrich@obec.com; Richard Goddard (richardgoddard2010@gmail.com);
richardm@trimet.org; Robert Fagliano; Robert Kellogg; robert.spurlock@oregonmetro.gov;
rodneymg@gmail.com ; Ron Kief; roni.winters@fnf.com; ronpotrue@comcast.net ;
rotramel@pbworld.com; rrostamizadeh@gmail.com; rudiopass@yahoo.com; ruvcrusin76@gmail.com;
rwshull@ymail.com; Ryan OBrien; sbizon@msn.com; Scott Platt; Scott Starr
(scottstarr97070@gmail.com); scott.mitton1@gmail.com; sgb90210@aol.com; Sherilyn Lombos;
Sherman Leitgeb (Sherman@EquityOregon.com); simon@springall.com; snjplatt@msn.com;
sonya@frego.com; spiff88@gmail.com; srenloe@gmail.com; ssummers@allstate.com; Stacy Rumgay
(staceyr@europa.com); stenstrd@gmail.com; Stephen Roberts; Steve Anderson; Steve Parr; Steve Titus;
stevewinegar@frontier.com; Stu Peterson; susancnoack; Susie Stevens; Susie Stevens
(stevens@ci.wilsonville.or.us); suziq612@aol.com; tablerfarm@gmail.com; tanyastricker@earthlink.net;
tarashev@yahoo.com; terri.wortman@gmail.com; tgc205@comcast.net; Tim Davis; Tim Knapp
(mayor@ci.wilsonville.or.us); Tim Marshall; Tod Shattuck (tod.shattuck@pgn.com); Todd Hickok; Todd
Perimon; Tom Mills (millst@trimet.org); Tom Pessemier; Tom Re; toni.stanhope@fnf.com;
troy.gagliano@pgn.com; tualatincitizens@gmail.com; Vander Prideaux; vceserani@yahoo.com;
vicbartruff@creeksidebiblechurch.org; vinjefam@gmail.com; Wade Brooksby;
whitlee.preim@mail.house.gov; wilcocka@gmail.com; William Beers (beers.william@gmail.com); Willie
Fisher; willisit@hotmail.com; wk@wkellington.com; wlcollett@aim.com; Woodley, Tim
(Woodleyt@wlwv.k12.or.us); Zander Prideaux; Bob Keller; Bradley Kilby; Todd Heidgerken
(toddh@tvwd.org)
Cc: Zoe Monahan; 'Tami Bergeron'
Subject: Basalt Creek Concept Plan - Notice of Upcoming Meetings
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Greetings,

Thank you for your continued interest in the Basalt Creek Concept Plan project.

The Basalt Creek open house was held on April 28th and it was a huge success. Thank you to everyone who attended the event. If you were unable to attend the event, you can review the open house materials on the project website at www.basaltcreek.com.

Future Engagement Opportunities:

• Tualatin City Council Work Session: Fall 2016

Wilsonville City Council Work Session: Fall 2016

Please stay current on concept planning news by signing up for email updates on the project website at www.BasaltCreek.com. Information about upcoming meetings will be included in future email updates as well as on the website project calendar. If you have questions or desire more information, please feel free to contact:

Karen Perl Fox

Senior Planner

City of Tualatin | Community Development Dept | Planning Division

Phone: 503-691-3027 | Email: kperlfox@ci.tualatin.or.us

Miranda Bateschell

Long Range Planning Manager

City of Wilsonville | Community Development Dept | Planning Division

Phone: 503-570-1581 | Email: <u>bateschell@ci.wilsonville.or.us</u>

From: <u>Nate Seymour</u>

To: <u>ahurd-ravich@ci.tualatin.or.us</u>

Subject: Basalt Creek Concept Plan - 11150 SW Tonquin Loop

Date: Friday, March 18, 2016 4:13:59 PM

Hey Aquilla,

I am looking at purchasing a property at 11150 SW Tonquin Loop and I just became aware that it is within the Basalt Creek Concept Plan. I do not know much about this plan and how it could impact this property and am hoping to do so before making an offer. It is a very nice home, on 5 acres with a barn and riding arena.

What are the plans for this area? Is it supposed to be built up with neighborhoods? Would I still be able to have horses on the property or will zoning change and prevent me from this?

I am very curious about this plan and was hoping to make an offer on this property soon but am now a bit hesitant until I better understand the concept plan.

Thanks,

Nate Seymour 503-830-5464

PUBLIC COMMENTS -

Hard Copy sent to City of Tualatin 5-20-16

5-19-16 TUALATIN PLANNING COMISSION MEETING

Grace Lucini

23677 SW Boones Ferry Road, Tualatin OR 97062

I am a resident of unincorporated Washington County within the Basalt Creek Concept Planning Area.

My neighbors and I have no elected representation within the concept planning process- no one to advocate for our homes and property rights.

Since 2011, I have attended or viewed almost all of the public meetings held on the Basalt Creek Transportation Refinement Planning by Washington County, the City of Wilsonville, and the City of Tualatin. I have done the same for the Basalt Creek Concept Planning meetings by the City of Wilsonville and the City of Tualatin.

COMMENTS

I appreciate the current efforts to keep the public and interested persons notified as to public meetings on Concept planning. It took a lot of time to constantly have to monitor websites to learn about these public meetings for all three governmental agencies. I request the Notices of Public meetings on this subject continue as the staff prepares to present their final Concept Plan later this year.

In the Future -I request ...

- 1. When the Basalt Creek area is described in the media and in meetings- it is usually referred to as 800+ acers of undeveloped land.
- 2. There are many people who have long standing existing homes within the area. In fact, one development with very nice homes homes which would make any city proud- was built before many of the neighborhoods in the City of Tualatin.
 - a. We bought homes built in this area which were appropriately zoned for our homes at the time.
 - b. Many of us have lived in these homes for 10 or 20+ years.
 - c. I take a very high interest in my home and the property it sits on. I am working to restore the wetlands on my property.
 - d. We have the attributes of a neighborhood, but have not been given the same consideration or protections from negative impacts or requirements for "buffering" from the Basalt Creek Transportation plans or Concept Planning ---as have the residents currently within the city limits of Tualatin.

- e. To continually have project staff refer to my home and those of my neighbors as "undeveloped land" paints an inaccurate picture of the area being planned. It is somewhat disrespectful as well as inaccurate in implying that all 800+ acers are an empty canvas needing to be planned for development.
- f. Ironically, some of us will eventually become citizens of Tualatin.
- g. Yet- with the construction of the Grahams Ferry Road Boones Ferry Connector- a majority of this neighborhood I mentioned -will be demolished or significantly and negatively impacted with the building of the connector bridge. This neighborhood was not given the same considerations as neighborhoods in Tualatin.

NATURAL AREAS-PARKS

The Planning Commission is being asked about planning for Natural Areas within the Basalt Creek Area.

- As the Planning Commission considers this request- please keep in mind- the wetlands between Grahams Ferry Road and Boones Ferry Road are privately owned. The wetlands are in the middle of my property- with useable property on the east and west sides of the wetlands.
 - a. To envision a walking trail along the wetlands will require the public acquisition of privately owned land from many different property owners.
 - b. If the trails are planned along the wetlands, the trail would cut my property in half and reduce my use and enjoyment of my property.
- 2. The current map presented at the Open House indicates a public trail along the western edge of my property. In light of the recent news articles regarding the Spring Water Trail, I am not overly interested in creating a similar situation on or along my property.

QUESTIONS WITHIN SCOPE OF PLANNING COMMISSION:

I am requesting these questions be included within the minutes of this Planning Commission Meeting.

Many of these questions should not be a surprise to the project staff, as they have been previously presented in writing or previously asked in person- and yet do not appear to be addressed in the subsequent reiterations of the proposed maps.

TRANSPORTATION

- 1. Grahams Ferry Boones Ferry Connector
 - a. A major premise of the Basalt Creek Concept Planning-- including changes in jurisdiction as well as changes framework for the transportation system ----is based upon the location of the future connector between Grahams Ferry Road and Boones Ferry Road

- At what point in time will geo technical testing be done on the basalt 100' island in the middle of the
 wetland which is the planned footing for the connector bridge? This island the primary basis upon which
 WA County determined the location of the future bridge.
- c. It is my understanding that basalt rock and basalt rock formations have varying degrees of density and strength- and not all basalt rock used from nearby quarries can be used in road construction.
- d. What happens should the testing of the basalt island prove not to be desirable with regard to transportation plans- zoning etc.

2. Kinsman Road Extension

- a. At the last Basalt Creek Joint Cities Meeting of both Tualatin and Wilsonville City Councils Meeting- it was discussed and agreed upon that the Kinsman extension north of Day Road would be tabled.
- b. Why is the extension still on the current maps?
- c. If there are still plans for the extension- how will the extension cross the Grahams Ferry -Boones Ferry Connector- since the connector will require a significant V cut into the ridge running north to south. Is it anticipated Kinsman extension will be a fly over or be dug under the 5-6 lane expressway?
- d. To facilitate better understanding of the impact of proposed roads and the ability to actually implement- I have previously requested the staff provide a topographical overlay in their presentations. I again request this additional information be provided to those who may not be aware of the mountain ridges and a significantly deep ravine which exists within the area- through which roads have been planned.
- 3. Access to I-5 at Exit 286- Day Road & Boones Ferry Road Intersection
 - a. The intersection and interchange is already congested at peak hours.
 - b. During a WA County presentation to the Tualatin City Council on their recommended location for the Grahams Ferry Road/ Boones Ferry Rd Connector-the project engineer acknowledged the anticipated volume of traffic at the Day Road Boones Ferry intersection will be 2 ½ times the volume on the Tualatin Sherwood Highway.
 - i. When asked about the existing and anticipated congestion- the comment that we have to get use to waiting for more than one signal change does not seem to understand the importance of local knowledge and the magnitude of the current problem
 - ii. Waiting more than one signal rotation is not a generally accepted standard by most mulicipalities
 - iii. And not an appropriate response by a facilitator/planner of a multi-governmental group whose goal is to address future transportation needs in planning future growth and development.

ZONING

- Requesting clarification of the level of importance being given to what is being designated as Natural Area west of Boones Ferry Road
 - a. During the discussions between WA County, Wilsonville and Tualatin- it was decided a 5-6 lane bridge (with additional bike and pedestrian lanes) would be built which will bisect this natural area
 - Design plans for the bridge and expressway show significant cut and fill into the wetlands and through Class 1 Riparian areas and also Class A Upland areas
 - ii. Construction of the bridge will greatly impact the natural area; wetlands and surrounding habitat and wildlife
 - iii. Upon completion there will be negative influences by
 - 1. Night time light pollution
 - 24 hour a day ----noise; air pollution; and wetland environmental pollution from freight trucks and other vehicles attempting ascent or decent down a 6% grade with signaled intersections at the top and at the bottom of the segment between Grahams Ferry and Boones Ferry
 - b. But the proposed zoning for the same area only indicates natural area and no development
 - c. Why is there a discrepancy in use of this area? Which pollutes more ----the construction of the bridge and the thousands of trucks and vehicles 24 hours a day using the bridge; or single family homes?
- 2. Zoning east of SW Boones Ferry Road north of Greenhill Lane
 - a. Is it reasonable to plan for neighborhood/commercial development <u>across from existing single</u> family homes?
 - b. Current Tualatin residents get significant consideration in the planning process for buffering between existing residences and other zone uses
 - c. Should existing residents within the Basalt Creek be given the same considerations for buffering as Tualatin residents receive?
 - d. Can the location of the neighborhood-commercial development be relocated from what is already going to be a high volume road- Boones Ferry Road?
 - e. If the location of the proposed neighborhood-commercial area cannot be relocated,
 - i. can requirements for neighborhood-commercial construction be designated for retail on the ground floor and residential above (to blend into the existing community and the planned community) or some other method which will enhance and blend with the residential neighborhood environment--and

ii. can architectural considerations be applied as to the view from SW Boones Ferry Roadas this will be the entrance to Tualatin and well as the view from the local residents who already live in the area.

STORM WATER DRAINAGE

- 1. The area within the natural area west of Boones Ferry Road is within the Willamette Watershed.
 - Maps presented at the Open House indicate water runoff from east of Boones Ferry Road will be diverted to drain west.
 - ii. How will contaminated water from streets and sediment which flows into the ravine on the west side of Boones Ferry Road be treated prior to flowing to the Willamette?

I ask that the Planning Commission consider these questions now and in the future as you review the information presented, and ask for further clarification as needed.

After the presentation of my comments, I appreciated the request by Aquilla Hurd-Ravich, Planning Manager for the City of Tualatin for a copy of my comments that my concerns could receive further evaluation and provide response.

Respectfully submitted,

Grace Lucini

From: <u>G Lucini</u>

To: <u>Aquilla Hurd-Ravich</u>; <u>Lynette Sanford</u>

Cc: "Jeff Fuchs"; Karen Fox

Subject: Public Comments-Tualatin Planning Com 5-19-16- Basalt Creek; Storm Water Planning -Basalt Creek

Date: Friday, May 20, 2016 12:39:33 PM

Attachments: 2016 5-19 Public Comments to Tualatin Planning Com.docx

Hi Aquilla,

Thank you for your request for a copy of my comments made to the Tualatin Planning Commission at their meeting last night.

I have attached a clean hard copy of my comments. I request this copy be included with the Planning Commission minutes for 5-19-16, as well as within the public comments for the Basalt Creek Concept Planning documents.

I have extended an invitation to Karen to visit my home and be able to see the wetlands, and surrounding area as she acclimates to her new role.

The wetlands in this portion of the Basalt Creek AKA Seeley Ditch apparently differ from the area less than a half mile north where Mr. Sherman lives (who also provided public comment at last night's meeting). The area behind my home contains water year round some years. Last year we were able to walk across to the western half for a few weeks during the summer.

STORM WATER MANAGEMENT

When appropriate, I would like to discuss the proposed storm water drainage plan. After viewing the storm water map at the Basalt Creek Open House I have concerns as to where the

As you may remember during an onsite visit with Jeff Fuchs, we discussed the fact we experienced high peak water flow from this area. Our property was flooded from the flow of water from the discharge outlet under SW Boones Ferry Road in May 2015.

storm water flow will be directed east of my property on the east side of SW Boones Ferry Road.

I did not see any areas within the storm water map set aside for areas 1) <u>up stream- on site</u> <u>retention and reabsorption</u>, or 2) for water runoff treatment prior to discharge west ---towards the wetlands on the west side of SW Boones Ferry Road. Planned on site reabsorption will assist in refilling our local aquifers and also reduce the need for handling of water run off by municipalities prior to discharge into the wetlands and eventually the Willamette River.

These elements should be required as part of the concept planning especially when large tracks of currently undeveloped land are being blocked out for zoning and development.

The size and scope of proposed developments will require incrementally larger areas set aside for storm water management and by their size may influence how parcels of land can be utilized.

I appreciate you willingness to hear our concerns.

Regards, Grace



City of Tualatin

www.tualatinoregon.gov

OFFICIAL

TUALATIN PLANNING COMMISSION

MINUTES OF May 19, 2016

TPC MEMBERS PRESENT:

Alan Aplin
Jeff DeHaan
Angela Demeo
Cameron Grile
Mona St. Claire
Janelle Thompson

STAFF PRESENT

Aquilla Hurd-Ravich
Zoe Monahan
Alice Cannon
Karen Perl Fox
Charles Benson III
Erin Engman
Lynette Sanford

TPC MEMBER ABSENT: Bill Beers

GUESTS: Sara Singer, Joe Lipscomb, Sherman Leitjeb, Grace Lucini

1. CALL TO ORDER AND ROLL CALL:

Alan Aplin, Chair, called the meeting to order at 6:32 pm and reviewed the agenda. Roll call was taken.

2. APPROVAL OF MINUTES:

Mr. Aplin asked for review and approval of the March 17, 2016 TPC minutes. MOTION by St. Clair SECONDED by Thompson to approve the minutes as written. MOTION PASSED 6-0.

3. COMMUNICATION FROM THE PUBLIC (NOT ON THE AGENDA):

Joe Lipscomb, a member of the Tualatin Area Aging Task Force, gave an update on the group and expressed concerns of the members. Mr. Lipscomb stated that the Aging Task Force has become involved with transportation mobility, the SW Corridor Plan, and accessibility to transit centers. Mr. Lipscomb noted that they are interested in safe sidewalks and pedestrian paths, which currently do not meet the needs of the aging population. The group is also looking at housing issues and is working with AARP. Mr. Lipscomb acknowledged that adding light rail will not help the aging population and other issues of concern are sidewalk width, crosswalk location, and traffic signal timing.

Mr. Aplin stated that he received a Service Enhancement Plan update from TriMet that addresses some of these issues.

Alice Cannon, Assistant City Manager, stated that TriMet adopted a Service

These minutes are not verbatim. The meeting was recorded, and copies of the recording are retained for a period of one year from the date of the meeting and are available upon request.

Enhancement Plan that maps out the investments for the next 20 years. She added that Tualatin will open a new transit line between Sherwood and Tualatin on May 31, which will run during the commuting hours.

4. ACTION ITEMS:

None.

5. COMMUNICATION FROM CITY STAFF:

Ms. Cannon announced that the Planning Division has new staff members. Erin Engman is the new Assistant Planner who most recently worked for HDR Consulting. She has 5-8 years of experience in planning, and is also a talented graphic designer. Charles Benson is the new Associate Planner. He has experience in the private and public sector and has worked in Massachusetts and New York. Karen Fox is our new Senior Planner. She has an extensive background and will be working on long-range projects including Basalt Creek and updating the Development Code.

Ms. Cannon also announced that Melinda Anderson is the new Economic Development Manager and Chris Ragland is the new Building Official.

A. Civic Center Outreach.

Sara Singer, a former employee of the City Manager's office, is a consultant for the Civic Center Outreach project. Ms. Singer noted that she has been working on this project since 2013 and is here this evening to present an update.

Ms. Singer stated that during the months of May and June, she is working with the City to gauge public support for a new City Hall and expanded library. The City of Tualatin has never had a City Hall or "Civic Center" and the staff members are currently working out of seven different buildings around town. In 2014 the Council Building was torn down to make way for the Nyberg street expansion. This displaced some City staff members along with the Municipal Court and Council Chambers. Following that, the City conducted a long range facilities study and collected hundreds of ideas from the community on locations for a future Civic Center. Nine different sites were studied, which was narrowed down to two feasible options: the site next to the Tualatin Police Department and a site on the Tualatin Commons.

Ms. Singer explained that the site on the Tualatin Commons would house a three-story structure with 30,450 square feet of office space. 13,220 square feet could be leased, which would generate revenue for the City and create opportunity for expansion. By adding a new building here, it could revitalize the commons with the retail space and civic presence. The traffic study for this location was favorable over the Police site.

Ms. Singer stated that the Police Department site would be a two-story building with

30,290 square feet of office space, but no leasable space. Ms. Singer explained that by consolidating services in either of these locations, the City would create additional space for the Library to expand at its current location.

Ms. Singer noted that the cost of the Tualatin Commons site is \$32.1 million which would include the cost of purchasing the site. The cost of the Police site is \$24 million. Both of these options include the Library expansion. Outreach for these options has included an on-line survey and the Bridgeport Farmers Market. Council is seeking input as they consider adding this to the November 2016 ballot for the voters to decide.

Ms. St. Clair inquired about parking at the Commons site. Ms. Singer replied that there would be underground parking that would need to be raised above the flood plain and there will be surface parking at the back of the building. Ms. Demeo asked about the impact of displacing the businesses in the strip mall at the Commons site. Ms. Singer replied that conversations have been made with the property owner and the leases would need to be negotiated. Mr. Aplin asked if the Commons cost included the tenant space revenue. Ms. Singer replied that it does not. Ms. Thompson asked why the Commons site is higher in price. Ms. Singer replied that the City will have to purchase the space and the construction will take longer. Ms. Demeo asked how long construction will take. Ms. Singer replied it would be roughly 18 months for the Police Site and the Commons site would take approximately 21 months. Mr. Aplin asked when a decision will be made to put this on the ballot. Ms. Singer replied that Council will make a decision on July 11.

Mr. DeHaan acknowledged that he liked the options and supports putting them on the ballot, but was disappointed that the Council Chambers had to be demolished. He added that he believes the Commons needs revitalization, but traffic is an issue.

Mr. Aplin inquired about encroaching on the water with landscaping. Ms. Singer replied that it would have a plaza along the water with the retail space. Ms. St. Clair asked if having City employees in that location will make it more likely for a retail tenant to survive. Ms. Singer replied that the belief is that the City offices would create an anchor for the space and also increase activity by the lake.

Ms. Hurd-Ravich asked about other jurisdictions using the rental space. Ms. Singer replied that Washington County is currently looking for additional office space and depending on the timing; this could be a great opportunity for County services in the City.

Mr. Grile asked if there are other examples of City offices with ground floor retail space. Ms. Singer replied that Hillsboro and Beaverton have similar situations and that the Beaverton office generates a million dollars of revenue income per year. Mr. Grile asked if their offices are approximately the same size as to what we're proposing. Ms. Singer replied that both of their buildings are larger.

B. Southwest Corridor - Shared Investment Strategy

Zoe Monahan, Management Analyst, gave an update on the SW Corridor. Ms. Monahan stated that the project is moving forward. The Steering Committee recently selected light rail as the mode and decided not to continue to study a direct tunnel to PCC. The project team is getting ready for a Draft Environmental Impact Study (DEIS) process to study the proposed alignment which will likely extend from Portland to Tigard and terminating at Bridgeport Village.

Ms. Monahan stated that this is a multi-modal project for bicycle, pedestrian, and roadway projects along with the transit line. In 2013 the Steering Committee accepted a large list of projects that go along the alignment. Ms. Monahan presented a diagram that showed the links and stated there will be a public involvement process that will begin in August and September. Ms. Monahan added that there is still time for input from the Commission members.

Ms. Cannon added that one idea was to extend the Tualatin River Greenway Trail north along the freeway and ending at a park and ride near the new station. Ms. Cannon stated that this could cost as much as 25 million and asked if it was worth addressing. She added that we cannot fund locally and may need transit funds.

Mr. Aplin asked if the light rail was the most expensive option. Ms. Monahan replied that is it more expensive initially, but it allows additional capacity in the long term over rapid bus transit.

Mr. DeHaan asked if they have a name for the new light rail line and he proposed the purple line. He also mentioned that he was disappointed that the Tualatin option was dropped from the potential routing and asked if it was dropped due to expense or public comment. Ms. Monahan said there are constraints in the landscape and it would have been expensive. She added that serving downtown Tualatin is important and the new 97 bus line is a way to provide service. This will eventually link to the new light rail in Bridgeport.

Ms. Demeo expressed concern about the extra traffic at Bridgeport Village and noted that it's already extremely busy beginning at 3 pm. She wondered if a traffic study has been conducted. Ms. Monahan replied that in the impact study, a traffic analysis will be added. Ms. Cannon added that traffic usually improves with light rail.

Ms. Thompson stated that linking our existing pathways is a good idea because one constraint we have is crossing the river and easier access across the river would be beneficial.

Mr. Aplin inquired about the cost. Ms. Monahan replied that the estimate is around 2.4 billion and the estimate for reaching the downtown area was 3 billion. Mr. Grile asked if there was discussion about how much federal funding would be involved.

Ms. Monahan replied that hopefully half of it would be funded by federal funds. Ms. Cannon added that the main reason Tualatin was dropped was due to funding and the expense involved. Mr. DeHaan reiterated that it could have really impacted Tualatin in a good way.

C. Basalt Creek Open House Update

Karen Perl Fox, Senior Planner, gave an update on Basalt Creek which included a Power Point presentation. Ms. Perl Fox stated that we are in the early stages of the Basalt Creek plan. On April 28, 2016 an Open House was held which included conceptual land uses, infrastructure design and other elements to engage and inform citizens about the project.

Ms. Perl Fox noted that this engagement event included an informative presentation by Consultant John Fregonese. The presentation included an overview of the concept planning progress to date and the timeline going forward to complete it. There was also an interactive polling event, an open question and answer session and small group discussions with staff from Tualatin and Wilsonville organized around a series of topics presented on large posters.

Ms. Hurd-Ravich stated that in January the two Councils decided on a preferred boundary which will follow the Basalt Creek Parkway. Also identified were ten considerations for success which included items such as sewer, storm, and water. Following that meeting, an Agency Review Team meeting was held which included interested agencies such as Metro, Washington County, Clean Water Services, TriMet, Smart, and the Tigard-Tualatin School District. The information gathered at this meeting will be combined with the open house information.

Ms. Perl Fox stated that the themes from the Joint Council session included capitalizing on the area's assets, protect existing neighborhoods, integration of employment and housing, and high quality design and amenities for employment.

Ms. Perl Fox went through the slides which detailed maps of the road network concept, land use concept, bikes, trails and pedestrian network, transit network, and the parks and natural areas. She also presented the results from the interactive polling that was conducted.

The next steps in this process are working on the Draft Concept Plan, presenting the draft for Council feedback, and then finalizing the plan. This Concept Plan will include:

- The planning process
- Considerations for success
- Land use plan
- Service plan for water, stormwater and sewer
- Transportation plan

Implementation strategies

The additional documents that will be developed are:

- Metro Regional Framework Plan Memo
- Draft Comprehensive Plan Amendment for Wilsonville
- Draft Comprehensive Plan Amendment for Tualatin
- Intergovernmental Agreements for a variety of topics

Ms. Perl Fox noted stated that the tentative review process will be presented at the Wilsonville City Council meeting on June 6 and a Tualatin City Council meeting on June 13.

Mr. Aplin inquired about the intergovernmental agreement and if we will serve our own jurisdiction or share. Ms. Hurd-Ravich replied that each City will serve its own jurisdiction. There are some areas in Basalt Creek that may be more efficiently served by one jurisdiction over the other.

Mr. DeHaan asked if Planning Commission will have an action item regarding the Basalt Creek Plan. Ms. Hurd-Ravich replied that they will be making a recommendation that will go to Council and when it comes time to implement the comprehensive plan amendments, the Planning Commission will be involved in making recommendations on legislative items.

Mr. Aplin asked about how the SW Concept Plan will affect the Basalt Creek area. Ms. Hurd-Ravich replied that they looked at the SW Concept Plan and will determine what type of land use would be assigned there. They have looked at efficiencies by combining these two planning areas.

Mr. DeHaan inquired how this would be funded. Ms. Hurd-Ravich noted that this will be paid for with development fees, but there will have to be some investment by developers to capture that funding. The other piece is to put these improvements into the Capital Improvement Plan. A market analysis was conducted and there is a high demand for residential.

Ms. Demeo asked about the reasoning for the crossover to I-5 and Day Rd. Ms. Hurd-Ravich responded that the crossover came from the Transportation Refinement Plan and the counties are responsible for the funding.

Grace Lucini, 23677 SW Boones Ferry Rd, Tualatin, OR

Ms. Lucini is a resident of the unincorporated area of Washington County within the Basalt Creek Concept Planning Area. She had questions and concerns that she brought to the Planning Commission, which have been added to the minutes as an attachment.

Sherman Leitjeb, 23200 SW Grahams Ferry Rd, Tualatin, OR

Mr. Leitjeb has lived in the Basalt Creek Planning Area for approximately 26 years and is in the real estate business. He had a few concerns to bring to the Commission. The first concern he noted was that the area in the canyon is being described as a creek, but in reality has very little water and is a breeding ground for mosquitoes.

Mr. Leitjeb expressed apprehension regarding the Kinsman Rd extension. He believes a large road is undesirable in the canyon and is financially irresponsible. He does support the Boones Ferry Rd and Grahams Ferry Rd expansion.

Mr. Leitjeb also noted that he did not appreciate how the questions were being phrased to the public. For example, the public is in support of parks but he feels the parks will not be utilized because the residents are being forced out. The residents in that area bought their homes hoping for future residential, not industrial or multifamily. He requested a buffer area for the existing homeowners as a transition.

6. FUTURE ACTION ITEMS

Ms. Hurd-Ravich stated that we will bring back the discussion on food carts later in the summer. There will also be additional discussion on the draft of the Basalt Creek Concept Plan.

7. ANNOUNCEMENTS/PLANNING COMMISSION COMMUNICATION

Ms. Demeo inquired about openings on the Planning Commission. Ms. Hurd-Ravich responded that when a three year term is up, the members have to reapply. Mr. Grile stated that he will not be reapplying due to family commitments.

8. ADJOURNMENT

MOTION by Aplin to adjourn the meeting at 8:20 pm.

Lynette Sanford, Office Coordinator

PUBLIC COMMENTS -

Hard Copy sent to City of Tualatin 5-20-16

5-19-16 TUALATIN PLANNING COMISSION MEETING

Grace Lucini

23677 SW Boones Ferry Road, Tualatin OR 97062

I am a resident of unincorporated Washington County within the Basalt Creek Concept Planning Area.

My neighbors and I have no elected representation within the concept planning process- no one to advocate for our homes and property rights.

Since 2011, I have attended or viewed almost all of the public meetings held on the Basalt Creek Transportation Refinement Planning by Washington County, the City of Wilsonville, and the City of Tualatin. I have done the same for the Basalt Creek Concept Planning meetings by the City of Wilsonville and the City of Tualatin.

COMMENTS

I appreciate the current efforts to keep the public and interested persons notified as to public meetings on Concept planning. It took a lot of time to constantly have to monitor websites to learn about these public meetings for all three governmental agencies. I request the Notices of Public meetings on this subject continue as the staff prepares to present their final Concept Plan later this year.

In the Future -I request ...

- 1. When the Basalt Creek area is described in the media and in meetings- it is usually referred to as 800+ acers of undeveloped land.
- 2. There are many people who have long standing existing homes within the area. In fact, one development with very nice homes homes which would make any city proud- was built before many of the neighborhoods in the City of Tualatin.
 - a. We bought homes built in this area which were appropriately zoned for our homes at the time.
 - b. Many of us have lived in these homes for 10 or 20+ years.
 - c. I take a very high interest in my home and the property it sits on. I am working to restore the wetlands on my property.
 - d. We have the attributes of a neighborhood, but have not been given the same consideration or protections from negative impacts or requirements for "buffering" from the Basalt Creek Transportation plans or Concept Planning ---as have the residents currently within the city limits of Tualatin.

- e. To continually have project staff refer to my home and those of my neighbors as "undeveloped land" paints an inaccurate picture of the area being planned. It is somewhat disrespectful as well as inaccurate in implying that all 800+ acers are an empty canvas needing to be planned for development.
- f. Ironically, some of us will eventually become citizens of Tualatin.
- g. Yet- with the construction of the Grahams Ferry Road Boones Ferry Connector- a majority of this neighborhood I mentioned -will be demolished or significantly and negatively impacted with the building of the connector bridge. This neighborhood was not given the same considerations as neighborhoods in Tualatin.

NATURAL AREAS-PARKS

The Planning Commission is being asked about planning for Natural Areas within the Basalt Creek Area.

- As the Planning Commission considers this request- please keep in mind- the wetlands between Grahams Ferry Road and Boones Ferry Road are privately owned. The wetlands are in the middle of my property- with useable property on the east and west sides of the wetlands.
 - a. To envision a walking trail along the wetlands will require the public acquisition of privately owned land from many different property owners.
 - b. If the trails are planned along the wetlands, the trail would cut my property in half and reduce my use and enjoyment of my property.
- 2. The current map presented at the Open House indicates a public trail along the western edge of my property. In light of the recent news articles regarding the Spring Water Trail, I am not overly interested in creating a similar situation on or along my property.

QUESTIONS WITHIN SCOPE OF PLANNING COMMISSION:

I am requesting these questions be included within the minutes of this Planning Commission Meeting.

Many of these questions should not be a surprise to the project staff, as they have been previously presented in writing or previously asked in person- and yet do not appear to be addressed in the subsequent reiterations of the proposed maps.

TRANSPORTATION

- 1. Grahams Ferry Boones Ferry Connector
 - a. A major premise of the Basalt Creek Concept Planning-- including changes in jurisdiction as well as changes framework for the transportation system ----is based upon the location of the future connector between Grahams Ferry Road and Boones Ferry Road

- b. At what point in time will geo technical testing be done on the basalt 100' island in the middle of the wetland which is the planned footing for the connector bridge? This island the primary basis upon which WA County determined the location of the future bridge.
- c. It is my understanding that basalt rock and basalt rock formations have varying degrees of density and strength- and not all basalt rock used from nearby quarries can be used in road construction.
- d. What happens should the testing of the basalt island prove not to be desirable with regard to transportation plans- zoning etc.

2. Kinsman Road Extension

- a. At the last Basalt Creek Joint Cities Meeting of both Tualatin and Wilsonville City Councils Meeting- it was discussed and agreed upon that the Kinsman extension north of Day Road would be tabled.
- b. Why is the extension still on the current maps?
- c. If there are still plans for the extension- how will the extension cross the Grahams Ferry -Boones Ferry Connector- since the connector will require a significant V cut into the ridge running north to south. Is it anticipated Kinsman extension will be a fly over or be dug under the 5-6 lane expressway?
- d. To facilitate better understanding of the impact of proposed roads and the ability to actually implement- I have previously requested the staff provide a topographical overlay in their presentations. I again request this additional information be provided to those who may not be aware of the mountain ridges and a significantly deep ravine which exists within the area- through which roads have been planned.
- 3. Access to I-5 at Exit 286- Day Road & Boones Ferry Road Intersection
 - a. The intersection and interchange is already congested at peak hours.
 - b. During a WA County presentation to the Tualatin City Council on their recommended location for the Grahams Ferry Road/ Boones Ferry Rd Connector-the project engineer acknowledged the anticipated volume of traffic at the Day Road Boones Ferry intersection will be 2 ½ times the volume on the Tualatin Sherwood Highway.
 - i. When asked about the existing and anticipated congestion- the comment that we have to get use to waiting for more than one signal change does not seem to understand the importance of local knowledge and the magnitude of the current problem
 - ii. Waiting more than one signal rotation is not a generally accepted standard by most mulicipalities
 - iii. And not an appropriate response by a facilitator/planner of a multi-governmental group whose goal is to address future transportation needs in planning future growth and development.

ZONING

- Requesting clarification of the level of importance being given to what is being designated as Natural Area west of Boones Ferry Road
 - a. During the discussions between WA County, Wilsonville and Tualatin- it was decided a 5-6 lane bridge (with additional bike and pedestrian lanes) would be built which will bisect this natural area
 - Design plans for the bridge and expressway show significant cut and fill into the wetlands and through Class 1 Riparian areas and also Class A Upland areas
 - ii. Construction of the bridge will greatly impact the natural area; wetlands and surrounding habitat and wildlife
 - iii. Upon completion there will be negative influences by
 - 1. Night time light pollution
 - 24 hour a day ----noise; air pollution; and wetland environmental pollution from freight trucks and other vehicles attempting ascent or decent down a 6% grade with signaled intersections at the top and at the bottom of the segment between Grahams Ferry and Boones Ferry
 - b. But the proposed zoning for the same area only indicates natural area and no development
 - c. Why is there a discrepancy in use of this area? Which pollutes more ----the construction of the bridge and the thousands of trucks and vehicles 24 hours a day using the bridge; or single family homes?
- 2. Zoning east of SW Boones Ferry Road north of Greenhill Lane
 - a. Is it reasonable to plan for neighborhood/commercial development <u>across from existing single</u> family homes?
 - b. Current Tualatin residents get significant consideration in the planning process for buffering between existing residences and other zone uses
 - c. Should existing residents within the Basalt Creek be given the same considerations for buffering as Tualatin residents receive?
 - d. Can the location of the neighborhood-commercial development be relocated from what is already going to be a high volume road- Boones Ferry Road?
 - e. If the location of the proposed neighborhood-commercial area cannot be relocated,
 - can requirements for neighborhood-commercial construction be designated for retail on the ground floor and residential above (to blend into the existing community and the planned community) or some other method which will enhance and blend with the residential neighborhood environment--and

ii. can architectural considerations be applied as to the view from SW Boones Ferry Roadas this will be the entrance to Tualatin and well as the view from the local residents who already live in the area.

STORM WATER DRAINAGE

- 1. The area within the natural area west of Boones Ferry Road is within the Willamette Watershed.
 - Maps presented at the Open House indicate water runoff from east of Boones Ferry Road will be diverted to drain west.
 - ii. How will contaminated water from streets and sediment which flows into the ravine on the west side of Boones Ferry Road be treated prior to flowing to the Willamette?

I ask that the Planning Commission consider these questions now and in the future as you review the information presented, and ask for further clarification as needed.

After the presentation of my comments, I appreciated the request by Aquilla Hurd-Ravich, Planning Manager for the City of Tualatin for a copy of my comments that my concerns could receive further evaluation and provide response.

Respectfully submitted,

Grace Lucini

Date	Name	Comment*
9/19/2016	Victoria Gardens Home	From: Paul Morrison [mailto:paul@pmorrison.com]
	Owner's Association	Sent: Monday, September 19, 2016 12:40 PM
	(represented by Dan	To: Aquilla Hurd-Ravich
	Greenspan, President, Paul	Cc: Sherilyn Lombos
	Morrison, Treasurer)	Subject: Basalt Creek Zoning Request Change
		Aquilla, as promised attached is a letter from the Victoria Gardens HOA requesting a zoning change in the planned Basalt Creek Concept plan. I have also attached a copy of the proposed map with the recommended changes. If you have any questions please give me a call. Thanks again for your patience in listening to our communities concerns over some of the zoning proposals.
		Letter dated September 15, 2016 (below)
		We are writing to you to express our concerns with the current zoning of the property directly south of Victoria Gardens. The Basalt Creek Concept Plan currently shows the eleven acres that borders directly south of Victoria Gardens (Whitebark Ave.) planned for multiple housing. Our concern is the area directly north (Victoria Gardens) is currently all single family development, the property across the street from the area (directly west on Grahams Ferry Road) is proposed to be zoned single family, and the area directly east of the property is also currently planned as zoned for single family use.
		On August 10, 2016 the Victoria Gardens Homeowners Association held a community meeting and the residents attending unanimously approved a resolution asking the city of Tualatin to change the zoning of these eleven acres to Single Family Residential in order to conform with the surrounding area already developed, and planned for development.
		Also at our community meeting, the owner of the property, Sherman Leitgeb, spoke to the community and was supportive of the change in zoning. If you have any questions, please to not hesitate to contact us. Sincerely,
		Dan Greenspan, President Paul Morrison, Treasurer Victoria Gardens Homeowners Association Attachment: Zoning Request Map
8/29/2016 (rev. from	Don Hanson/OTAK	Re: Basalt Creek Plan NE Corner (Letter dated 8/23/16 revised 8/24/16)
6/16/16)		Introduction
,		Otak represents a group of owners who hold 10 acres in the northeast quadrant of the overall district. The property is located near the northeast corner of Grahams

Ferry Road and extends over to the Basalt Creek Canyon along the proposed new east-west arterial road. Project Concerns Otak's concern is that the northeast quadrant area is not well suited to industrial zoning proposed by the concept plan.

- Topography. Much of the site contains slopes in excess of 10% and 25%. It would be extremely difficult to flatten it out to accommodate industrial site development requirements.
- Access. Vehicular access will be limited to Grahams Ferry Road and extending Tonquin Loop into the site No access will be permitted on the proposed new east-west arterial road.
- Basalt Creek Canyon. The industrial land abuts the Basalt Creek Canyon with no transition.

Amended Plan Options

- The attached concept plan options summarize the requested amendment for proposed land uses that fit the site.
- The plans both show building Tonquin Loop as an actual loop with two access points on Grahams Ferry Road, This road extension will provide complete access to the properties.
- Two densities of residential are shown as transition to the neighborhood to the north and canyon to the east and also along the new eastwest arterial, which is down 25 feet from the site area
- A center core area of retail, industrial transition and open space serve as a walkable destination in the neighborhood.
- Property uses can be molded to fit actual site conditions yet still provide ample "jobs" land with the employment transition (ET). Option As is preferred; it best fits the existing topography.

Benefits

- A walkable neighborhood with appropriate transitions and destinations
- Land Uses that are adaptable to actual site conditions. The mix of uses will act as a catalyst to create activity in the district. The HDR land provides an excellent opportunity for workforce housing next to employment lands.
- A quality neighborhood for Tualatin

Attachments:

Basalt Creek -Site Constraints Diagram

Basalt Creek Concept Plan A

Basalt Creek Concept Plan B

8/24/2016	Daniel & Suzanne	We are residents of the Victoria Gardens Developments.
0/24/2010	Greenspan	Please reconsider changing the zoning of the property (south, Grahms Ferry Road) south of Victoria Gardens to single family dwelling from multi-family dwellings. Thank you for your consideration. Sincerely, Daniel & Suzanne Greenspan.
7/22/2016	Paul Morrison	Map image with proposed draft Concept Map changes south of Victoria Gardens
6/8/2016	Grace Lucini	Slide 3 - Portions of the Canyon Contains Significant Natural Resources: Wetlands, Highest Value Riparian Habitat, Highest Value Upland Habitat. Some slopes within the middle of the canon are greater than 10% grade –others may exceed 25% grade. Due to vast changes in topography along with other factors-causes significant differences in the quality of wetlands, the riparian habitats, and the upland habitats within just a short span of land. Slides 20-24 –Please keep in mind –the canyon and the wetlands between Grahams Ferry Road and Boones Ferry Road are privately owned by several different property owners. The map presented at the April 28th Open House indicates a public trail along the western edge of my property. The location is not adjacent to the wetlands, nor on the same level of the wetlands. Wetlands are in the middle of my property –with useable property on the east and west sides of the wetlands. a. If a walking trial is envisioned along the wetlands-it will require the public acquisition of privately owned land from many different property owners. B. If the trails are planned along the wetland, the trail would cut my property in half, infringe upon my backyard and reduce the private use and enjoyment of my property. As I am actively working to restore the wetlands on my property—how would the restored area be protected from misuse or residual pollution from public access? One rereads Consideration 9 It is very unclear what rights the multiple property owners and homeowners along the canyon will have in the future regarding the private and exclusive use of their own property. Ile it might be a desirable marketing too-providing unlimited public access and trails into sensitive lands may not be in the best interest of this significant natural resource.

Lucini Comments continued.
G11.1 . 0 < 00
Slides 26-28:
Please keep in mind, while some of the area being
discussed within the Basalt Creek Area is undeveloped
land, there are many preexisting homes already
established within the area being discussed. Basalt Creek
Area is not a blank canvas. While broad stroke
conceptual planning is necessary to plan for future
development, substantial consideration should also be
given as to how these plans may impact existing home
owners and environment.

Basalt Creek Concept Planning

CITIZEN CONCERNS-COMMENTS

TUALATIN CITY COUNCIL MEETING
WORK SESSION AGENDA ITEM 6-13-2016

SUBMITTED ON 6-8-16 TO THE TUALATIN CITY COUNCIL FOR CONSIDERATION

Please include this information in the minutes for the Tualatin City Council Work Session for 6-13-2016 and within the Basalt Creek Concept Planning file.

I am a resident of unincorporated Washington County within the Basalt Creek Concept Planning Area. Since 2011, I have attended or viewed almost all of the public meetings held on the Basalt Creek Transportation Refinement Planning by Washington County, the City of Wilsonville, and the City of Tualatin.

I have done the same for the Basalt Creek Concept Planning meetings by the City of Wilsonville and the City of Tualatin.

The majority of the concerns provided within this presentation were previously presented to the Tualatin Planning Commission on May 19th 2016.

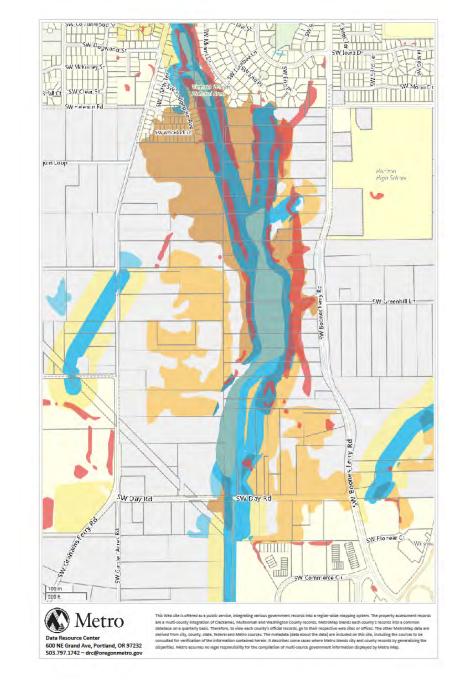
Basalt Creek Area

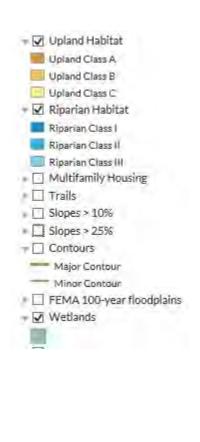
Portions of the Canyon Contains Significant Natural Resources

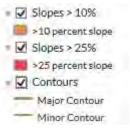
Wetlands
Highest Value Riparian Habitat
Highest Value Upland Habitat

Some slopes within the middle of the canyon are greater than 10% grade-others may exceed 25% grade.

Due to vast changes in topography along with other factors—causes significant differences in the quality of wetlands, the riparian habitats, and the upland habitats within just a short span of land.







Basalt Creek Concept Area

Within this area are many people who have long standing existing homes.

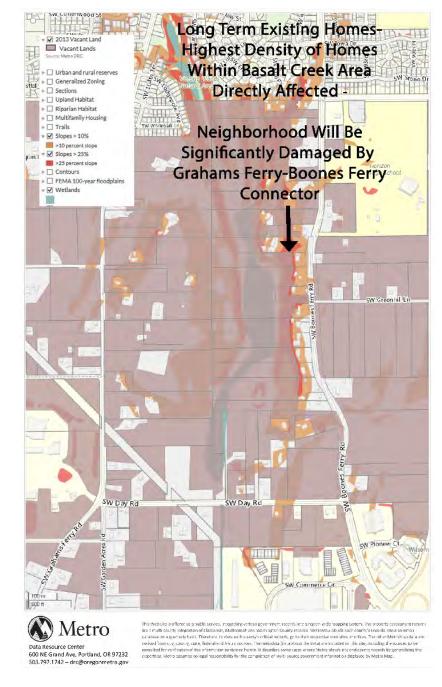
When our homes were built-- they were appropriately zoned for residential use at that time.

Many of us have lived in these homes for 10 or 20+ years.

I take a very high interest in my home and the property it sits on. I am working to restore the wetlands on my property.

We have the attributes of a neighborhood, but have not been given the same consideration or protections from negative impacts or requirements for "buffering" from the Basalt Creek Transportation plans or Concept Planning.

With the construction of the Grahams Ferry Road- Boones Ferry Connector- a majority of this neighborhood -will be demolished or significantly and negatively impacted with the building of the connector bridge.



Existing Homes and Neighborhood Within Basalt Creek Area

One development/ neighborhood with several very nice homes

- homes which would make any city proud
- was built before many of the neighborhoods in Tualatin, including Victoria Gardens or other similar neighborhood.

Yet, the house pictured on this page and 1-2 other houses that are within the path of the Grahams Ferry —Boones Ferry Connector will be demolished. The remaining homes in the neighborhood will not be compensated for the change of value or use of their homes or property resulting from the construction of the connector.



My neighbors and I have no elected representation within the concept planning process- no one to advocate for our homes or our property rights.

After attending the Basalt Creek Concept Planning Open House on April 28, 2016, and reading the "10 CONSIDERATIONS FOR SUCCESS FOR THE BASALT CREEK CONCEPT PLAN",

I request the Tualatin City Council consider the following concerns I have with a few of the "10 Considerations for Success" being presented to this Council.

Consideration 2- Storm Water Drainage Considerations 4, 5, 6, 7, And 8 – Transportation Issues Consideration 9 - Basalt Creek Canyon

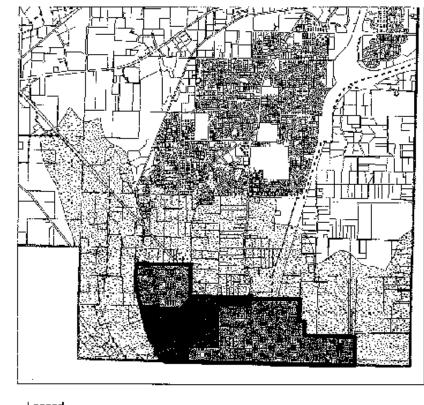
CONSIDERATION NUMBER 2

-STORM WATER DRAINAGE

Most of the Basalt Creek area is within the Willamette Watershed.

Ordinance No. 980 Exhibit 1 August 10, 2007 Page 10 of 10

Add new Exhibit A - City of Wilsonville Urban Planning Area as shown below to the Washington County - City of Wilsonville Urban Planning Area Agreement.





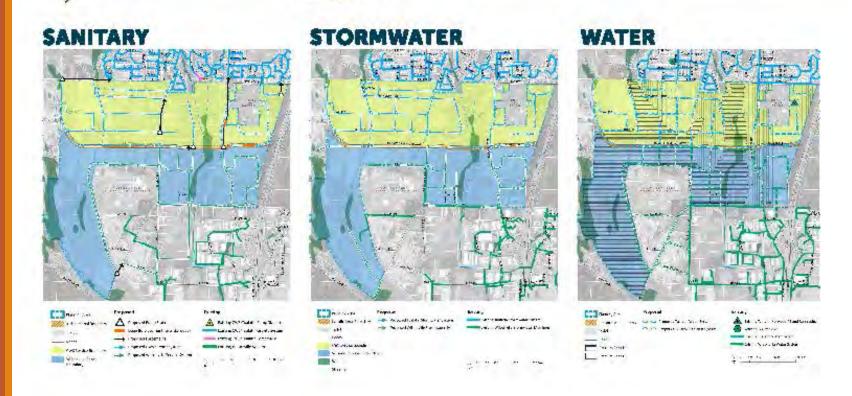
abodef Proposed additions abodef Proposed delegons

CONSIDERATION NUMBER 2 -STORM WATER DRAINAGE

Basalt Creek Open House 4-28-16 Presentation Posters

How will contaminated water from streets and sediment which flows into the ravine on the west side of Boones Ferry Road be treated prior to flowing to the Willamette?





CONSIDERATION NUMBER 2 -STORM WATER DRAINAGE

Basalt Creek Open House Storm water Poster Detail

After viewing the storm water map presented at the Basalt Creek Open House, I have concerns as to where the storm water flow will be directed east of my property on the east side of SW Boones Ferry Road.

The map presented at the Open House indicates the flow would be west-towards my property



CONSIDERATION NUMBER 2 -STORM WATER DRAINAGE

As project staff may remember during an onsite visit, we discussed the fact my property experienced high peak storm water flow.

Our property was flooded from the flow of water from the discharge outlet under SW Boones Ferry Road in May 2015.

Flooding Lucini Property May 18, 2015 Storm Water Runoff





At the Basalt Creek Concept Open House on April 28th, I did not see any areas within the storm water map designated for:

- upstream and on-site retention with <u>reabsorption</u>, or
- water runoff treatment sites prior to discharge west---where the runoff flows towards the wetlands on the west side of SW Boones Ferry Road.

Planned on site reabsorption will assist in refilling our local aquifers and also reduce the need for handling of water run off by municipalities prior to discharge into the wetlands and eventually the Willamette River.

These elements should be required as part of the concept planning especially when large tracks of currently undeveloped land are being blocked out for zoning and development.

The size and scope of proposed developments will require incrementally larger areas set aside for storm water management and by their size may influence how parcels of land can be utilized.

CONSIDERATIONS 4,5, 6, 7, and 8 -TRANSPORTATION ISSUES Grahams Ferry- Boones Ferry

Connector

A major premise of the Basalt Creek Concept Planning-- is based upon the location of the future connector between Grahams Ferry Road and Boones Ferry Road

At what point in time will geo technical testing be done on the "basalt 100' island" in the middle of the wetland which is the planned footing for the connector bridge? This island is the primary basis upon which WA County determined the location of the future connector bridge.

It is my understanding that basalt rock and basalt rock formations have varying degrees of density and strength- and not all basalt rock used from nearby quarries can be used in road construction due to internal strength issues or seismologic considerations

What happens should the testing of the basalt island prove to be less than suitable for use as the footing for the bridge? If the bridge cannot be built with reasonable cost at the proposed (untested) location — what impact will this have on all aspects of the concept planning?

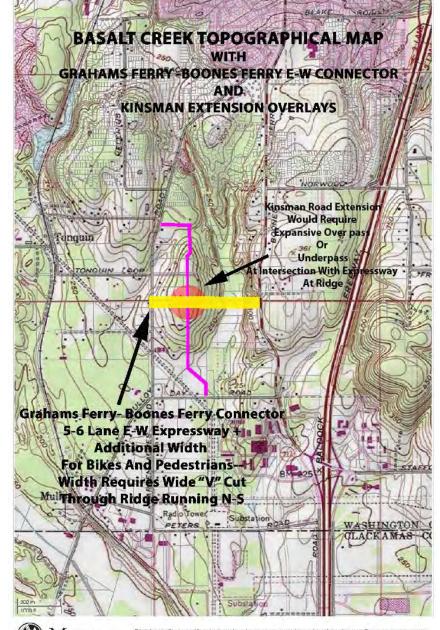


CONSIDERATIONS 4,5, 6, 7, and 8 -TRANSPORTATION ISSUES Kinsman Extension

At the last Basalt Creek Joint Cities Meeting of both Tualatin and Wilsonville City Councils Meeting- it was discussed and agreed upon that the Kinsman extension north of Day Road would be tabled.

- Why is the extension still on the April 28th Open House maps?
- If there are still plans for the extension how will the extension cross the Grahams Ferry -Boones Ferry Connector?
- Proposed design for the connector will require a significantly large V cut into the ridge running north to south.
- The width of the "V" cut would be wide enough to accommodate a 5-6 lane expressway with bike and pedestrian lanes with all of the supportive infrastructure.

The Kinsman extension would have to cross the entire 5-6 lane expressway V cut- either above or below- at a significant cost.





503.797.1742 - drc@oregonmetro.gov

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To facilitate better understanding of the impact of proposed roads and the ability to actually implement the proposal- I have previously requested the staff provide a topographical overlay in their presentations.

I again request this additional topographical information be provided during presentations so that truly informed decisions can be made with respect to future road locations and other infrastructure changes within the Basalt Creek Area.

<u>CONSIDERATIONS</u> 4, 5, 6, 7, and 8 --TRANSPORTATION ISSUES

I-5 at Exit 286

Day Road & Boones Ferry Rd Intersection

Access to I-5 at Exit 286- Day Road & Boones Ferry Road Intersection

The intersection and interchange is already congested at peak hours.

During a WA County presentation to the Tualatin City Council in 2012, (on the WA County recommended location for the Grahams Ferry Road/ Boones Ferry Rd Connector)

--the project engineer acknowledged the anticipated volume of traffic at the Day Road- Boones Ferry intersection, will be 2 ½ times the volume currently seen on the Tualatin Sherwood Highway when the proposed Grahams Ferry-Boones Ferry Connector is built.

During the April 28th Open House, when there were multiple questions asked by the public about the
existing and anticipated congestion at this intersection- the comment that we have to get use to waiting
for more than one signal change does not seem to understand the importance of local knowledge and the
magnitude of the current problem.

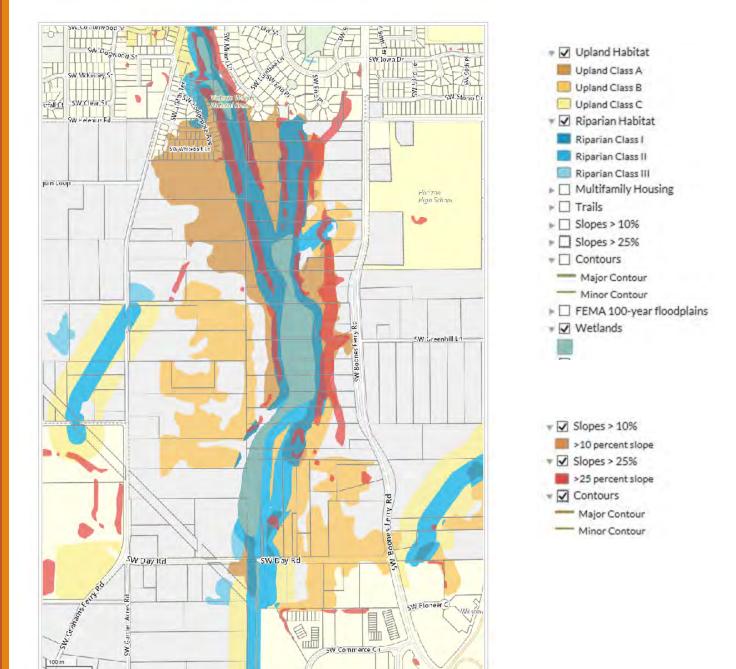
- Waiting more than one signal rotation is not a generally accepted standard by most municipalities
- Does the City of Tualatin accept waiting more than one signal rotation at an intersection as an acceptable standard now, and/or planned goal in future planning decisions?

CONSIDERATION 9 - BASALT CREEK CANYON

"The Cities recognize the Basalt Creek Canyon natural resource value

and will work together to reach agreement on joint management practices for the canyon...."

The actions taken by the municipalities in the past and being considered for the future do not support the sediments within Consideration 9, and are inconsistent in promoting the future health and management of this natural resource.



CONSIDERATION 9 - BASALT CREEK CANYON

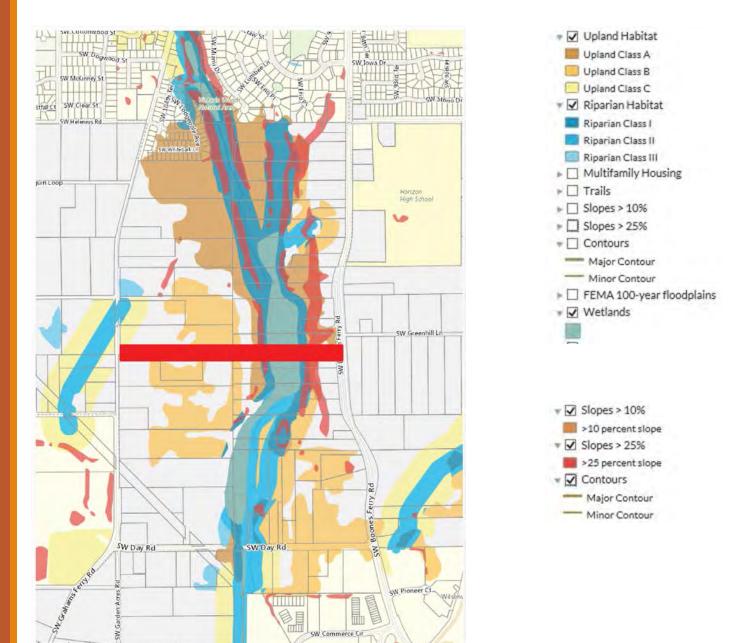
"The Cities recognize the Basalt Creek Canyon natural resource value

and will work together to reach agreement on joint management practices for the canyon..."

The Basalt Creek Concept Planning is predicated upon the construction of a regional 5-6 lane regional freight expressway (with additional lanes for pedestrians and bicycles) through this canyon.

The 6% Grade Connector will bisect and fragment the unique ecosystem within the canyon.

The pollution from the exhaust, tainted road runoff, noise pollution and 24 hour light illumination is not conducive to healthy management of this significant natural resource/habitat.



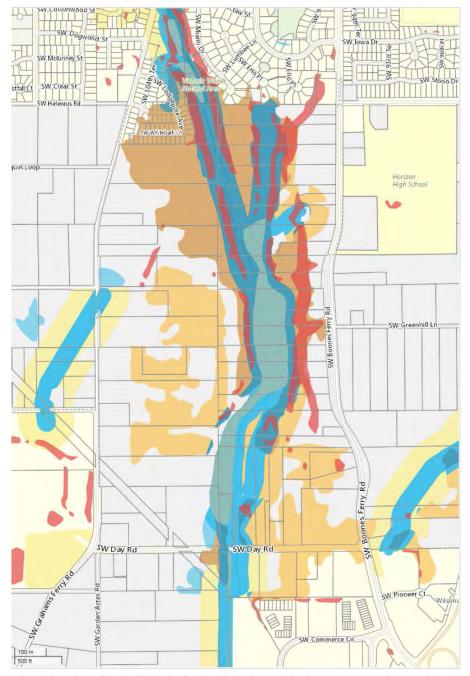
CONSIDERATION 9 - BASALT CREEK CANYON cont.

"...The Cities also recognize the benefits of locating north to south trails near the Basalt Creek Canyon and bicycle connections that would connect the cities and other trail systems and be an asset for both residents and employees in the area "

Please keep in mind- the canyon and the wetlands between Grahams Ferry Road and Boones Ferry Road are privately owned by several different property owners.

The current tax lots are long and narrow-running east – west.

The canyon and wetlands run north and south and are located within the middle of the tax lots.



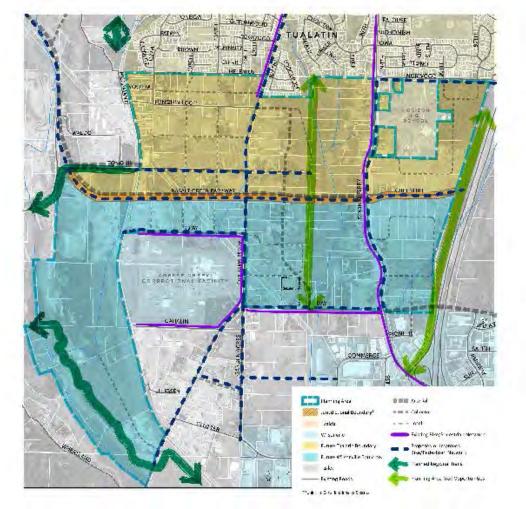
CONSIDERATION 9 -BASALT CREEK CANYON

The map presented at the April 28th Open House indicates a public trail along the western edge of my property.

This location is not adjacent to the wetlands, nor on the same level as the wetlands.

In light of the recent news articles regarding the Spring Water Trail, I am not extremely interested in creating a similar situation on or along my property unless actions and funding would be provided to monitor the trail at all times of the day- 7 days a week.





The wetlands are in the middle of my property- with useable property on the east and west sides of the wetlands.

- a. If a walking trail is envisioned along the wetlands it will require the public acquisition of privately owned land from many different property owners.
- b. If the trails are planned along the wetlands, the trail would cut my property in half, infringe upon my backyard and reduce the private use and enjoyment of my property.

As I am actively working to restore the wetlands on my property--- how would the restored area be protected from misuse or residual pollution from public access?

CONSIDERATION 9 -BASALT CREEK CANYON

"The Cities recognize the Basalt Creek Canyon natural resource value and will work together to reach agreement on joint management practices for the canyon. The Cities also recognize the benefits of locating north to south trails near the Basalt Creek Canyon and bicycle connections that would connect the cities and other trail systems and be an asset for both residents and employees in the area."

If one re-reads Consideration 9 Basalt Creek Canyon.....

.....It is very unclear what rights the multiple property owners and homeowners along the canyon will have in the future regarding the private and exclusive use of their own property.

While it might be a desirable marketing tool-Providing unlimited public access and trails into sensitive wetlands may not be in the best interest of this significant natural resource.

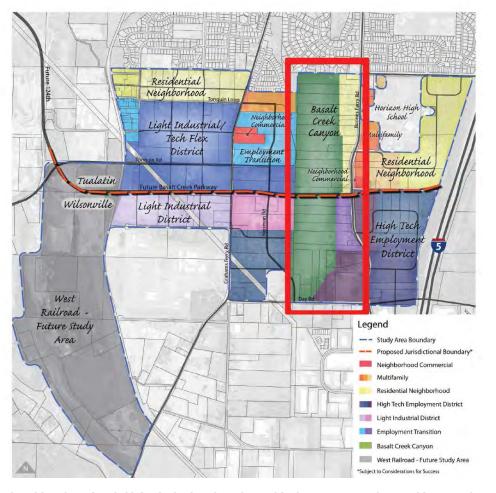
CONSIDERATION 9 -BASALT CREEK CANYON

While it appears proposals are being presented to utilize the privately owned wetlands and natural areas for public use and enjoyment-

This poster presented at the Basalt Creek Concept Planning Open House, and also to the Tualatin Planning Commission appears to have two land use concepts for several individual tax lots which contain portions of the Basalt Creek Canyon.

The poster can also be interrupted to imply -those same individual tax lots which contain the canyon--- will have a vast portion of the property (over 50%) to become protected natural areas- without any additional land use indicated.

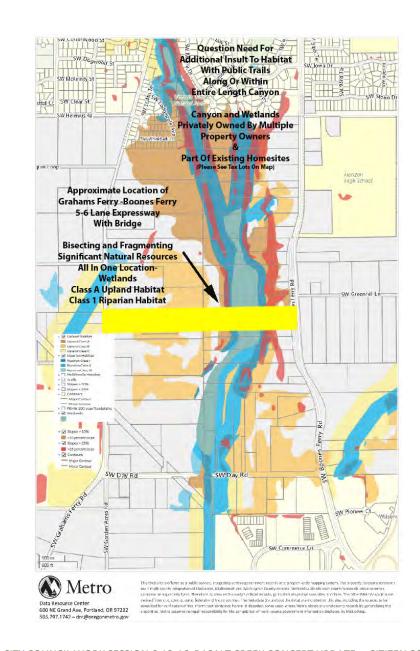




CONSIDERATION 9 -BASALT CREEK CANYON

It is contradictory and ironic that the same entities that are now wanting:

- to manage and utilize the benefits of this unique natural area-
- to make this area open and available for all the public to enjoy
- while at the same time apparently attempting to protect the natural area by limiting current home and property owners the future use or development of their property
- ... are the same entities who voted to construct a regional 5-6+ lane freight expressway straight through the middle of this same area.
- The connector may be more permanently disruptive to the environment during construction and after completion -24 hours a day/7 days a week--than what any individual homeowner may want to develop on their property.



Please keep in mind, while some of the area being discussed within the Basalt Creek Area is undeveloped land, there are many preexisting homes already established within the area being discussed.

The Basalt Creek Area is not a blank canvas.

While broad stroke conceptual planning is necessary to plan for future development, substantial consideration should also be given as to how these plans may impact the existing home owners and environment.

I appreciate your consideration of the issues I have presented as you listen to the Basalt Creek Concept Planning Update.

Many of these issues have been presented to the project staff on multiple occasions- and yet the issues remain without resolution.

Respectfully submitted,

Grace Lucini 23677 SW Boones Ferry Road Tualatin, Oregon 97062 From: <u>G Lucini</u>

To: Ed Truax; Monique Beikman; Wade Brooksby; Nancy Grimes; Lou Ogden; Joelle Davis; Frank Bubenik; Council

Cc: Karen Perl Fox; Aquilla Hurd-Ravich; Jeff Fuchs

Subject: Citizen Comment Information For Tualatin City Council Work Sessions & Council Meeting 6-13-16

Date: Wednesday, June 08, 2016 9:44:11 AM

Attachments: 2016 6-8 Citizen Comments-Tualatin CC 6-13 Basalt Creek- PP.pdf

The concept planning for the Basalt Creek Area is understandably very complex.

As a citizen, it would be very difficult to present my concerns regarding the "10 Considerations for Success" for the Basalt Creek Planning process within a 3 minute Citizen Comment period during the Tualatin City Council Meeting on 6-13-16.

Therefore, I am submitting a presentation which will also provide supporting documents for my concerns.

I request this presentation be included within the information for the 6-13-16 Tualatin City Council Meeting- Work Session-Basalt Creek Update, the 6-13-16 Tualatin City Council under Citizen Comment Section of the agenda, and within the Basalt Creek Concept Planning file.

I am willing to provide additional information if requested.

Your willingness to review this information is greatly appreciated.

Regards, Grace Lucini **From:** tom.re@comcast.net

Sent: Tuesday, June 21, 2016 4:31 PM

To: Karen Perl Fox
Cc: Aquilla Hurd-Ravich
Subject: RE: Basalt Creek

Karen & Aquilla:

Respec. ully, thank you again for your reply but now back in my office looking your note over again – it really surprises me.

Basic Concept Plan not completed?

Ci. zen involvement? A public workshop 2 years ago at Horizon School. Public meeting at Tualatin High School? Open house? I've been on property owner focus groups. More citizen input is needed?

Is there a property owner meeting scheduled?
Is there another citizen open house scheduled?
Are we on Concept Time Line target for "hearings and adoption" summer of 2016?

Honestly, I have to say – this process has been very frustrating.

Tom Re

From: Karen Perl Fox [mailto:kperlfox@ci.tualatin.or.us]

Sent: Tuesday, June 21, 2016 11:44 AM

To: tom.re@comcast.net Cc: Aquilla Hurd-Ravich Subject: RE: Basalt Creek

No, the Basalt Creek Concept Plan is not finalized yet, therefore the Comp Plan Amendment is not completed. The Land Use Concept Map shows land use in concept only, not zoning.

We are not at a point yet where specific zoning has been mapped or determined. Both the Concept Plan and the Comp Plan Amendment involve public process where citizens are encouraged to provide their input – that includes you as a property owner as well as others.

Thank you,

Karen

Karen Perl Fox

Senior Planner
City of Tualatin | Community Development Department
503.691.3027 | www.tualatinoregon.gov.

From: tom.re@comcast.net [mailto:tom.re@comcast.net]

Sent: Tuesday, June 21, 2016 10:01 AM

To: Karen Perl Fox

Subject: RE: Basalt Creek

Hello Karen: Thank you very much for taking the time to reply to me.

Re: 23500 and 23550 SW Boones Ferry Rd.

Is the Comprehensive Plan Map Amendment completed? On the Concept Map our property is designated Multi-Family – would that specifically be one of the options below i.e. RH 16-20 DU/acre?

After the property has been designated as multi-family does the actual developer and City together decide on best use (meaning which option / density of multi-family)?

I'm sorry for the questions – just trying to stay tuned in.

Thank you for helping me, Tom Re

From: Karen Perl Fox [mailto:kperlfox@ci.tualatin.or.us]

Sent: Monday, June 20, 2016 5:21 PM

To: Tom Re

Cc: Aquilla Hurd-Ravich **Subject:** RE: Basalt Creek

Tom:

Thank you for your inquiry. The Tualatin zones that include multifamily are listed below followed by the Section of the Tualatin Development Code (TDC):

RML –Medium- Low Density 7- 10 Dwelling Units (DU)/acre – Section 41 of the TDC RMH-Medium-High Density 11-15 DU/acre - Section 42 of the TDC RH-High Density 16-25 DU/acre-Section 43 of the TDC RH/HR High Density/High Rise 26-30 DU/acre-Section 44 of the TDC

The entire Tualatin Development Code can be found at http://www.tualatinoregon.gov/planning/comp-plan-development-code.

Does this give you what you were looking for?

Karen

Karen Perl Fox

Senior Planner
City of Tualatin | Community Development Department
503.691.3027 | www.tualatinoregon.gov.

From: tom.re@comcast.net [mailto:tom.re@comcast.net]

Sent: Monday, June 20, 2016 3:27 PM

To: Aquilla Hurd-Ravich **Subject:** Basalt Creek

Hello Aquilla:

Sorry to bother you in your busy day.

Just checking in to see if our Basalt Creek Concept Plan Timeline is still on target – and wondering if you would lead me in the right direction please?

My understanding is "multi family" could be interpreted a li le differently by different city planning departments. Would you please let me know where I may be able to find Tualatin's planning codes / Multifamily units per acre info?

Thank you Aquilla, Tom Re

From: <u>Stephen Anderson</u>

To: ahurd-ravich@ci.tualatin.or.us
Subject: Basalt Creek Concept Plan
Date: Monday, July 11, 2016 11:05:37 AM

Good morning, Aquilla,

We have been following the progress of the Basalt Creek Concept planning Activities. We are a small landowner in the area, and have been looking forward to the opportunity to make improvements to our property. We have been waiting patiently to learn what others might decide is appropriate for our property, and would like to know when utilities might be installed.

Can you provide any prediction as to when this process might be completed, zoning established and annexation activity beginning? It has been a rather protracted process, and the expectation had been that it would be a two year process.

We would appreciate any guidance you can provide regarding the schedule going forward, especially in regard to the city of Tualatin process.



Stephen F. Anderson Stephen.Anderson@Frontier.com 503.297.8263

dot.state.or.us); Alice Cannon; Aquilla Hurd-Ravich;

n Perl Fox Basalt Creek Concept Plan - July Notice day, July 11, 2016 10:37:34 AM

Dear Lynette,

I attended the meeting on April 28th at the Juanita Pohl Center and talked with Aquilla Hurd-Ravich about this subject. I am particularly concerned with saving the beautiful 125 to 150++ year old Fir Trees lining the south side of Norwood Rd. between the I-5 overpass and the Horizon Church/School property. The trees make our neighborhood and the walking/bike path along Norwood Rd. beautiful. They also help with buffering the I-5 noise and filtering I-5 pollutants from our neighborhood. I believe the latest plan calls for a residential subdivision to go into the property just south of Norwood Rd. and potentially could cause the end of these trees. I know that the Horizon Church listened to the neighbors across Norwood Rd. and saved about 90 feet for the trees to buffer their football field from the residential neighborhood across Norwood Rd. to the north of their property. I would like to see the same consideration given to the residential neighborhoods across from the new development that is planned in the Basalt Creek Concept Plan

Tualatin prides itself on being a Tree City and trying to be a very good livable city. I believe that saving these beautiful trees would go a long way of making many people happy here in this area. I am attaching a picture of the Trees in question. Please take this in consideration when making your final plans. It would benefit the neighborhood just north across Norwood Rd. of this property and also the the new homes to be built just south of Norwood Rd.

Thanks for your consideration on this matter.

Bob Wallington 22995 SW Vermillion Dr. Tualatin, OR 97062 503-697-5903

On Monday, July 11, 2016 9:32 AM, Lynette Sanford <LSanford@ci.tualatin.or.us> wrote:



Greetings,

Thank you for your continued interest in the Basalt Creek Concept Plan project. Wilsonville and Tualatin each met with their City Councils in June 2016 regarding the land use we are working on and final modifications to the model to reflect the visions and to finalize the land use concept.

Please stay current on concept planning news by signing up for email updates on the project website at www.BasaltCreek.com. Information about upcoming meetings will be included in future email updates as well as on the website project calendar. If you have questions or desire more information, please feel free to contact:

Karen Perl Fox

Senior Planner City of Tualatin | Community Development Dept | Planning Division Phone: 503-691-3027 | Email: kperlfox@ci.tualatin.or.us

Miranda Bateschell

Long Range Planning Manager City of Wilsonville | Community Development Dept | Planning Division Phone: 503-570-1581 | Email: bateschell@ci.wilsonville.or.us

From: <u>Keegan Lucas</u>

To: ahurd-ravich@ci.tualatin.or.us

Subject: Basalt Creek Property Question

Date: Tuesday, July 19, 2016 2:56:27 PM

Good Afternoon, Aquilla -

We are appraising a property that spans a few parcels across Washington County and Clackamas County, in an unincorporated area within the UGB. The address is 26045 SW Grahams Ferry Road. As best as I can tell, it's included within the Basalt Creek planning area. I'm trying to summarize what the general time frame of the planning process is - how long it might be before areas are incorporated into either Wilsonville or Tualatin (I would assume the property I'm talking about is more likely to go over to Wilsonville?) along with any major infrastructure improvements that are central to implementing the plan, and preliminary zoning/land use concepts. I apologize if the answers to these questions are already on the website - I have spent some time looking at documentation already, but so far haven't come across these answers. I do see the timeline about this initial planning process, with proposed adoption of a plan intended this summer.

Thanks for your time and any information you can pass along!

--

Keegan Lucas Cassinelli Valuation LLC 11720 SW 72nd Avenue Tigard, Oregon 97223 From: <u>Eric Rouse</u>

To: <u>ahurd-ravich@ci.tualatin.or.us</u>

Subject: Basalt Creek Concept Plan- 10480 SW Helenius Date: Tuesday, August 09, 2016 10:08:46 AM

Attachments: <u>image001.png</u>

Greetings Aquilla,

I am the Development Manager for Summit Development Group. The owner of Summit is Chris Marsh, who owns the subject property. I attended the last open house on April 18, 2016. At that time I understood the schedule for the annexation to be:

- The plan is to be presented to both City Council's by the end of summer 2016.
- Application will be made for an Urban Planning Boundary Change through Washington County (expected Oct. 2016).
- The Comp Plans go to the City for approval (Expected Spring of 2017).
- Then Annexation at the Property Owners initiation expected to be ready by Spring 2017.

Can you please confirm that my understanding of the process and the dates are still correct. Where possible, specific dates would be great to have (like the day the plan is going in front of Council, or the date the application will be made through Washington County).

I would like to give my boss an update on this process as soon as possible.

Thanks Aquilla!

Regards,

Eric

Eric Rouse

Phone 503.572.0295 | Fax: 503.214.4281 CCB #204140 • WA #SUMMIDG856KA

DEVELOPMENT GROUP www.summitdevelopmentgroup.com



808 sw third avenue, suite 300 • portland, oregon 97204 503.287-6825 • fax 503.415-2304 www.otak.com

BASALT CREEK/TUALATIN CONCEPT PLAN

Amendment Request to the Concept Plan Tualatin, Oregon August 23, 2016 Revised August 24, 2016

Introduction

• Otak represents a group of owners who hold 10 acres in the northeast quadrant of the overall district. The property is located near the northeast corner of Grahams Ferry Road and extends over to the Basalt Creek Canyon along the proposed new east-west arterial road.

Project Concerns

- Otak's concern is that the northeast quadrant area is not well suited to industrial zoning proposed by the concept plan.
 - Topography. Much of the site contains slopes in excess of 10% and 25%. It would be extremely difficult to flatten it out to accommodate industrial site development requirements.
 - Access. Vehicular access will be limited to Grahams Ferry Road and extending Tonquin
 Loop into the site. No access will be permitted on the proposed new east-west arterial road.
 - o Basalt Creek Canyon. The industrial land abuts the Basalt Creek Canyon with no transition.

Amended Plan Options

- The attached concept plan options summarize the requested amendment for proposed land uses that fit the site.
- The plans both show building Tonquin Loop as an actual loop with two access points on Grahams Ferry Road. This road extension will provide complete access to the properties.
- Two densities of residential are shown as transition to the neighborhood to the north and canyon to the east and also along the new east-west arterial, which is down 25 feet from the site area.
- A center core area of retail, industrial transition and open space serve as a walkable destination in the neighborhood.
- Property uses can be molded to fit actual site conditions yet still provide ample "jobs" land with the employment transition (ET) designation. Option A is preferred; it best fits the existing topography.

Basalt Creek/Tualatin Concept Plan

Amendment Request to the Concept Plan

Page 2

August 23, 2016

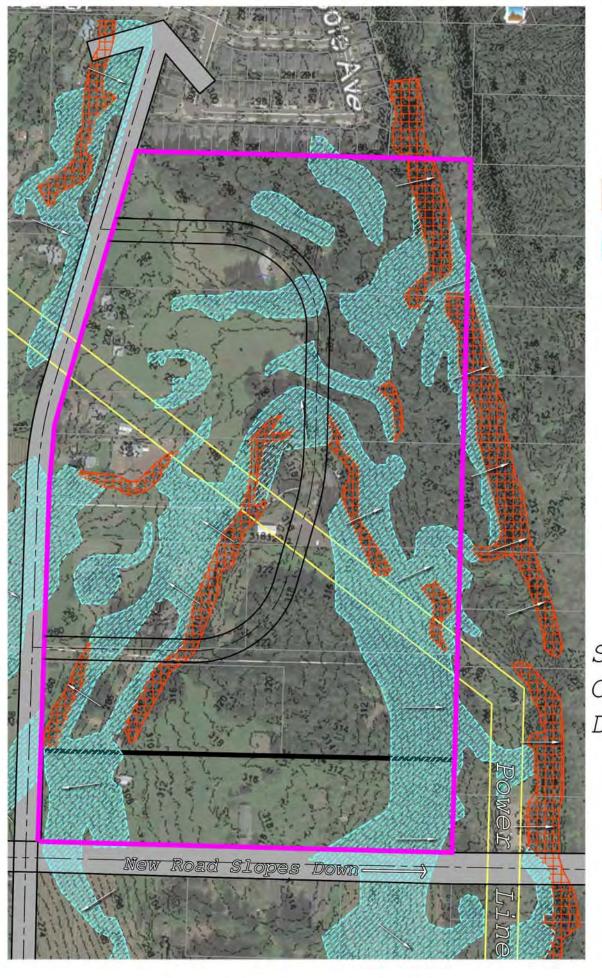
Revised August 24, 2014

Benefits

- A walkable neighborhood with appropriate transitions and destinations
- Land uses that are adaptable to actual site conditions. The mix of uses will act as a **catalyst to create activity in the district**. The HDR land provides an excellent opportunity for workforce housing next to employment lands.
- A quality neighborhood for Tualatin

Attachments: Basalt Creek – Site Constraints Diagram

Basalt Creek Concept Plan A Basalt Creek Concept Plan B





Greater than 25% slope area

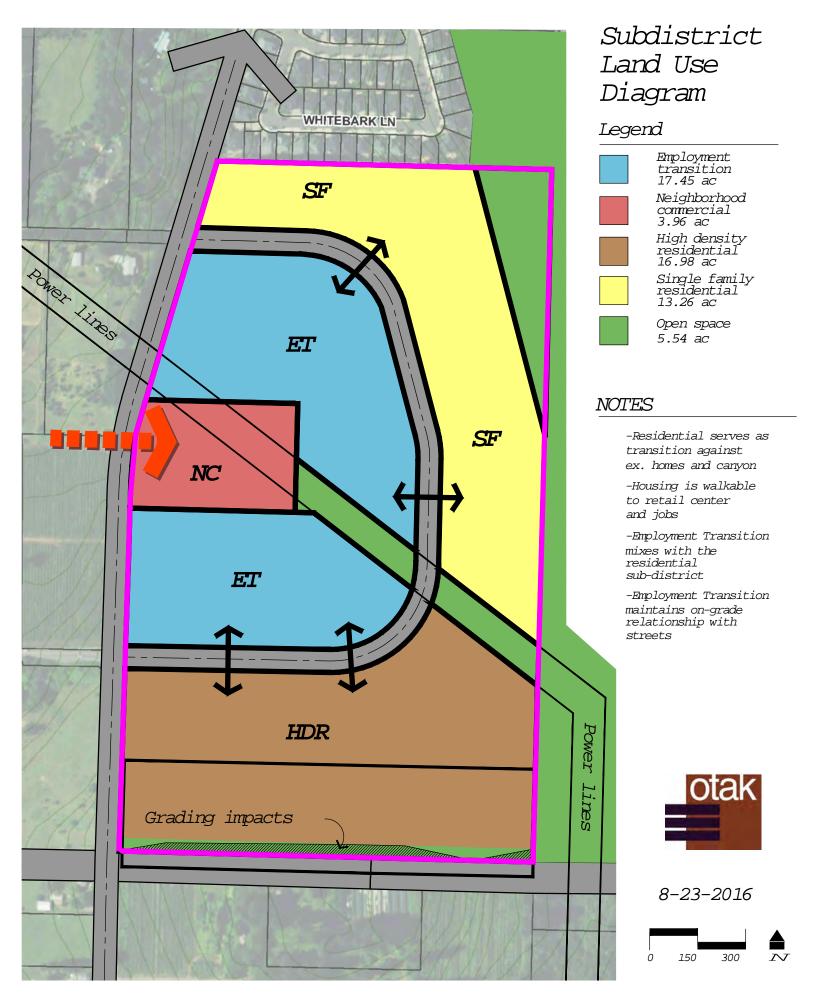
Greater than 10% slope area

Slope Direction

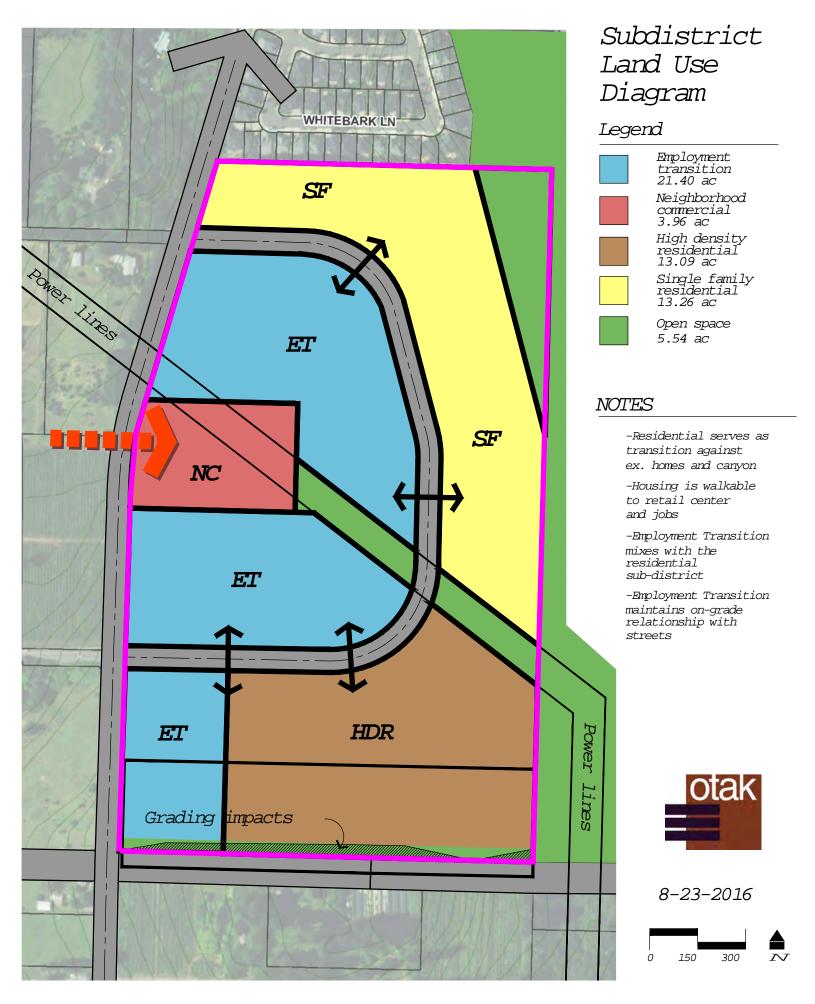


6-13-2016

Basalt Creek



Basalt Creek Concept Plan A



Basalt Creek Concept Plan B

From: <u>Steve Zimmerman</u>

To: ahurd-ravich@ci.tualatin.or.us
Subject: Basalt Creek Development
Date: Friday, August 26, 2016 11:15:22 AM

Hi,

My wife and I are considering buying a property that will probably be affected by the changes proposed at:

www.basaltcreek.com

The property we're considering, which is currently available for sale, is:

https://www.google.com/maps/place/24305+SW+Boones+Ferry+Rd,+Tualatin,+OR+97062

The address is:

24305 SW Boones Ferry Rd Tualatin, OR 97062

In looking through the documents, it would appear that not only would the zoning in that area change enough to allow for businesses to develop (and are there limits to the size/height of buildings built in that area?) but also it looked like (in one map) that the back 2/3rds or so of the property would become part of the Basalt Creek Park, with public access and pathways/trails. Is that correct?

Could you please let me know if I'm reading this correctly and if we're at risk of being surrounded by business parks and losing most of the property we're about to purchase? Thanks.

Steve Zimmerman 503-706-4153 Currently a Tualatin resident at: 22752 SW Cowlitz Dr Tualatin, OR 97062 From: G Lucini

To: "Beikman Monique"; "Lou Ogden"; "Nancy Grimes"; "Frank Bubenik"; "Joelle Davis"; "Wade Brooksby"; "Ed Truax"; council@ci.tualatin.or.us

Cc: "Aquilla Hurd-Ravich"; kperlfox@ci.tualatin.or.us; Bateschell, Miranda

Subject: Consent Agenda Item #D3-Reinstatement Basalt Creek Concept Planning IGA- Request change to Council Agenda Item for Review

Date: Friday, September 09, 2016 3:10:34 PM

Attachments: image009.png image017.png

On the Tualatin CC Meeting Consent agenda for next Monday 9-12-16, is the authorizing of the Reinstatement of the Basalt Creek IGA.

Consent Agenda Item:

D 3. Consideration of Resolution No. 5298-16 Authorizing the Reinstatement of an Intergovernmental Agreement for the Basalt Creek Planning Area

I recognize the IGA needs to be renewed to be able to continue the concept planning for the area. However, several years have passed since the original IGA was signed in 2011. Metro and Washington County have taken several actions in forwarding their respective interests since 2011. An open discussion/evaluation of the status and progress of the previous 5 years needs to be provided to the Council members and to the public prior to extending the IGA for another 3 years without any review or discussion.

At this time it would be prudent- prior to authorizing without any discussion via the consent agenda -to provide the City Council members the ability to make a truly informed vote on the proposed Resolution No. 5298-16 for a project of this large scope -both financially and geographically.

The Council members, and the public, should be provided an opportunity to receive a summary on relevant information and actions by the IGA participants on the progress over the last 5 years relating to the implementation and purpose of the IGA. There should be a summarization of how these actions may impact, influence, or forward the goals of the City of Tualatin, before the Council members are asked to vote to renew the agreement. This type of summarization on the actions taken by the IGA partners relating to the purpose of the IGA, or a summarization of the current status on meeting the goals of this IGA was not provided within the informational packet posted on the City of Tualatin website for the Tualatin City Council Meeting on 9-12-16.

There have been numerous actions over the last 5 years already instituted by other members of the IGA- affecting the Basalt Creek Concept planning. For example, just within the last 3 months, Washington County and Metro have taken actions affecting the Basalt Creek Area. There are many other actions, ordinances and resolutions which IGA participants have initiated and/or passed affecting the Basalt Creek Area since the original IGA was signed.

WASHINGTON COUNTY BOARD OF COMMISSIONERS MINUTES July 19, 2016

2.h.

MO 16-218

Approve Agreement with Oregon Department of Transportation for the Basalt Creek Parkway Extension Project (CPO 5) (Approved Under Consent Agenda)

WASHINGTON COUNTY BOARD OF COMMISSIONERS - CONSENT AGENDA AUGUST 16, 2016

WASHINGTON COUNTY BOARD OF COMMISSIONERS

Agenda Category: Consent - Land Use and Transportation (All CPOs)

Agenda Title: AUTHORIZE GRANT APPLICATIONS TO METRO FOR

Presented by: Andrew Singelakis, Director of Land Use and Transportation

REGIONAL FLEXIBLE FUNDS

SUMMARY;

Washington County Department of Land Use and Transportation is seeking Board authorization to submit grant applications for three active transportation/complete streets projects and one freight/green economy project to Metro for Regional Flexible Funds and to accept the grant funds if awarded. The Regional Flexible Funds are allocated by Metro and the Joint Policy Advisory Committee on Transportation and would be available for the 2019-21 grant cycle.

The grant applications seek funding for the following projects:

 Right-of-way acquisition for the Basalt Creek Parkway Extension between Grahams Ferry Road and Boones Ferry Road.

METRO- Metro website-

http://www.oregonmetro.gov/news/new-acquisition-tonquin-geologic-area-protects-unique-features-missoula-floods? utm_source=Metro+contacts&utm_campaign=612960db63-EMAIL_DIGEST_CAMPAIGN&utm_medium=email&utm_term=0_e7c2405cf5-612960db63-278887138&mc_cid=612960db63&mc_eid=9f15596fb4

Metro has acquired a 50-acre site just north of Wilsonville that protects unique features of the Missoula floods, which shaped the region's landscape near the end of the last Ice Age.

Part of the new acquisition is adjacent to Metro's Coffee Lake Creek Wetlands, a 233-acre natural area. Metro's North Coffee Lake Creek Wetlands, a 27-acre natural area, sits a short distance north.

Combined, the area helps connect an important swath of habitat between the Tualatin and Willamette Rivers that native plants and wildlife rely on to safely move between different areas to access food and shelter and to breed.

I request Consent Agenda Item: 3. Consideration of Resolution No. 5298-16 Authorizing the Reinstatement of an Intergovernmental Agreement for the Basalt Creek Planning Area, be removed from the consent agenda and placed on the Tualatin City Council Meeting Agenda on 9-12-2016 as an agenda item, to allow the members of the Tualatin City Council:

- 1. Be provided relevant past and current information -- on the status of the actions of the IGA partners affecting the Basalt Creek Concept planning, prior to authorization of Resolution No. 5298-16 which renews this significant IGA.
 - a. It has been 5 years since the original IGA was signed.
 - b. Within the 5 years, a great amount of information has been obtained and analyzed relating to the concept planning for Basalt Creek which was not previously available.
 - c. Within the 5 years IGA partners have taken actions which may affect or influence the outcome of concept planning for Basalt Creek.
- 2. Placing Resolution No. 5298-16 as an agenda item would provide an appropriate opportunity for evaluation by members of the council to review the concept planning process and implications for the City of Tualatin, now that 5 years have passed since the original IGA was passed and additional information gained.
- 3. The Tualatin City Council should be able to hear how the extension of the IGA will lead to successful completion of the concept planning for the Basalt Creek Area, and what steps will be taken to insure completion of the goals of the IGA within the timeframe of the 3 year extension.
- 4. The geographic scope and purpose of this IGA has a substantial jurisdictional, financial, transportation and other infrastructure ramifications upon the government of the City of Tualatin, as well the citizens of Tualatin, and the citizens of the Basalt Creek area. Efforts should be made by the City of Tualatin (as an IGA partner and one of the IGA partners responsible for primary project management for concept planning) to provide the opportunity for the public to hear the information on the current status of achieving the goals of the current IGA, and justification and ramifications of extending this significant IGA with three other governmental agencies for another 3 years.

Excerpt from the recitals Basalt Creek IGA 2011, page 2 of 10:

Whereas, Oregon Statewide Planning Goal 1 requires public involvement and Goal 2 requires intergovernmental coordination, this IGA is intended to indicate to private property owners in the area, METRO, the State of Oregon, and all other interested parties the cooperative nature of the planning effort being undertaken by the CITIES and COUNTY for the Basalt Creek Planning Area; and

I request this communication be included within the Basalt Creek Concept Planning IGA file. Respectfully submitted,

Grace Lucini

23677 SW Boones Ferry Road, Tualatin Oregon 97062

 From:
 Karen Perl Fox

 To:
 Alice Cannon

 Cc:
 Aquilla Hurd-Ravich

Subject: FW: Consent Agenda Item #D3-Reinstatement Basalt Creek Concept Planning IGA- Request change to Council Agenda Item for Review

Date: Friday, September 09, 2016 3:16:16 PM

Attachments: image002.jpg image008.jpg

image009.pnq image011.ipq image015.ipg image017.pnq

FYI - see below comments from Grace Lucini regarding the Basalt IGA.

Karen

Karen Perl Fox

Senior Planner

City of Tualatin | Community Development Department

503.691.3027 | www.tualatinoregon.gov.

From: G Lucini [mailto:grluci@gmail.com] Sent: Friday, September 09, 2016 3:10 PM

To: Monique Beikman; Lou Ogden; Nancy Grimes; Frank Bubenik; Joelle Davis; Wade Brooksby; Ed Truax; Council

Cc: Aquilla Hurd-Ravich; Karen Perl Fox; Bateschell, Miranda

Subject: Consent Agenda Item #D3-Reinstatement Basalt Creek Concept Planning IGA- Request change to Council Agenda Item

for Review

On the Tualatin CC Meeting Consent agenda for next Monday 9-12-16, is the authorizing of the Reinstatement of the Basalt Creek IGA.

Consent Agenda Item:

D 3. Consideration of Resolution No. 5298-16 Authorizing the Reinstatement of an Intergovernmental Agreement for the Basalt Creek Planning Area

I recognize the IGA needs to be renewed to be able to continue the concept planning for the area. However, several years have passed since the original IGA was signed in 2011. Metro and Washington County have taken several actions in forwarding their respective interests since 2011. An open discussion/evaluation of the status and progress of the previous 5 years needs to be provided to the Council members and to the public prior to extending the IGA for another 3 years without any review or discussion.

At this time it would be prudent- prior to authorizing without any discussion via the consent agenda -to provide the City Council members the ability to make a truly informed vote on the proposed Resolution No. 5298-16 for a project of this large scope -both financially and geographically.

The Council members, and the public, should be provided an opportunity to receive a summary on relevant information and actions by the IGA participants on the progress over the last 5 years relating to the implementation and purpose of the IGA. There should be a summarization of how these actions may impact, influence, or forward the goals of the City of Tualatin, before the Council members are asked to vote to renew the agreement. This type of summarization on the actions taken by the IGA partners relating to the purpose of the IGA, or a summarization of the current status on meeting the goals of this IGA was not provided within the informational packet posted on the City of Tualatin website for the Tualatin City Council Meeting on 9-12-16.

There have been numerous actions over the last 5 years already instituted by other members of the IGA- affecting the Basalt Creek Concept planning. For example, just within the last 3 months, Washington County and Metro have taken actions affecting the Basalt Creek Area. There are many other actions, ordinances and resolutions which IGA participants have initiated and/or passed affecting the Basalt Creek Area since the original IGA was signed.

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WASHINGTON COUNTY BOARD OF COMMISSIONERS - CONSENT AGENDA AUGUST 16, 2016

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METRO- Metro website-

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I request Consent Agenda Item: 3. Consideration of Resolution No. 5298-16 Authorizing the Reinstatement of an Intergovernmental Agreement for the Basalt Creek Planning Area, be removed from the consent agenda and <u>placed on the Tualatin City Council Meeting Agenda on 9-12-2016 as an agenda item</u>, to allow the members of the Tualatin City Council:

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 - a. It has been 5 years since the original IGA was signed.
 - b. Within the 5 years, a great amount of information has been obtained and analyzed relating to the concept planning for Basalt Creek which was not previously available.
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4. The geographic scope and purpose of this IGA has a substantial jurisdictional, financial, transportation and other infrastructure ramifications upon the government of the City of Tualatin, as well the citizens of Tualatin, and the citizens of the Basalt Creek area. Efforts should be made by the City of Tualatin (as an IGA partner and one of the IGA partners responsible for primary project management for concept planning) to provide the opportunity for the public to hear the information on the current status of achieving the goals of the current IGA, and justification and ramifications of extending this significant IGA with three other governmental agencies for another 3 years.

Excerpt from the recitals Basalt Creek IGA 2011, page 2 of 10:

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I request this communication be included within the Basalt Creek Concept Planning IGA file.

Respectfully submitted,

Grace Lucini

23677 SW Boones Ferry Road, Tualatin Oregon 97062

Aquilla Hurd-Ravich, AICP Planning Manager City of Tualatin 18880 SW Martinazzi Avenue Tualatin, OR 97062-7092

Dear Aquilla:

We are writing to you to express our concerns with the current zoning of the property directly south of Victoria Gardens. The Basalt Creek Concept Plan currently shows the eleven acres that borders directly south of Victoria Gardens (Whitebark Ave.) planned for multiple housing. Our concern is the area directly north (Victoria Gardens) is currently all single family development, the property across the street from the area (directly west on Grahams Ferry Road) is proposed to be zoned single family, and the area directly east of the property is also currently planned as zoned for single family use.

On August 10, 2016 the Victoria Gardens Homeowners Association held a community meeting and the residents attending unanimously approved a resolution asking the city of Tualatin to change the zoning of these eleven acres to Single Family Residential in order to conform with the surrounding area already developed, and planned for development.

Also at our community meeting, the owner of the property, Sherman Leitgeb, spoke to the community and was supportive of the change in zoning.

If you have any questions, please to not hesitate to contact us.

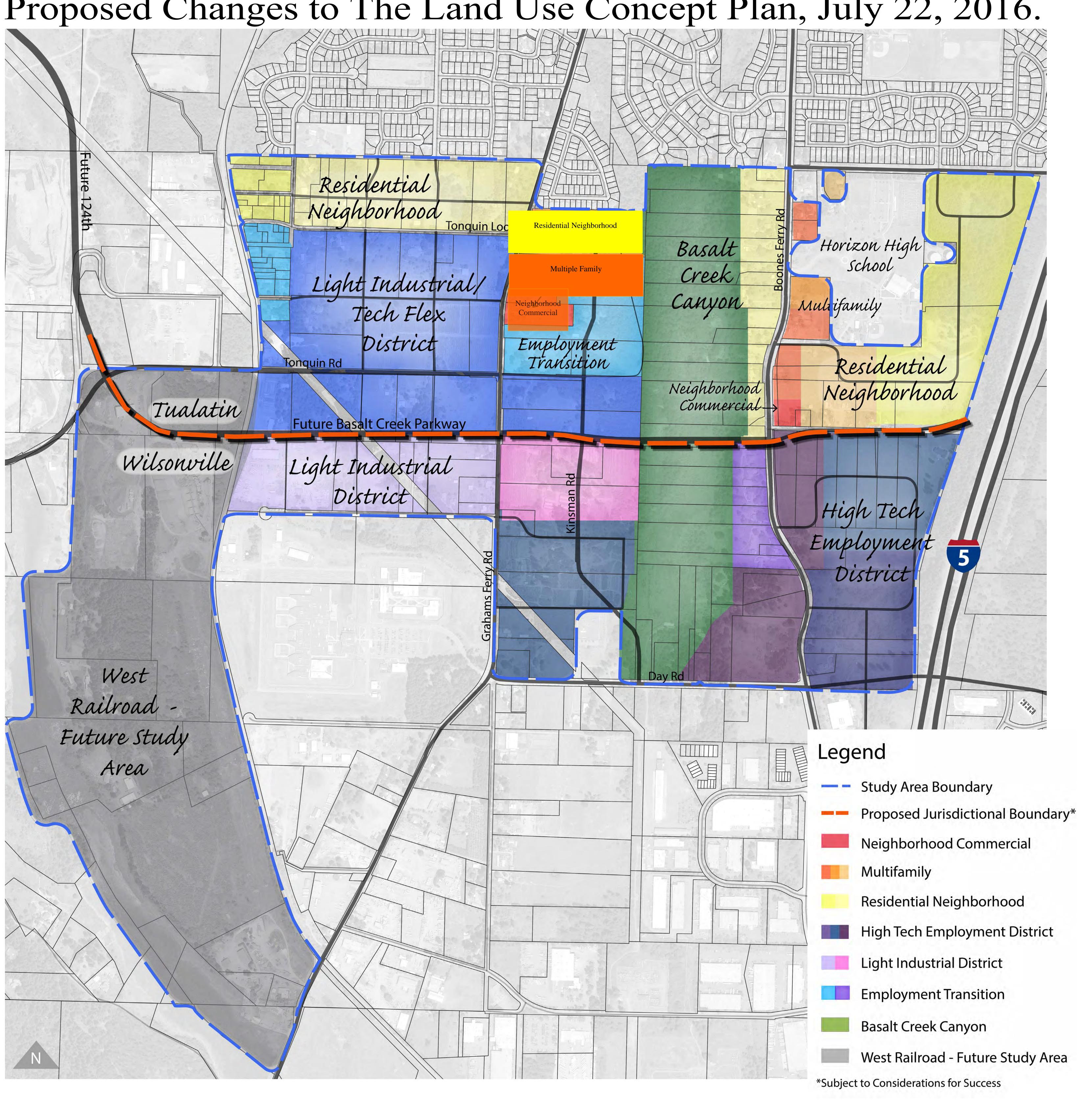
Sincerely,

Dan Greenspan, President Paul Morrison, Treasurer Victoria Gardens Homeowners Association



THE LAND USE CONCEPT





From: <u>G Lucini</u>

To: "Bateschell, Miranda"; "Cosgrove, Bryan"

Cc: scottstarr97070@gmail.com; "Jacobson, Barbara"; "Neamtzu, Chris"; "Kraushaar, Nancy"; "Aquilla Hurd-Ravich"

Subject: RE: Basalt Creek

Date: Monday, September 19, 2016 1:57:18 PM

Hi Miranda,

I appreciate the fact you took time to respond to my concern regarding transparency within the Basalt Creek Concept Planning process. I know you are also working on concept planning for Frog Pond, so your efforts did not go unnoticed.

The Concept Planning for the Basalt Creek Area is solely the responsibility of the cities of Wilsonville and Tualatin, with Tualatin assuming the administrative and fiduciary duties.

However, both cities are responsible and <u>accountable</u> for work towards a common goal. The original agreement between the two cities provided for completion of the concept plans within a 5-year period, ending this year. It is appropriate to have an accounting of the process and why the planning was not completed prior to the end of the grant and the terms of the current IGA- prior to a vote to renew an agreement of this large of scope and expense.

The vote on the IGA renewal directly affects the viability and therefore outcome of jurisdictional, zoning, transportation and infrastructure of over 800 acers- directly affecting large numbers of property owners and citizens on a project which has already had significant cost to taxpayers through various governmental funds.

Open discussion of ramifications related to renewal of the agreement is necessary for Councilors to make a truly informed decision to renew the IGA <u>prior to voting</u>.

Information which needs to be exchanged---should include:

- Any additional expenses related to extending the IGA----including but not limited to contractors or sub-contractor costs; additional staff time; or costs for the acquisition of additional funding to replace the funding of the current grant.
- A list of factors which caused delays in the current IGA; how these factors might impact the proposed renewal and how they will be addressed.
- A discussion on actions which can be taken to help ensure the completion of the project within the terms of the renewal.

I agree the Basalt Creek Concept Planning needs to be continued and completed in a timely manner.

At the same time, the inability of the two cities to reach an accord within the 5 year term of the current IGA, does not constitute an unknown deadline or an emergency situation. Expediency for times sake should not negate the need for transparency when there should be an accounting for the failure of completion of the first agreement; an understanding of any additional costs/ ramifications relating to the proposed renewal; and discussion of factors necessary for successful completion within terms and timeframe of the proposed renewal---- in a public forum.

The transparency of the process in a Public Meeting is particularly important- especially when there are the governments of two city involved in the process; and the property owners directly affected by the concept planning do not have elected representation within the process.

A modification to the Partnering Agreement for this IGA was specifically included to convey the intent of both cities to comply with the Oregon Public Meetings Law. I do not see a reason this information exchange should not be carried out in a Public Meeting ----prior to a vote by an informed City Council.

Grace

From: Bateschell, Miranda [mailto:bateschell@ci.wilsonville.or.us]

Sent: Friday, September 16, 2016 5:13 PM

To: G. Lucini <grluci@gmail.com>; Cosgrove, Bryan <cosgrove@ci.wilsonville.or.us> **Cc:** scottstarr97070@gmail.com; Jacobson, Barbara <jacobson@ci.wilsonville.or.us>;

Neamtzu, Chris <neamtzu@ci.wilsonville.or.us>; Kraushaar, Nancy

<kraushaar@ci.wilsonville.or.us>; Aquilla Hurd-Ravich <AHURD-RAVICH@ci.tualatin.or.us>

Subject: RE: Basalt Creek

Ms. Lucini,

I am sorry it has taken me until this late in the week to respond, but it has been a very meeting heavy week for me. I wanted to respond to your questions and hopefully clarify the Basalt Creek agenda item as it relates to your concerns.

While the specific question of whether to renew the IGA or not has not been discussed as a separate agenda item, the need for the IGA in order to complete concept planning for Basalt Creek has been discussed since the beginning of the project. The IGA binds the agencies together in this effort and is the conduit for the planning work and fulfilling the grant obligations with Metro. The IGA is needed to bring the Basalt Creek Concept Plan to completion and for the cities to take action to implement the concept plan with the County.

As you noted, significant work has been done through this partnership to bring investment to Basalt Creek (completion of the Transportation Refinement Plan, construction of the Parkway, etc.). We need to finish the land use plan to support all of that investment. We need to be fiscally responsible and extend the IGA and the commitment of all the agencies involved to honor those investments and get us to a point of implementation on the land use side of the project. The financial obligation of the agencies to complete the plan is the same. The renewal does not add costs but rather adds time. While the County recommended adding three years to be on the safe side, it is important to note, that all agencies hope to have all the work completed by next spring (concept plan approved by the end of the year, and amendments adopted in spring). We are in the home stretch.

I hope you have a lovely weekend. Let me know if you have additional questions.

Best, Miranda

Miranda Bateschell

Long Range Planning Manager City of Wilsonville | Community Development Department 503-570-1581 | <u>bateschell@ci.wilsonville.or.us</u>

From: G. Lucini [mailto:grluci@gmail.com]
Sent: Tuesday, September 13, 2016 1:33 PM

To: Cosgrove, Bryan

Cc: scottstarr97070@gmail.com; Jacobson, Barbara; Neamtzu, Chris; Bateschell, Miranda;

Kraushaar, Nancy

Subject: Re: Basalt Creek

Bryan,

Thank you for your email.

Would you be able to provide me the public meeting where the renewal of the Basalt Creek IGA was an agenda item for a work session or during a Wilsonville CC meeting?

Are there minutes on discussion on the additional costs relating to the renewal, or discussion of what factors lead to the need to renew, or what actions would assist in completing the concept planning to avoid the need of an additional renewal?

As the concept planning process is multifaceted and involves multiple participants - transparency of the process becomes important for all involved.

I appreciate your assistance.

Thanks,

Grace

Sent from my iPhone

On Sep 13, 2016, at 12:52 PM, Cosgrove, Bryan < cosgrove@ci.wilsonville.or.us > wrote:

Ms. Lucini.

Councilor Starr asked that I contact you regarding the Basalt Creek item that is on our consent agenda for the September 19th Council meeting. I'm sure you are aware that consent items are not discussed individually, but there is nothing that prohibits you from speaking under public comment. We view this as a procedural matter as the items in the staff report merely reflect the

agreements both cities made at a prior work session that was open to the public.

Bryan Cosgrove, City Manager

503.570.1504 (office)
cosgrove@ci.wilsonville.or.us
29799 SW Town Center Loop
Wilsonville, Oregon 97070

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There is little difference in people, but that little difference makes a big difference. The little difference is attitude. The big difference is whether it is positive or negative.

- W. Clement Stone

Date	Name	Comment*
9/27/2016	9/27/2016 Sean & Kelly Slater	Sean & Kelly Slater live at Tualatin, OR 97062 inside of Victoria Gardens development. Our backyard backs directly up to the Basalt Creek Concept Plan. We look over the fence at the first 11 acres that will be developed. That 11 acres is currently set to be zoned as Multi Family Housing. The acres to the West will be Single Family, the acres to the West will be single Family, but what is set to be in between all of us is Multi Family. This does not make sense to us. We feel that to keep continuity, the 11 acres that is currently owned by Sherman Leitgeb should be rezoned Single Family to conform with the surrounding area already developed.
		I was at our Victoria Gardens Homeowners Association meeting where we unanimously approved a resolution asking for this 11 acres to be rezoned Single Family.
		The current home owner Sherman Leitgeb said that he agrees himself that it should be rezoned Single Family to conform to the current developments surrounding it. Please consider rezoning this 11 acres to Single Family.
0/25/2016	***	Please let me know if you have any questions.
9/2//2016	9/27/2016 Yigal Accad	This letter is with respect to Basalt Creek Concept Plan documents of 4/28/2016, as related to the South end of Grahams Ferry Road. According to this plan, zoning assignment is extremely unfair with respect to present homeowners of Victoria Gardens Community, in particular on the South side of Whitebark Avenue.
		Single family homes and multifamily homes represent completely different lifestyles in many aspects (social, cultural, congestion and more). Hence, the corresponding different zonings should be separated by a wide margin rather than by merely a 6 feet backyard fence.
		Please consider my recommendations which will hopefully make justice to all parties involved (including the City of Tualatin).
		Extend the single family residential neighborhood from the South end of Victoria Gardens Community to at least the Eastward extension of Tonquin Loop. This will create single family homes on both sides of Grahams Ferry Road all the way to Tonquin Loop. To maintain the balance of multifamily homes in the Concept Plan, extend multifamily homes zoning between Boones Ferry Road and I-5 (South and East of Horizon High School). Moreover, I believe multifamily homes should be on the

		East side toward I-5 while single family homes toward Boones Ferry Road (see similar development in Wilsonville, East of I-5). It is never late to make the right and fair decision and I am looking forward to the Planning Committee to do so.
		Thank you for your attention to my letter.
9/29/2016	Jake VanderZanden	I am writing to you to express my concern and opposition to the current zoning of the 11-acres of property directly south of Victoria Gardens. This is my viewpoint and also that of the Victoria Gardens HOA/neighborhood.
		Your Basalt Creek Concept Plan currently shows the acreage that directly borders Victoria Gardens – south of Whitebark Ln – as planned for multiple housing. This simply does not fit with zoning plans directly north, west and east of this neighborhood. While I may not understand the rationale, this needs modification. It is also my understanding that the current property owner desires and supports this zoning plan change.
		The Victoria Gardens Homeowners Association held a community meeting and the residents unanimously support a change to Single Family Residential in order to conform to the surrounding area already developed.
		Please reconsider current plans. Let's keep Tualatin great.
10/3/2016	Charles and Danielle Cline	We are 4 year residents of Victoria Gardens in Tualatin. Recently it was brought to our attention that the 11 acres adjacent to our neighborhood, related to Basalt Creek project, is zoned for multiple housing.
		All other adjacent neighborhoods in our area are single family dwellings and we urge you to reconsider the current plan. The tiny lots on which most houses are built already contribute to high density and zoning for multiple housing would greatly enhance this density.
		Please change the zoning for those 11 acres to single family homes.
10/3/16	Carrie and Aaron Walser	Short Version: Please, reconsider the zoning south of Victoria Gardens. We would very much like it to be Single Family Residential rather than Multi-Family Residential.
		Long Version: We are writing to you to express some of

our thoughts and feelings about the proposed zoning of the property right behind our home in Victoria Gardens. First off thank you for taking the time to read our letter, we hope it is helpful with the difficult decision you face on this matter.

We moved to Tualatin with our three children in 2010. We fell in love with the city and the community at first sight. Never have we felt more "at home" in any community we have lived in before. Which is quite a feat if you consider that, when combined, we have lived in over 20 different cities in the United States, Mexico, and Argentina. Our home is on Whitebark Lane so that means our backyard is right up against Sherman's property. He has taken good care of his property and it has been lovely these past six years. Looking out from our bedroom windows and seeing just the pines, it feels like we live in some sort of awesome treehouse. We knew when we bought the house that our view wouldn't last forever. We knew that someday our neighbor would sell his property. Yet, we never imagined that our "backyard" would possibly become multifamily residential area.

We believe that a city should have zones for apartments and condos and the like. We have lived in those areas before so we realize the pros and cons such developments have. We also recognize that some so called arguments against multifamily housing have no basis in fact and are unfortunately biased and sometimes bigoted. As an experienced Planning Manager I am sure you are aware of far more studies on the issue than we are. We know there are strategies to make multifamily housing successful endeavors.

However, we are deeply concerned because in real life there are no guarantees that the common strategies used to make multifamily housing developments succeed-and not become their typical stereotypes-will be implemented.

Although it may sound trite, our first concern is aesthetics. We all like to think we are rational humans, and all our decisions are based on rational thoughts. The truth is, we make many decisions based on emotion. Good design-along with poor design-can affect our emotions during the decision making process. Given the circumstances, and the lovely area where we live, we believe that the architecture of these multifamily dwellings would need to be even more exceptional than the single family homes in the area. Pleasure derived from beauty of environment is functional beauty in

		covered ways. Vet from man amount of the and the
		several ways. Yet, from my experience, the sad truth is that many developers wanting to build a multifamily dwelling are not interested in spending money on creating something special; something that will enhance the living experience here in our city. It's usually all about the short game, and the quick dollars.
		We know that many arguments about lowered property values are not validated by research. Yet, the question of management is one that has been shown to affect surrounding areas. Whether privately owned or subsidized poorly maintained housing has shown to diminish the value of surrounding properties. Obviously we have no say over how well managed or maintained these multifamily dwellings will be. (Granted we have no real control over our current neighborhood either but the HOA does help keep us all pointed in the same direction at least. We once let the lawn get rather long-aka neighborhood kids were getting lost on safari in the jungle we had growing out front-before we got a nice reminder letter.:)
		Recently, at our Victoria Gardens Homeowners meeting, a point was made that north of us is single family zone, we are single family zone, and the areas east and west of us are planned for single family zones. It seems a bit odd that right south of us, right behind our fence, isn't zoned for single family.
		May we suggest one possible alternative. Studies have shown that multifamily zoning is likely to be more successful when-along with good design and good management-you place it in an area that is in need of revitalization. In no way do we mean this to come across like us telling you how to do your work. It is simply my hope that you might be aware of a couple of areas in Tualatin that would benefit from such an opportunity for revitalization.
		Finally, we want to thank you for your time and your efforts on behalf of the city. We recognize this is not an easy job and that you can't make everybody happy but we hope our letter has helped in some way with these difficult decisions.
10/3/2016	Jim Switzer	I hope you are having a good day!
		As you recall, we spoke by phone about our concerns relating to the zoning issue of the property directly south of Victoria Gardens.

		The Basalt Creek Concept plan currently shows the eleven acres that borders south of Victoria Gardens (Whitebark Ave.) is planned for multiple houses.
		As you know, the zoning to the north of Victoria Gardens as well as to the west are all zoned for single family use.
		It would only seem right, that the land directly south of Victoria Gardens would also be zoned as single family homes as well.
		As such, we are asking the Concept Plan be changed in light of this request.
		I have been a Tualatin resident since 1990. I love the city and respect the desire of the City to expand in the Basalt Creek area.
		However it is unreasonable to exclusively penalize our small (73 home) subdivision in the Concept Plan.
		It would make more sense to continue the single family home environment just south of Victoria Gardens.
		Thank you for your understanding and consideration of our request.
10/3/2016	Cristina & Sherrard Watson	My husband and I are homeowners in the Victoria Gardens neighborhood in Tualatin, OR. I was recently informed that the 11 acres just south of our neighborhood has been planned as multiple housing residences, rather than single family residences. This is concerning to us, as the neighborhood that we live in, as well as all the adjacent areas, are either zoned as single family or are planned as single family residences.
		I am writing to ask you to reconsider this decision, as we would all love for our neighborhood, and surrounding areas to stay in the same type of development format. We love Tualatin and love our neighborhood, and would just like to have the area conform to the areas that we already live in, or are being developed.
10/2/2016	M' 1 10 Y 1' M 1' 1	Thank you very much for your time and consideration.
10/3/2016	Michael & Julie Madrid	We are writing with concerns about the current zoning of the property directly south of Victoria Gardens. It would appear that the Basalt Creek Concept Plan shows that the eleven acres located on the southern border of Victoria Gardens is zoned multi-family housing and the remaining acreage to the south of that eleven acre parcel are

		currently zoned for single family use. We would like to request that these zones be switched so that the single family use zone is the zone closest to Victoria Gardens. On August 10, 2016 Sherman Leitgeb, the owner of the two parcels in question addressed our homeowners association and was supportive of the change of the current zoning. The Victoria Gardens Homeowners association held a community meeting about the current zoning and with unanimous consensus we are asking the City of Tualatin to change the zoning of the eleven acres on our southern border to be changed to single family residential. This change would be better suited to a continuous flow of single family residences without the insertion of multi-family use zoning splitting single family neighborhoods. We also believe that the flow of traffic would be better suited as multi-family use properties have more vehicles per acre Since the multi-family zone would be closer to the 124 th street extension and to I-5 via Day Road, we believe that the flow of traffic would flow better.
		We appreciate your time and I hope you will consider our request to change the zoning.
10/3/2016	Bonnie Ford	I am writing with the sincere hope that you will consider and understand my concern regarding the current zoning of the area just south of my neighborhood. I've lived in Victoria Gardens for just over four years. When I moved into my new home in 2012, it was as a single mother with a full time career raising a 9-year old daughter. I am fortunate enough to have the financial means to buy a home rather than renting a house or apartment. I considered moving to other communities like Lake Oswego, Forest Heights, or Multnomah Village. I chose to stay in Tualatin, moving only a few blocks from my previous home in the Canterwood subdivision. The overriding reasons were the quality of life, sense of community, and the safety of the Victoria Gardens neighborhood for myself and my daughter. That decision has always lived up to my expectations until now.
		The Basalt Creek Concept Plan proposes to turn the eleven acres directly south of Victoria Gardens into multiple family housing. This concerns me deeply as I believe it is inconsistent with the purpose and feel of the neighboring communities. The bordering areas are currently or proposed to be zoned as single family residential. A multiple family housing development in

		.1 '11'
		this area will impact traffic, aesthetic, and population density negatively and change the character of our local community.
		On August 10 th , the Victoria Gardens HOA held a community meeting to discuss this issue. The residents in attendance unanimously approved a resolution asking the city of Tualatin to change the zoning of these eleven acres to Single Family Residential in order to conform with the surrounding area, both existing and planned for development.
		Sherman Leitgeb, the owner of the property, has also expressed his support of our community to change the zoning to Single Family Residential.
		I appreciate the opportunity to express my concerns and sincerely hope that you will consider the impact of this decision on my family, my neighbors, and our wonderful community.
10/4/2016	Herb Koss	
		I have attached a hand drawn sketch that Don Hanson of Otak prepared. A more detailed map will be forthcoming.
		I have been speaking with Mayor Ogden about the zoning issues in Basalt Creek and my concerns with trying to include Employment Transition Zoning on the land identified in the attachments to this email.
		The property that I have ownership in is the 10 acre parcel on Basalt Creek Parkway and Grahams Ferry Road (east side of Grahams Ferry). In speaking to the Washington County Engineering dept., I was told that we will have an 18 foot cut on our southern boundary. With no access allowed from frontage on Grahams Ferry Road I retained the services of Otak to assist with what I would consider a better plan for not only our land but for the City of Tualatin.
		The first plan that Otak prepared was directed by input from the city staff that Employment Transition land had to be a part of the plan. After examining the topography of the land it just does not make sense for any of the land in the area described to be zoned employment. The site constraints are just not conducive to employment zoning. I asked Don Hanson to prepare a sketch of a plan that did take site topography into consideration. The plan is also attached to this email Basalt Creek Sketch.
		I have been in the development business for many years

		and in planning any land purchased I always retained the services of professional land planners to assist me in creating a well thought out plan. Topography is a very important factor in preparing any land plan. It is my sincere hope that the City consult with John Fregonese on the issues that I have identified.
		Attachment: 1- 17713A Basalt Creek Amend Concept Plan Revised 08-24-16 Attachment: 2- Basalt Creek Sketch
10/5/2016	Michael Ward	I am writing to you to express my concerns regarding the zoning of the property directly South of my home in Victoria Gardens.
		This plan shows that the property directly south of my location is planned to have multi-family housing. Currently the area is all single family development.
		The Victoria Gardens Homeowners Association held a meeting and all the residents attending approved a resolution asking that the City of Tualatin change the zoning of the eleven acres to Single family Residential in order to conform with the surrounding area that is already developed and planned for development.
		If you have any questions, please feel free to contact me. My contact information is below.
10/5/2016	Herb Koss	I have attached a more detailed plan that Otak has prepared. Since my first plan was submitted I had Otak take a closer look at the slopes and topography of the entire land area from Basalt Creek Parkway north to the present residential Neighborhood and between Grahams Ferry Road and the Canyon. It was apparent, after consulting with Otak and Fregonese and Asso. that not only our land, but the entire area described had constraints that were not conducive to Employment Land uses.
		John Fregonese provided me with a copy of the mapping that his firm provided and this map was the basis for the work done by Otak.
		The attached refined plan has been drawn taking into consideration the existing topography and access points as well as a needed transition to existing homes to the north and the canyon to the east.
		There is a centralized retail center that is easy and safe to

walk to from all of the housing proposed on the site.

A diverse mix of housing is proposed from single family to townhomes to apartments.

This approach supports the workforce housing close to jobs. Severe slopes are protected by open space. This combined with a parkway under the existing power lines creates open space the connects land uses.

Access to the Grahams Ferry road is limited to three points. The development parcels are served by an internal loop road. No access is proposed to the Basalt Creek Blvd. since there is a 18 to 20 foot cut in line with the plans as proposed by Washington County.

I would like to suggest that Fregonese and Asso be invited to a workshop along with Don Hanson a principle with Otak who has prepared our suggested zoning map.

Thank you for your including our first planning maps for the upcoming workshop. The attached map has been prepared after looking at the entire area described above. I would appreciate if you included the attached map and this email too.

Sincerely Herb Koss

Attachment: Basalt Map

From: Alan Alexander

To: <u>ahurd-ravich@ci.tualatin.or.us</u>

Cc: <u>aalexander@rshughes.com</u>; <u>alsg@earthlink.net</u>

Subject: Basalt Creek Concept Plan

Date: Tuesday, October 04, 2016 1:59:22 PM

Importance: High

Aquilla,

I am reaching out to you on behalf of my wife and myself to express our concerns over zoning of the Basalt Creek project. We live in the Victoria Gardens neighborhood just north of where the eleven acre project is supposed to be developed. We are requesting that consideration be given to change the zoning from multi-family to single family homes that are proposed to be constructed. There also seems to be unanimous opposition in the surrounding area to having multi-family homes so close to single family homes. Multi-family homes could have a detrimental effect on the surrounding home values and traffic, just to name some of the concerns that current homeowners share.

At our Homeowners Association meeting on August 10th the current owner of the property, Sherman Leitgeb, also spoke and was supportive of the change in the zoning back to single family residence.

We thank you for your consideration of these requests and are looking forward to receiving your reply.

Sincerely,

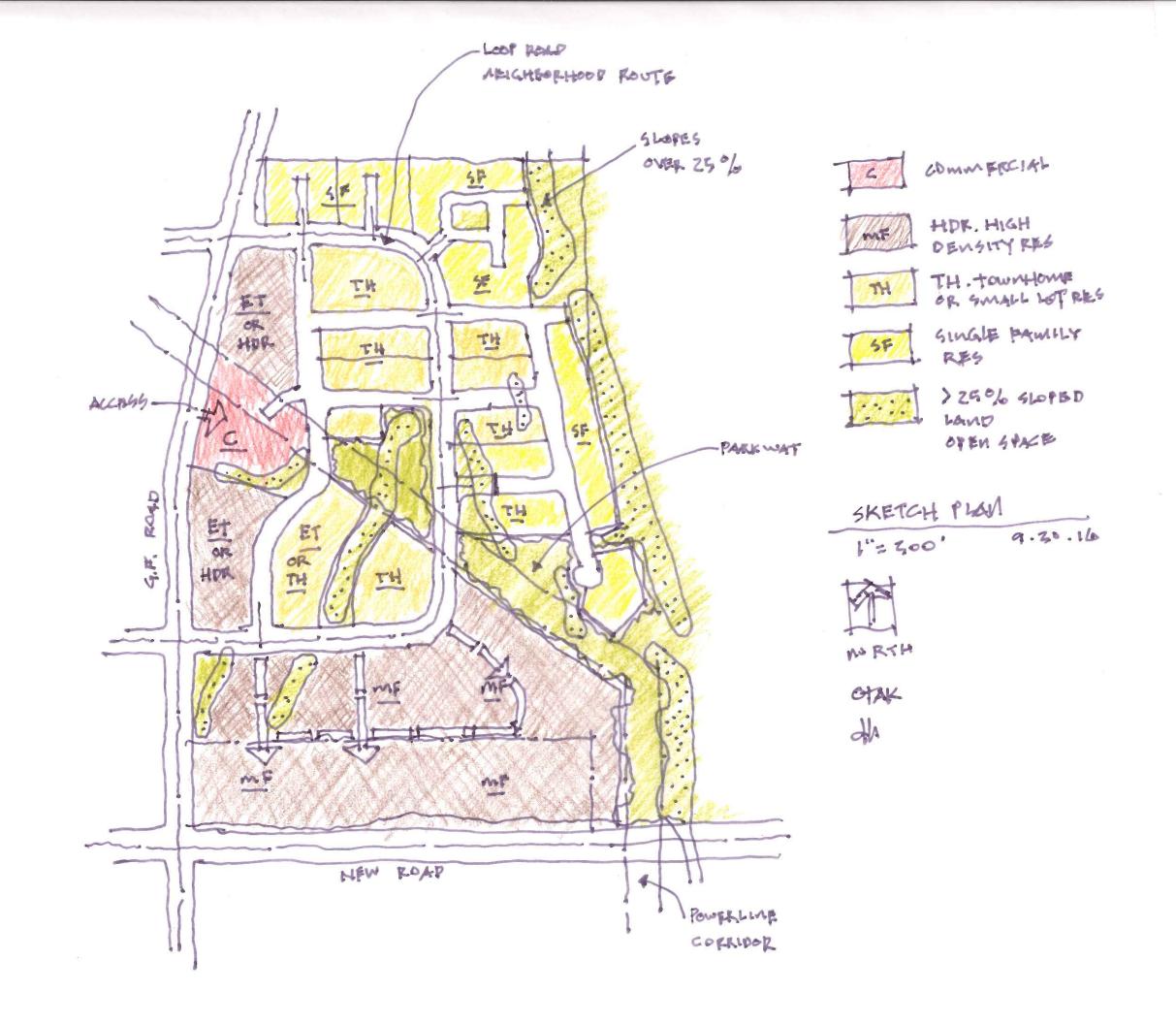
Alan Alexander

Safety/Government Specialist R.S. Hughes Co., Inc.

Office 503-251-0494 Cell 503-319-9269 aalexander@rshughes.com

Visit us online: www.rshughes.com

RS Hughes 2016 Safety Catalog



From: Herb Koss

To: slombos@ci.tualatin.or.us; ahurd-ravich@ci.tualatin.or.us; acannon@ci.tualatin.or.us; kperlfox@ci.tualatin.or.us

Subject: FW: Basalt Creek Plan NE Corner
Date: Tuesday, October 04, 2016 10:44:56 AM

Attachments: 17713A BasaltCreek AmendConceptPlan Revised 08-24-16.pdf

Basalt Creek sketch.pdf

Good Morning Sherilyn, Aquilla, Alice and Karen:

I have attached a hand drawn sketch that Don Hanson of Otak prepared. A more detailed Map will be forthcoming.

I have been speaking with Mayor Ogden about the zoning issues in Basalt Creek and my concerns with trying to include Employment Transition Zoning on the land identified in the attachments to this email.

The property that I have ownership in is the 10 acre parcel on Basalt Creek Parkway and Grahams Ferry Road (east side of Grahams Ferry). In speaking to the Washington County Engineering dept., I was told that we will have an 18 foot cut on our southern boundary. With no access allowed from frontage on Grahams Ferry Road I retained the services of Otak to assist with what I would consider a better plan for not only our land but for the City of Tualatin.

The first plan that Otak prepared was directed by input from the city staff that Employment Transition land had to be a part of the plan. After examining the topography of the land it just does not make sense for any of the land in the area described to be zoned employment. The site constraints are just not conducive to employment zoning. I asked Don Hanson to Prepare a sketch of a plan that did take site topography into consideration. The plan is also attached to this email --- Basalt Creek Sketch.

I have been in the development business for many years and in planning any land purchased I always retained the services of professional land planners to assist me in creating a well thought out plan. Topography is a very important factor in preparing any land plan.

It is my sincere hope that the City consult with John Fregonese on the issues that I have Identified.

Sincerely

Herb Koss 503 730 2431

From: Don Hanson [mailto:don.hanson@otak.com] Sent: Friday, September 2, 2016 1:35 PM To: Herb Koss

Subject: FW: Basalt Creek Plan NE Corner

Here's a smaller size version of the package. This will be easier to transmit out to folks.

Don

Don Hanson | Principal v. 503.415.2317 | f. 503.415.2304 www.otak.com



at Otak, we consider the environment before printing emails.

From: Gabriel Kruse

Sent: Monday, August 29, 2016 11:24 AM

To: ahurd-ravich@ci.tualatin.or.us

Cc: Don Hanson

Subject: Basalt Creek Plan NE Corner

Aquilla,

Don Hanson asked me to forward on the Basalt Creek Tualatin Concept Plan because the previous file size was too large for your email. I have reduced the file size for your use. Please let us know if you have any questions or concerns.

Thanks, Gabriel



HanmiGlobal Partner

Gabriel Kruse, PLA, ASLA 808 SW Third Avenue, Suite 300 | Portland, OR 97204 v: 503.415.2402 | f: 503.415.2304

www.otak.com

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From: Herb Koss

To: slombos@ci.tualatin.or.us; Aquilla Hurd-Ravich; acannon@ci.tualatin.or.us; kperlfox@ci.tualatin.or.us

Cc: <u>JOHN FREGONESE (john@frego.com)</u>; <u>Don Hanson</u>; <u>Lou Ogden</u>

Subject: FW: Basalt map

Date: Wednesday, October 05, 2016 4:25:38 PM

Attachments: 20161005103316990.pdf

Dear Sherilyn, Aquilla, Alice and Karen

I have attached a more detailed plan that Otak has prepared. Since my first plan was submitted I had Otak take a closer look at the slopes and topography of the entire land area from Basalt Creek Parkway north to the present residential Neighborhood and between Grahams Ferry Road and the Canyon. It was apparent, after consulting with Otak and Fregonese and Asso. that not only our land, but the entire area described had constraints that were not conducive to Employment Land Uses.

John Fregonese provided me with a copy of the mapping that his firm provided and this map was the basis for the work done by Otak.

The attached refined plan has been drawn taking into consideration the existing topography and access points as well as a needed transition to existing homes to the north and the canyon to the east.

There is a centralized retail center that is easy and safe to walk to from all of the Housing proposed on the site.

A diverse mix of housing is proposed from single family to townhomes to apartments.

This approach supports the workforce housing close to jobs. Severe slopes are protected by open space. This combined with a parkway under the existing power lines creates open space the connects land uses.

Access to the Grahams Ferry road is limited to three points. The development parcels are served by an internal loop road. No access is proposed to the Basalt Creek Blvd. since there is a 18 to 20 foot cut in line with the plans as proposed by Washington County.

I would like to suggest that Fregonese and Asso be invited to a workshop along with Don Hanson a principle with Otak who has prepared our suggested zoning map.

Please call me at 503 730 2431 or email me at herb@kossred.com if you have any Further questions.

Thank you for your including our first planning maps for the upcoming workshop. The attached map has been prepared after looking at the entire area described above. I would appreciate if you included the attached map and this email too.

Sincerely Herb Koss

From: Don Hanson [mailto:don.hanson@otak.com] Sent: Wednesday, October 5, 2016 10:56 AM

To: Herb Koss Subject: Basalt map

Herb

I've attached the map with rough acreage numbers per land use.

The commercial site is 2.4 acres including the space under the power lines where surface parking can be placed.

I would figure densities as follows:

Single family. 5-7 units/acre. This matches the subdivision to the north.

Townhome. 10-15 units/acre. This could also combine small lot detached housing.

HDR . 20-25 units/acre. This could be a mixture of 2 and 3 story buildings. It could also incorporate tuck under parking on one side of buildings to take up slope where needed.

Don

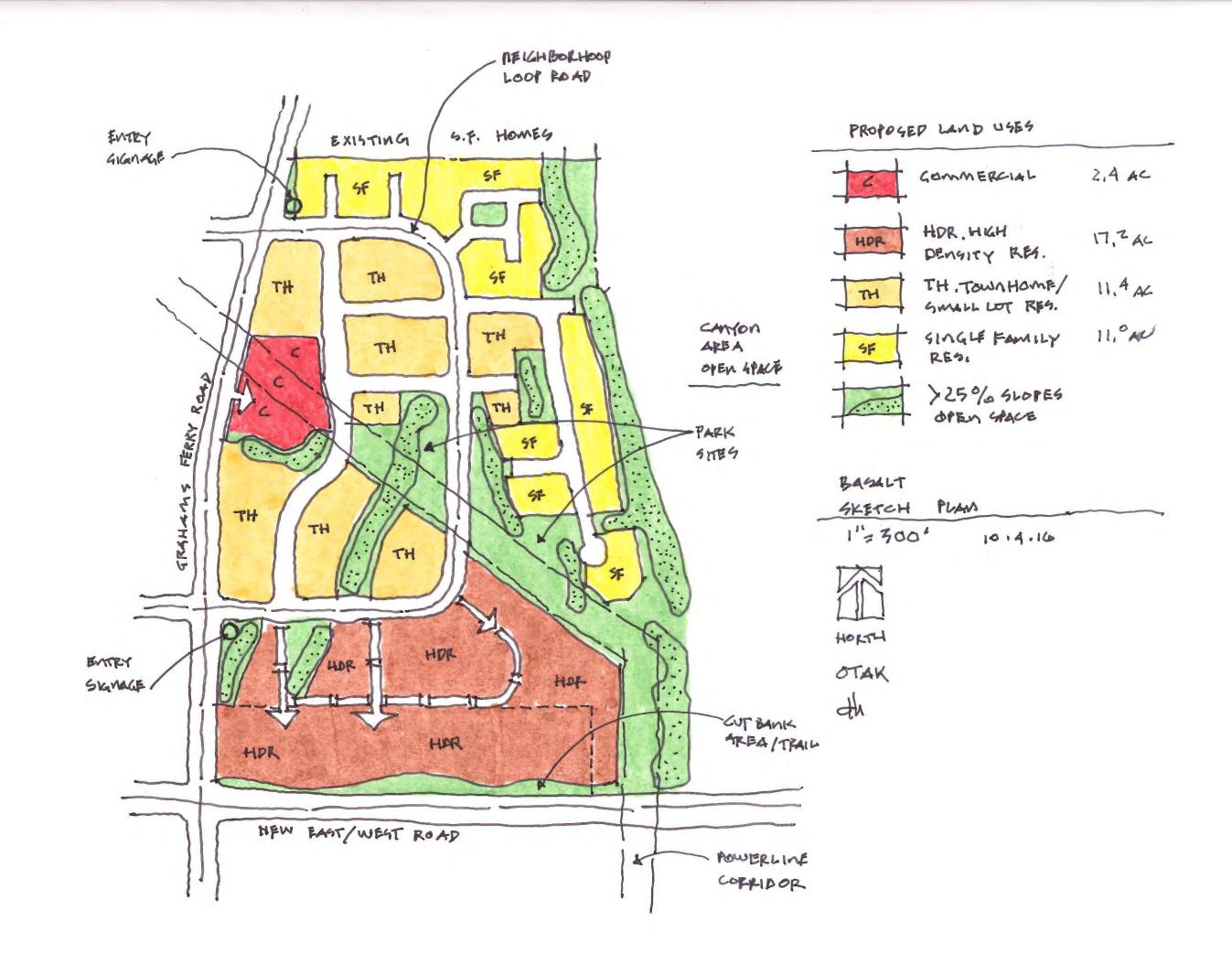


HanmiGlobal Partner

Don Hanson | Principal 808 SW Third Ave., Suite 300 | Portland, OR 97204 v. 503.415.2317 | f. 503.415.2304 www.otak.com

at Otak, we consider the environment before printing emails.

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Herb Koss From: Alice Cannon To: Subject: FW: Emailing - SGF FINAL PLAN OTAK.pdf Monday, October 10, 2016 3:31:15 PM Date: image003.jpg Attachments: Address list for Herb.dbf.xlsx Alice this is a list of Property owners – attached. I will send you another map with larger fonts. Herb From: Julia Reisemann [mailto:julia@frego.com]
Sent: Monday, October 10, 2016 11:45 AM
To: John Fregonese; Herb Koss Subject: RE: Emailing - SGF FINAL PLAN OTAK.pdf Herb, I highlighted the properties and added labels for the owners. Find the owners with addresses in the attached spreadsheet. Julia ?

From: John Fregonese

Sent: Monday, October 10, 2016 11:23 AM **To:** Julia Reisemann < <u>julia@frego.com</u>>

Subject: Fwd: Emailing - SGF FINAL PLAN OTAK.pdf

Sent via the Samsung Galaxy Note® 4, an AT&T 4G LTE smartphone

----- Original message -----

From: Herb Koss < herb@kossred.com > Date: 10/10/16 11:13 AM (GMT-08:00) To: John Fregonese < john@frego.com >

Subject: FW: Emailing - SGF FINAL PLAN OTAK.pdf

John

Please call me to make sure Alice has the plan for tonight's meeting.

THE GREAT COMPROMISE

НΚ

From: Herb Koss

Sent: Friday, October 7, 2016 4:29 PM

To: Herb Koss

Subject: Emailing - SGF FINAL PLAN OTAK.pdf

AREA	TLID	RNO	OWNER1	OWNER2	OWNERADDR	OWNERCITY	ow	N OWNERZIP SITEADDR	SITECITY	SITEZIP	GIS_ACRES
478234.5752200	00000 2S135CB00300	R560137	LEITGEB SHERMAN W & LARK L		23200 SW GRAHAMS FERRY RD	SHERWOOD	OR	97140-9529 23200 SW GRAHAM'S FERRY RD	Tualatin	97062	10.97875517000
508669.4308600	00000 2S135CB00400	R560128	LEITGEB SHERMAN W & LARK L		23200 SW GRAHAMS FERRY RD	SHERWOOD	OR	97140-9529 23340 SW GRAHAM'S FERRY RD	Tualatin	97062	11.67744331000
62607.4142300	00000 2S135CB00500	R560119	CHILDS THOMAS L/HANNAH J &	POWELL SCOTT D/CYNTHIA M	23470 SW GRAHAMS FERRY RD	SHERWOOD	OR	97140-9529 23470 SW GRAHAM'S FERRY RD	Tualatin	97062	1.43726846000
293861.0237400	00000 2S135CC00100	R560093	HOUSTON HOWARD W JR		14390 UPLANDS DR	LAKE OSWEGO	OR	97034-2748 23600 SW GRAHAM'S FERRY RD	Tualatin	97062	6.74612083000
126731.2985400	00000 2S135CC00300	R560100	FOX LOIS C REV TRUST	LOIS C FOX TR	PO BOX 3745	TUALATIN	OR	97062-3745 23550 SW GRAHAM'S FERRY RD	Sherwood	97140	2.90935028000
215797.3876400	00000 2S135CC00500	R560066	FELLERS RICHARD R &	FELLERS MICHELLE E	PO BOX 790	WILSONVILLE	OR	97070-0790 23750 SW GRAHAM'S FERRY RD	Sherwood	97140	4.95402634000
211184.2932500	00000 2S135CC00600	R560075	SUMMERS STEVEN J		23880 SW GRAHAMS FERRY RD	SHERWOOD	OR	97140-9028 23880 SW GRAHAM'S FERRY RD	Tualatin	97062	4.84812427000
428566.0211400	00000 2S135CC00700	R560057	SHERWOOD GRAHAMS FERRY INVE	STORS	22400 SALAMO RD STE #106	WEST LINN	OR	97068-8269 23970 SW GRAHAM'S FERRY RD	Tualatin	97062	9.83852206000
205730.6403000	00000 2S135CC00800	R2121476	JOHANSEN MATTHEW &	GUERRA KRISTIN	23740 SW GRAHAM'S FERRY RD	SHERWOOD	OR	97140-9028 23740 SW GRAHAM'S FERRY RD	Tualatin	97062	4.72292562000
217799 2708400	00000 251350000900	R2121477	IOHANSEN GARY C & RITA K		120 GLENWOOD CIR	ROSEVILLE	CA	95678-7024	Tualatin	97062	4 99998326000

From: G Lucini

To: Aquilla Hurd-Ravich; Karen Perl Fox

Subject: Question on Basalt Creek Concept Planning- 4-6 story buildings - across from Tualatin residential?

Date: Monday, October 10, 2016 2:07:06 PM

Attachments: Draft Basalt Crk Map- Wilsonville 2016 10-17 Work Session.pdf

Hi Aquilla and Karen,

I haven't heard Tualatin Council discussing if there will be any implications for Tualatin should Wilsonville go ahead with their goal of 4-6 story buildings within the Basalt Creek area along I-5. Is any buffering/transition planned?

The 4-6 story buildings would butt against Tualatin at the future Greenhill Lane/Frobase Road Overpass.

Tualatin has medium/low density residential housing identified adjacent to this on the north.

I've copied an excerpt from the <u>Wilsonville CC Work Session Agenda for next week 10-17-16-</u> regarding their update of Basalt Creek. This information was posted today.

From Wilsonville 10-17-16 CC Work Session Agenda:

EXECUTIVE SUMMARY:

At the June 6, 2016 City Council Work Session, Council provided feedback for final revisions to

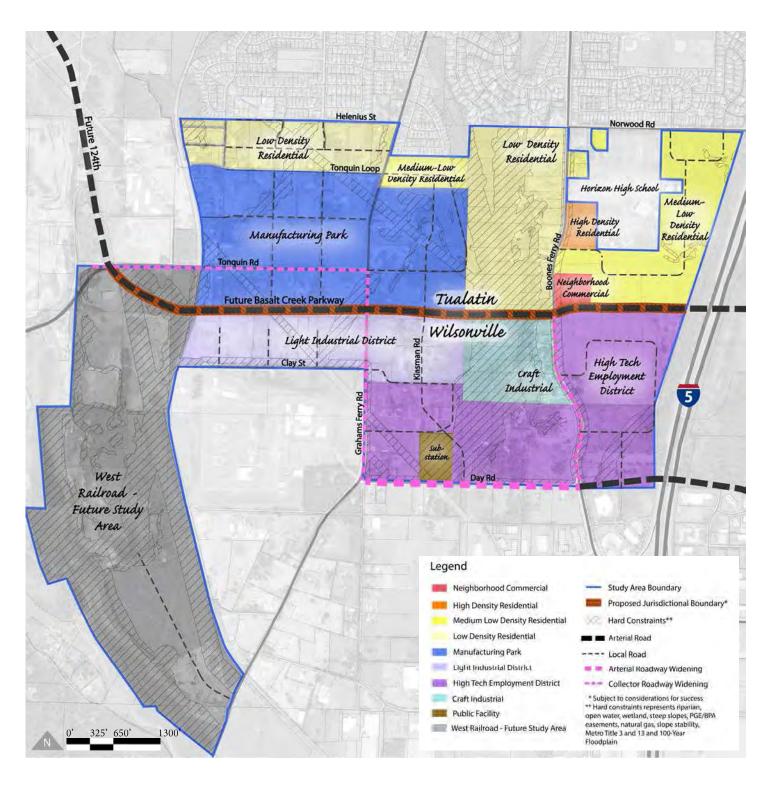
the land uses proposed on the Basalt Creek Land Use Concept Map. Specifically, City Council advised staff to reduce the amount of land designated specifically for warehouse uses and instead,

extend the High Tech Employment District along Day Road. Council also wanted to ensure four-to-six story office buildings could locate in the High Tech Employment District given its location adjacent to I-5. The updated Basalt Creek Land Use Concept Map is included

as Attachment A.

Thanks,

Grace Lucini



Basalt Creek Land Use Concept Plan

DRAFT September 16, 2016

From: Herb Koss

To: <u>Alice Cannon; Karen Perl Fox; Aquilla Hurd-Ravich; Sherilyn Lombos</u>

Cc: <u>JOHN FREGONESE (john@frego.com)</u>

Subject: Basalt Creek

Date: Tuesday, October 11, 2016 9:04:25 AM

Good Morning

Needless to say I was very pleased that the meeting went the direction it did last night. I also want to thank you for

your support and desire to meet as soon as possible.

As you probably know Don Hanson of Otak and I planned the development in West Linn – Cascade Summit, where

City Hall is located. I did not get into specifics last night, but it is very possible to properly buffer different land uses

as proven by the Cascade Summit project. I personally think there is more of a market for a small retail element

then Office, but it may be a small mixed use retail/office would be the answer. I am not familiar with the Tualatin

Development to know if this zoning exists, but it may appropriate in this area of Basalt Creek. The power lines

Restrict some development, but parking and open space can be utilized under the power line corridor. There are

A few areas of steep slopes that also drive and restrict the development that can occur.

On a slightly difference subject. In West Linn property owners were given SDC's for open space in the

Cascade Summit Tanner Basin plan. This was in lieu of Density Bonus's. In many cases developers are

given density bonus's for park land and Open space, but in the case of the area we are talking about more

residential density will not be needed. Just something to think about in the planning process ---- how to treat

property owners fairly to assure a well- planned and successful project.

I will check with Don Hanson's office for his schedule and get back to you as soon as we can determine his

Availability. John Fregonese travels a lot and we need to coordinate his schedule too.

Sincerely

Herb Koss

 From:
 Eric Rouse

 To:
 Aquilla Hurd-Ravich

 Cc:
 Karen Perl Fox

Subject: RE: Basalt Creek Concept Plan- 10480 SW Helenius

Date: Thursday, October 13, 2016 10:24:34 AM

Attachments: <u>image001.png</u>

Hi Aquilla,

I wanted to follow-up with the voicemail I left for you... I would like to check in on the status of the Basalt Creek Concept Plan. Do you have any updates for me with regards to the Cities timeline and ultimately when we can apply for annexation? Last we conferred, the timeline had been pushed back a few months and you were expecting to present in front of City Council this winter. Do you have a date for that meeting yet? What are some updates for the timeline on the process? The way I understand the process it looks somewhat like this (can you fill in the dates for me), am I missing anything?

Process Milestone	Date to Occur
The plan is to be presented to both City Council's	
Application will be made for an Urban Planning	
Boundary Change through Washington County	
The Comp Plans go to the City for approval	
Then Annexation at the Property Owners initiation	

Thanks,

Eric

Eric Rouse

Phone 503.572.0295 | Fax: 503.214.4281 CCB #204140 • WA #SUMMIDG856KA

SUNT DEVELOPMENT GROUP www.summitdevelopmentgroup.com

From: Aquilla Hurd-Ravich [mailto:AHURD-RAVICH@ci.tualatin.or.us]

Sent: Tuesday, August 9, 2016 4:03 PM

To: Eric Rouse <erouse@summitdevelopmentgroup.com>

Cc: Karen Perl Fox <kperlfox@ci.tualatin.or.us>

Subject: RE: Basalt Creek Concept Plan- 10480 SW Helenius

Yes that is correct.

Aquilla Hurd-Ravich, AICP

Planning Manager

City of Tualatin | Community Development Department

503.691.3028 | www.tualatinoregon.gov.

From: Eric Rouse [mailto:erouse@summitdevelopmentgroup.com]

Sent: Tuesday, August 09, 2016 3:41 PM

To: Aquilla Hurd-Ravich Cc: Karen Perl Fox

Subject: RE: Basalt Creek Concept Plan- 10480 SW Helenius

Aquilla,

Thanks for you reply! Just so I make sure and understand... the first step (presented to both City Council's) is pushed out from Summer 2016 to Winter of 2016?

Regards,

Eric Rouse Summit Development Group 503-572-0295

Sent via the Samsung Galaxy Note5, an AT&T 4G LTE smartphone

----- Original message -----

From: Aquilla Hurd-Ravich < AHURD-RAVICH@ci.tualatin.or.us >

Date: 8/9/16 2:45 PM (GMT-08:00)

To: Eric Rouse < <u>erouse@summitdevelopmentgroup.com</u>>

Cc: Karen Perl Fox < kperlfox@ci.tualatin.or.us>

Subject: RE: Basalt Creek Concept Plan- 10480 SW Helenius

Hi Eric,

The order of events you have listed are correct and still the same. The timing has changed a bit. We now expect to complete the concept plan in Winter of 2016. The remaining steps will occur after that.

Thanks for your inquiry.

Aquilla Hurd-Ravich, AICP

Planning Manager City of Tualatin | Community Development Department 503.691.3028 | www.tualatinoregon.gov.

From: Eric Rouse [mailto:erouse@summitdevelopmentgroup.com]

Sent: Tuesday, August 09, 2016 10:09 AM

To: Aquilla Hurd-Ravich

Subject: Basalt Creek Concept Plan- 10480 SW Helenius

Greetings Aquilla,

I am the Development Manager for Summit Development Group. The owner of Summit is Chris Marsh, who owns the subject property. I attended the last open house on April 18, 2016. At that time I understood the schedule for the annexation to be:

The plan is to be presented to both City Council's by the end of summer 2016.

Application will be made for an Urban Planning Boundary Change through Washington County (expected Oct. 2016).

The Comp Plans go to the City for approval (Expected Spring of 2017).

Then Annexation at the Property Owners initiation expected to be ready by Spring 2017.

Can you please confirm that my understanding of the process and the dates are still correct. Where possible, specific dates would be great to have (like the day the plan is going in front of Council, or the date the application will be made through Washington County).

I would like to give my boss an update on this process as soon as possible.

Thanks Aquilla!

Regards,

Eric

Eric Rouse

Phone 503.572.0295 | Fax: 503.214.4281 CCB #204140 • WA #SUMMIDG856KA

DEVELOPMENT GROUP www.summitdevelopmentgroup.com

Date: 10-17-2016

To: Tualatin Planning Commission for Meeting 10-20-16

Topic: Basalt Creek Concept Planning Update- Otak Proposal "C"

CC: Aquilla Hurd-Ravich, Planning Manager & Tualatin Basalt Creek Concept Planning Staff
Karen Fox, Senior Planner & Tualatin Basalt Creek Concept Planning Staff
Alice Cannon, Assistant City Manager

Submitted By:

John & Grace Lucini (Property Owners SW Boones Ferry Road)
Mehdi A-Sanaei (Property Owner SW Boones Ferry Road)
Marvin & Carlene Mast (Property Owners SW Boones Ferry Road)

The following comments are presented to the Tualatin Planning Commission for their consideration during the presentation on Basalt Creek Concept Planning Update during the 10-20-2016 Tualatin Planning Commission Meeting.

Having attended most Public Meetings on the Basalt Creek Concept planning for the last several years, I was interested and yet surprised to see three versions of a proposal by Otak (on behalf of property owner and developer Herb Koss) for "Area South of Victoria Woods" presented and discussed for the first time in a public forum at the Tualatin City Council Meeting Work Session last week, on 10-10-2016.

The three Otak Proposals A, B, & C are titled "Area South of Victoria Gardens" delineate specific land use for specific locations on private property, encompassing a large amount of acreage with parameters extending:

- South from the current development Victoria Gardens (on the Tualatin City limits) to the proposed Basalt Creek Parkway (within unincorporated Washington County)— Approximately ½ mile
- East from Grahams Ferry Road to an unidentified point (approximately mid-point) from SW Boones Ferry Road
 (all within unincorporated Washington County) Approximately 1/3 mile

The Otak proposals directly affects roughly 49 acers

- The Otak proposals directly affects 10 large tax lots with numerous property owners (including Mr. Koss)
- The Otak proposals share property lines with 8-9 different property owners directly adjacent to the east.



- For the Otak proposals to be implemented as presented in its detail, makes the basic assumption that all property owners within the entire 49 acers want to participate in the development and land use to the level and detail as proposed.
- For the implementation of the proposal, most- if not all- property owners would have to agree to the concept and to the development, virtually at the same time in order for annexation and then the installation of infrastructure for the development of this proposal to proceed as designed. It would be challenging to phase the construction of this proposed development due to its complexity of land use, access to existing infrastructure, and environmental constraints- especially when there are multiple property owners involved.

Since Mr. Koss's development proposal exceeds the limitations of the property he owns, it is unknown if he and/or Otak has contacted all of the property owners affected by Mr. Koss's land use proposal and development plans, to ascertain if these plans match the goals and needs of all of the current property owners.

- My property shares a common property line on the east side of the Otak proposal.
- I only learned of Otak Proposals A-B when the Agenda for the Tualatin City Council Work Session for 10-10-16 was originally posted on the City website on 10-3-16.
- I only learned of Otak Proposal C during the 10-10-16 Council Work Session discussion.

My husband and I contacted Mr. Koss by email after the Council meeting, to introduce ourselves and request to be included in further discussions regarding his proposals, as we are neighbors and may be affected by his land use and development proposal.

Mr. Koss responded ...

"For your information I have arranged a meeting with the Tualatin Planners at Fregonese and Asso. Office per the request from Alice Cannon the assistant City Mgr. This after the direction from the Council was to follow more closely the Otak Plan C."

As it appears from Mr. Koss's comment, the City of Tualatin is actively considering Mr. Koss's *Otak Proposal C* for inclusion into the Basalt Creek Concept Land Use plan.

As the City of Tualatin is aware, the property owners within the Basalt Creek area under Concept Planning, have no elected representation within the Concept Planning process. Only the City Councils of Wilsonville and Tualatin will be voting on which Concept Plan and land use will be adopted.

As the area under discussion will most likely come under the jurisdiction of the City of Tualatin and since this proposal varies significantly from previous public discussions and presentations exhibited by the City of Tualatin regarding this area, and to this detail-- it would seem appropriate at this time, that the many property owners within and adjacent to the land identified within the proposal be notified that the City of Tualatin is considering changes in Conceptual Land Use within this specific area.

As previously mentioned, apparently there have been 3 proposals presented to the City of Tualatin by Mr. Koss and Otak over an unknown period of time. However, these three proposals were not posted or provided to the public until last week, and the third proposal has already been directed to be considered for inclusion into the Concept Land Use Plan, after discussions with City staff and consultants.

As previously mentioned, since the development plans exceed the property Mr. Koss owns, any willingness to notify and include affected property owners in the future, regarding proposed significant changes in conceptual land use, transportation, or infrastructure for this area, would greatly add to transparency of the decision making process, especially since the person instigating the proposal identifies himself as a person who has been in the development business for many years, and is also represented by a well-known established multifaceted design and development company, Otak.

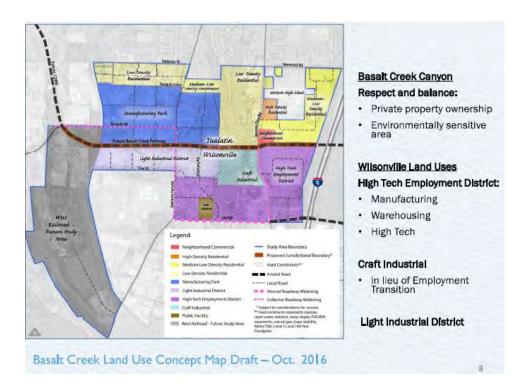
Otak "C" Proposal- Comments

The *Otak C Proposal* (as now posted on the City of Tualatin website) at first appears to be a rough sketch (the current rendition does not identify property lines)---- yet the proposal provides significantly more detail as to specific land use at specific locations, provides detailed street locations, and denotes open space and parks at specific locations.

This level of detail exceeds the previous as well as the current level of public documents from the City of Tualatin on concept planning for this area. It appears to be the beginnings of a development plan, not a broad stroke concept plan.

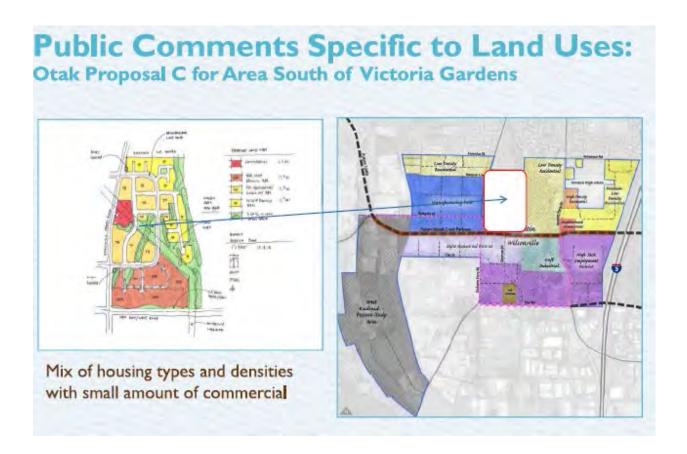
<u>The Most Current Version of the Basalt Creek Concept Land Use Map –</u>

<u>As posted to the City of Tualatin website for the 10-10-16 City Council Work Session</u>- Below Please note the level of land use per identified section- the labels are very general.



Otak Proposal C - Area South of Victoria Gardens
as Presented during Tualatin City Council Work Session 10-10-16- Below

Please note the level of detail within the proposalSpecific types of housing on <u>specific property locations</u> is listed - as opposed to generalized density of housing
Open Space is located on <u>specific pieces of property</u>
Multiple local roads on <u>specific locations are identified</u>



I see many benefits to the proposals by Otak for the "Area South of Victoria Woods", which addresses land use buffering issues ---which are a concern to many residents of the local neighborhoods of Victoria Woods and Victoria Gardens (both of which are within current Tualatin City Limits).

As the Otak proposals moved through three apparent iterations, the third proposal "C" became more sensitive to the numerous constraints within the area, including long standing and considerable variations of topography as well as the existing significant natural resources including wetlands etc., which significantly affects land use and development within this area.

However, the lack of identification of property lines within the Otak proposals makes it difficult to compare the direct effects of the higher level of land use designations as noted within the Otak proposal, as compared to the more generalized land use areas within the Basalt Creek October 2016 draft.

This is an important issue, as the finite level of detail of specific types of Land Use within the Otak C Proposal at specific locations of property may inadvertently accelerate the land use process in the future as to how the various property owners may eventually utilize or develop their property.

Consequently, the following five issues are presented with a request for clarification prior to the City adopting or including the *Otak Proposal C* as currently presented.

The Basalt Creek October 2016 Concept Draft (Below)

and previous drafts presented to the public-

Indicated a local road extending east from Tonquin and looping north and then back to the west.



This road provided access to buildable land between Grahams Ferry Road and the west side of the wetlands while also taking into consideration the topography of the land.

Otak Proposal C (Detail) Below -



1. Otak Proposal C Changes Location of Local Roads within the area of discussion

- a. Alters the configuration and location of the local road within the area-apparently decreasing the depth and flow of the local road to the east.
- b. With reduction of vehicular access to the eastern portion of this proposed area-- potential development of multiple buildable acers west of the wetlands, and east of *Otak Proposal C* ---will be permanently eliminated from any future development due to lack of accessibility.

2. Otak Proposal C - Safety of Residents and Traffic Along Grahams Ferry Road.

- a. Although *Otak Proposal C* provides a very detailed road system within the interior of the proposal, there is little consideration indicated as to any safety concerns for the residents of the townhouses which back up to Grahams Ferry Road, and the High Density Residential Housing to the south, which also backs up to Grahams Ferry Road.
- b. Both of these housing areas are directly across from an area currently being considered for designation as a Manufacturing Park which would have a higher volume of freight traffic than a residential neighborhood.

- c. This section of Grahams Ferry Road will become the beginning of a major northern collector/arterial from the newly created 124th- Basalt Creek Regional Freight Expressway.
- d. The southern High Density Residential Housing would abut the anticipated high volume SE Corner of the eventual 5 Lane Regional Freight Traffic Expressway at Grahams Ferry and Basalt Creek Expressway.

3. Otak Proposal C - Places of Open Space Along Entire Length of the East Side of 49 acer Proposal

a. The placement of Open Space along the entire East side of *Otak Proposal C* appears to prohibit any access and therefore any development on the acers of land which is buildable east of Otak *Proposal* C and west of the wetlands. Due to the lack of property lines within *Otak Proposal C*, it is difficult to determine how far east the development proposal extends.



Buildable land as identified within the current Concept Draft of October 2016.

Access to this area is not addressed within **Otak Proposal C.**

Due to the layout of **Otak Proposal C** these acers



b. Purposeful planning and design for <u>all for buildable land</u> for the area west of the wetlands and east *Otak*Proposal C (including planning for future infrastructure and vehicular access) best conforms to the intent of concept planning for the entire Basalt Creek Area.

Plans which ignore the potential for future development of <u>all of the buildable acreage</u> would be a disservice to all of the concept planning on this project which has taken place over the past several years- especially when parity of the number of buildable acers was considered an important factor between the cities of Wilsonville and Tualatin by some Council members of both cities.

4. Otak Proposal C --- Land Use Under High Tension Power Lines

(Please see Otak Proposal C (Detail)- Below)



- a. Otak Proposal C indicates parallel lines running from the bottom right and then diagonally to the left- which is identified as mostly Open Space. These parallel lines continue from Open Space to the north, clips a corner of an area designated as Townhouses, then bisects an area designated as Commercial Use. Although these parallel lines are not labeled, I assume they indicate the location of high tension high voltage power lines which currently exist in the area.
- b. If these parallel lines denote the High Voltage Power lines, then *Otak Proposal C* indicates the land beneath the electrical high power lines would be utilized as Open Space. Within the Open Space indicated in *Otak Proposal C* and directly under the High Tension Power Lines ---are two areas with the designation of "Park Sites". It should be realized the quality of the Open Space and especially the areas designated as Park Sites---will be affected by the constant presence of the visual and auditory impact of the high power lines directly overhead which may impinge upon enjoyment of the proposed Open Space and of the two parks.
- c. It is unclear how the existing area under the high power lines and the proposed Commercial area would merge together at the same location.
- d. It is unclear how the existing area under the high power lines and the proposed Town Houses area would merge together at the same location.

e. Health and Safety concerns should be considered in placement of buildings and parks under or near High Tension Power Lines.

5. Otak Proposal C- Storm Water Drainage

- a. It has been documented that there are significant natural resources including nationally identified wetlands near the proposed development. The existing topography causes storm water and road runoff to drain from the area of the proposed development to the wetlands.
- b. While the proposal is very detailed as to types of land use on specific pieces of property, there is no indication of any space identified for storm water containment and treatment prior to discharge into local wetlands. With a development of this scope and land use, the size of storm water collection and treatment areas would be notable and should be indicated to be consistent with the level of land use detail provided in *Otak Proposal C*.
- c. There are no indications of any space identified for storm water reabsorption to reduce the amount of water which the city must process, while also providing a method to refill the local aquafers. With a development of this scope and land use, the amount of land required to provide re-absorption ponds for storm water and road runoff would be notable and should be indicated to be consistent with the level of land use detail provided in *Otak Proposal C*.

I thank you for your time and consideration of my comments regarding Otak Proposal C.

As this apparent development plan affects a great number of property owners, it is hoped the Planning Commission will request the project staff to provide all potentially affected property owner's information on this proposal--- prior to incorporation the proposal as it now exists, or future renditions---into any following draft of the City of Tualatin's Concept Planning Map.

This request is based upon Otak Proposal C:

- Is significantly different than any previous Concept Plan Draft for the area under discussion,
- Provides a very high level of specificity of detail within the proposal-identifying specific land uses on specific
 locations on private property- than had previously been presented to the public. This proposal might be
 considered as the future development plan for this particular area, and may consequently unfairly accelerate
 future land use issues for individual property owners within the area.
- While three versions of this proposal have been presented to the City, the public nor the affected property owners have never had an opportunity to vet the proposal until this last week.

In the future, project staff should encourage collaborative communication between affected property owners when significant changes to concept planning are being proposed.

All directly and indirectly affected property owners within the Basalt Creek Concept Planning Area should be informed of significant changes in proposed land use and transportation within the Basalt Creek area, and be encouraged to

provide their input so that existing property owners concerns could be reflected within subsequent drafts of land use for Basalt Creek Concept Planning.

Respectfully submitted,

John & Grace Lucini 23677 SW Boones Ferry Road, Tualatin Oregon 97062 GrLuci@gmail.com JWLuci@gmail.com

I/we have read the comments made in this communication to the City of Tualatin Planning Commission and Basalt Creek Concept Planning staff, and agree with the concerns expressed within.

Mehdi A-Sanaei 23745 SW Boones Ferry Road Tualatin, OR (mehdiasanaei@yahoo.com);

Marvin & Carlene Mast 23845 SW Boones Ferry Road Tualatin, OR (MarvinMast@gmail.com)



City of Tualatin

OFFICIAL

TUALATIN PLANNING COMMISSION

MINUTES OF October 20, 2016

TPC MEMBERS PRESENT:

Alan Aplin Kenneth Ball Angela Demeo Travis Stout Mona St. Clair Janelle Thompson **STAFF PRESENT**

Aquilla Hurd-Ravich Karen Perl Fox Charles Benson Lynette Sanford

TPC MEMBER ABSENT: Bill Beers

GUESTS: Herb Koss, Linda Moholt, Levi Levasa, Grace Lucini, Mehdi A. Sanaei

1. CALL TO ORDER AND ROLL CALL:

Alan Aplin, Chair, called the meeting to order at 6:30 pm and reviewed the agenda. Roll call was taken.

2. APPROVAL OF MINUTES:

Mr. Aplin asked for review and approval of the September 15, 2016 TPC minutes. MOTION by Demeo SECONDED by Thompson to approve the minutes as written. MOTION PASSED 6-0.

3. COMMUNICATION FROM THE PUBLIC (NOT ON THE AGENDA):

None.

4. ACTION ITEMS:

None.

5. COMMUNICATION FROM CITY STAFF:

A. Basalt Creek Land Use Concept Map and Project Update.

Aquilla Hurd-Ravich, Planning Manager and Karen Perl-Fox, Sr. Planner updated the Commission members on the Basalt Creek Concept Plan. Ms. Hurd-Ravich

These minutes are not verbatim. The meeting was recorded, and copies of the recording are retained for a period of one year from the date of the meeting and are available upon request.

mentioned that the presentation is the same one that was brought to Council on October 10th. The presentation will include review and affirmation of conceptual land uses, review progress on Ten Considerations for Success, and the next steps to conclude the Concept Plan.

Ms. Hurd-Ravich stated that the Draft Basalt Creek Land Use Concept Map was presented at the April 2016 open house. After Council review and input at the June 2016 Work Session and ongoing community involvement, feedback included refining employment land uses, refining residential land uses, and to consider both private ownership and environmental constraints in Basalt Creek Canyon.

Ms. Hurd-Ravich presented a map that detailed the changes from the April 2016 draft to the October 2016 draft. The updated map slightly refined where low and medium residential density is, and a balance between employment and residential areas.

Ms. Perl Fox went through the slide that detailed the Summary of Acres and Trips between June 2016 and October 2016 for Tualatin and Wilsonville.

Ms. Hurd-Ravich stated that there are Ten Considerations for Success. These include:

- Sewer
- Storm Water
- Industrial Lands
- Transportation Funding
- Future Regional Transportation Projects-Basalt creek
- Trips
- Basalt Creek Parkway and I-5 Crossings
- North-South Collector (Kinsman Rd)
- Basalt Creek Canyon
- Public Transportation

Ms. Perl Fox noted that other recent activities included:

- Basalt IGA Reinstatement approved
- Concept Plan draft underway
- Ongoing community involvement
- Public feedback on the process
- Public feedback on the Land Use Concept Map

Ms. Demeo asked if the existing land owners in Basalt Creek are spread throughout the entire area or clustered around the canyon. Ms. Perl Fox answered that they are spread throughout the area and some are near the industrial park zone. Ms. Demeo asked how this will affect the current residents. Ms. Hurd-Ravich replied that they will not become non-conforming until they're annexed in.

Ms. Hurd-Ravich noted that the City has heard from homeowners in the Victoria Gardens subdivision who were concerned about the area to the south and wanted continuity regarding the zoning. It is proposed to be zoned Medium-Low Density which is the current zoning of Victoria Gardens.

Mr. Ball asked if there are any plans for the existing homeowners to claim eminent domain. Ms. Hurd-Ravich said that there were not.

Ms. Hurd-Ravich went through the slides that detailed the proposal from Otak. This proposes a mix of low and high density residential to serve as transition to employment and the canyon. Council has asked us to research whether this proposal with work and to look at the land and how it can support jobs.

Mr. Aplin noted that a lot of the topography is not suitable for employment; it would be helpful to have elevation maps. Mr. Ball asked about the impact of traffic to the rural areas and if an impact study was conducted. Ms. Hurd-Ravich answered affirmatively. There are plans to improve Tonquin Rd and the County is in the process of studying Grahams Ferry, Boones Ferry, and Day Rd.

Ms. Hurd-Ravich noted that the next steps include meetings with the Agency Review Team, individual Council meetings, and a joint City Council meeting.

Mr. Aplin asked if Wilsonville is also refining their maps. Ms. Hurd-Ravich answered that they have had their own work sessions and staff will be working with them. Ms. Thompson asked how Otak got involved. Ms. Hurd-Ravich responded that a property owner contact them. Ms. Demeo asked if there is consideration for additional schools in the area. Ms. Hurd-Ravich answered that the entire area is in the Sherwood School District and they will continue to be part of the discussion along with the Tigard-Tualatin School District. Ms. Demeo asked where the schools can be located. Ms. Hurd-Ravich responded that they can be built in any residential zone.

Mr. Ball asked if Council considered the possibility of declining home values of the existing properties, especially if they are adjacent to commercial areas. Ms. Hurd-Ravich responded that there has been discussion regarding buffer and transition zones between residential and employment zones and how to maintain home values.

Herb Koss, Sherwood Grahams Ferry Inv. LL, Koss Real Estate

Herb Koss stated that he has been in the development business for 40 years. He brought Otak into this because he managed the LLC of the 10 acres south of Basalt Creek. He's been in contact with Washington County and was told that there will be an 18-20 foot cut in his property where the road will go through. From an access standpoint, an industrial zone would not work. After meeting with Don Hansen from

Otak, they decided that residential zoning seemed the most appropriate. Traffic has to balance out and multi-family housing will need to be reduced. He also noted that he didn't think there was a market for retail space in that area There is also a concern about the power lines in the area, which would be better suited for an RV storage type facility. Mr. Koss added that they will be meeting with Otak and Fregonese to continue discussion and consider traffic counts.

Grace Lucini, 23677 SW Boones Ferry Rd, Tualatin, OR

Ms. Lucini is a resident of the unincorporated area of Washington County within the Basalt Creek Concept Planning Area. She has questions and concerns that she brought to the Planning Commission, which have been added to the minutes as an attachment.

Mr. Aplin asked Ms. Lucini where the proposed road would be located on her property. Ms. Lucini responded that it is unclear at this time where the road will go but there is a five to six lane bridge proposed south of her property. Ms. Lucini wants individual property owners to decide what to do with their property.

Mehdi A-Sanaei, 23845 SW Boones Ferry Rd

Mr. A-Sanaei asked Ms. Hurd-Ravich to define medium-low density zoning. Ms. Hurd-Ravich responded that it's defined as dwelling units' per acre. For low-density it's 1 to 6.4 dwelling units per acre and lot sizes average 6500 square feet; medium-low density is up to 10 dwelling units per acre. Mr. A-Sanaei asked for a copy of the zoning code. Ms. Hurd-Ravich responded that she will email him a copy.

Mr. A-Sanaei inquired about the maps on the PowerPoint presentation and wanted clarification on the Basalt Creek Canyon area and residential areas. He also wanted clarification about the access on the west side of his property and who proposed it. Ms. Hurd-Ravich responded that this particular concept was proposed by other property owners in the area but has not yet been accepted by the Council.

Mr. Koss wanted to clarify that the plan submitted by Otak is a concept and additional planning is forthcoming.

Levi Levasa, Autumn Sunrise LLC, 485 S State St. Lake Oswego, OR

Mr. Levasa wanted to give credit to City staff members for their work over the past three years he's been involved and for accepting input from property owners and developers. He's excited about the future and hopes the concept plan will get approved quickly.

Ms. Demeo asked what the next steps are for the Commission members. Ms. Hurd-Ravich replied that they've been tasked to refine and bring back to Council. It will be brought to the Commission members in December. Ms. Demeo asked if there is

additional outreach planned. Ms. Hurd-Ravich responded that there will be additional outreach, but not until the first of the year.

B. Mobile Food Unit (Food Cart) Ordinance: Public Outreach and Code Component Update

Ms. Hurd-Ravich stated that a year ago last fall, the Council directed staff to research food cart ordinances in the metro area. In August, project framing was presented to the Council. Staff also presented a timeline with milestones for consideration, which included an outline of suggested public engagement/involvement with stakeholders and continued research and monitoring of food cart operations in Tualatin. Ms. Hurd-Ravich added that this ordinance will not affect the special events in the Commons or parks.

Charles Benson, Associate Planner, presented the update which included a PowerPoint presentation. Mr. Benson stated that previously data was unavailable regarding the public's opinions regarding food carts. We came up with a seven question survey, which was open from September 1-30, 2016. This survey link was emailed to the Tualatin Chamber of Commerce, industrial and restaurant business license holders, and to the Citizen Involvement Organizations. Mr. Benson noted that we had a total of 415 responses in all.

Mr. Benson went through the slides which detailed the survey results. Overall, the results from this survey show public support for the idea of allowing an increased presence of food carts in Tualatin. When business and property owners were asked whether they would support a food cart on their parking lot or on their property respectively, support dropped noticeably.

Ms. Hurd-Ravich stated that the City's Community Development Department was invited to a Special CCIO Membership Feedback Meeting on September 7, 2016 to provide an update on the proposed food cart regulations and to solicit feedback from CCIO membership. The CCIO members in attendance were generally opposed to the idea of allowing food trucks in Tualatin. Seventy percent of the respondents of the seven-question CCIO survey were from the restaurant industry, with a large majority (90 percent) of those stating that they viewed food carts as bad for their individual businesses. The only somewhat positive view of food trucks involved operations in the City's industrial/manufacturing areas. Ms. Hurd-Ravich added that the same presentation was presented to the Tualatin Chamber of Commerce on September 26, 2016. The Chamber stated that they would continue internal discussions on the proposed food cart ordinance.

Mr. Benson acknowledged that we revised our suggestions based on the feedback received. These suggestions include:

- Add food cart/pod regulations to the Tualatin Municipal Code
- Food Cart/pod site review at staff-level

- To obtain a Tualatin business license
- Require a food cart/truck permit any time a mobile unit is parked on a site longer than four consecutive hours.
- Require food carts/pods to be responsible for their own trash/recycling collection and removal
- Require food cart/pod operators to follow all applicable Washington County and Clean Water Services sanitary/health provisions
- Require connection to City's water and sewer infrastructure
- · Prohibit operations on vacant/unimproved sites
- · Restrict signage to vehicle itself

Ms. Hurd-Ravich noted that the next steps include coming back to the Commission for a recommendation and a City Council hearing in December.

Mr. Aplin asked if the food carts would have to leave every day. Ms. Hurd-Ravich replied that overnight stays are not allowed. Mr. Ball noted that the last survey omitted the question of permanent or non-permanent status. He suggested to bring the survey back and ask the question prior to City Council. Ms. Hurd-Ravich replied that they could consider it if there is a need for broader input.

Ms. Demeo asked if the existing mobile cart businesses operating in the industrial areas will have to change their operation. Ms. Hurd-Ravich responded that they will be required to obtain a business license.

Linda Moholt, Tualatin Chamber of Commerce

Ms. Moholt stated that there is acceptance from the public for food carts as an alternative dining experience and these carts can lead to a regular brick and mortar business. Ms. Moholt acknowledged that at the CCIO meeting, 100 percent of the chamber members were opposed to food carts except for special event occasions. It's hard for businesses to compete with the food carts due to cost of producing, pricing, staffing with the minimum wage laws, electricity, and taxation. There is also concern that food carts do not follow health codes.

Ms. Moholt noted that in the City of Tualatin, 50 percent of our tax base is from businesses. Furthermore, food carts do not give anything back to our community, sports teams, local non-profits, and they do not create jobs. Ms. Muholt added that if they are allowed, they should only be located in the industrial/manufacturing areas and at special events.

6. FUTURE ACTION ITEMS

Ms. Hurd-Ravich stated that there will be a Capital Improvement Plan update in November or December. In November, there will be an update on food carts. In December, the Basalt Creek land use item will be brought back, where we will discuss the frame work and a code update.

7. ANNOUNCEMENTS/PLANNING COMMISSION COMMUNICATION

Ms. Thompson inquired about the RV Park of Portland site. Ms. Hurd-Ravich responded that it is currently an incomplete application and the project has been on hold. It will come before the Commission members as a Plan Map Amendment at some point.

Lynette Sanford, Office Coordinator

8. ADJOURNMENT

MOTION by Aplin to adjourn the meeting at 8:28 pm.	
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TUALATIN PLANNING COMMISSION MEETING

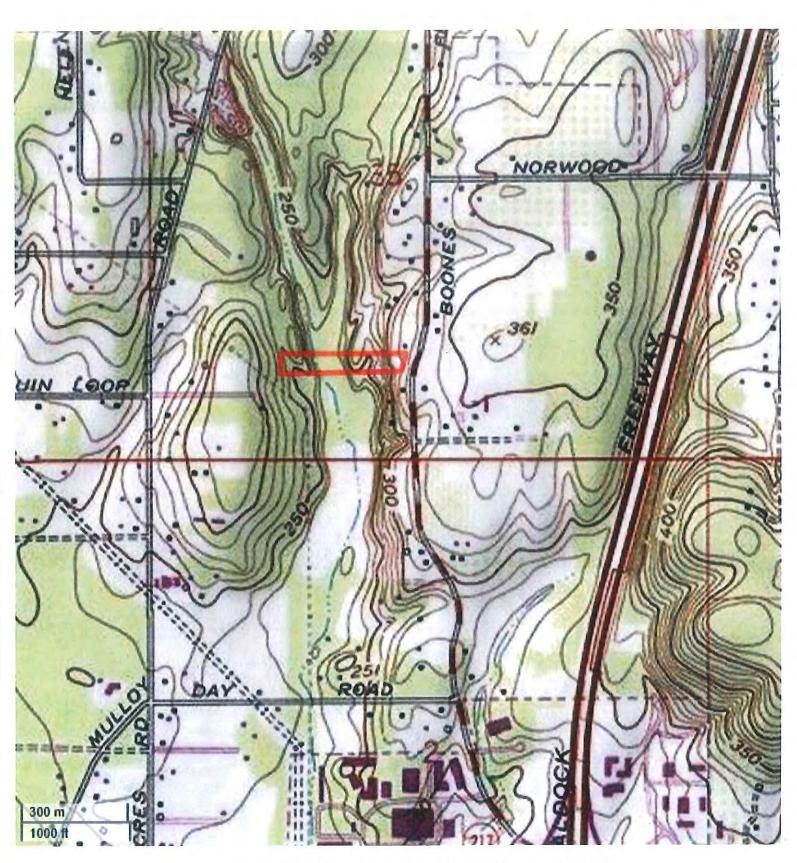
10-20-2016

Basalt Creek Update- Koss/Otak Proposal "C"

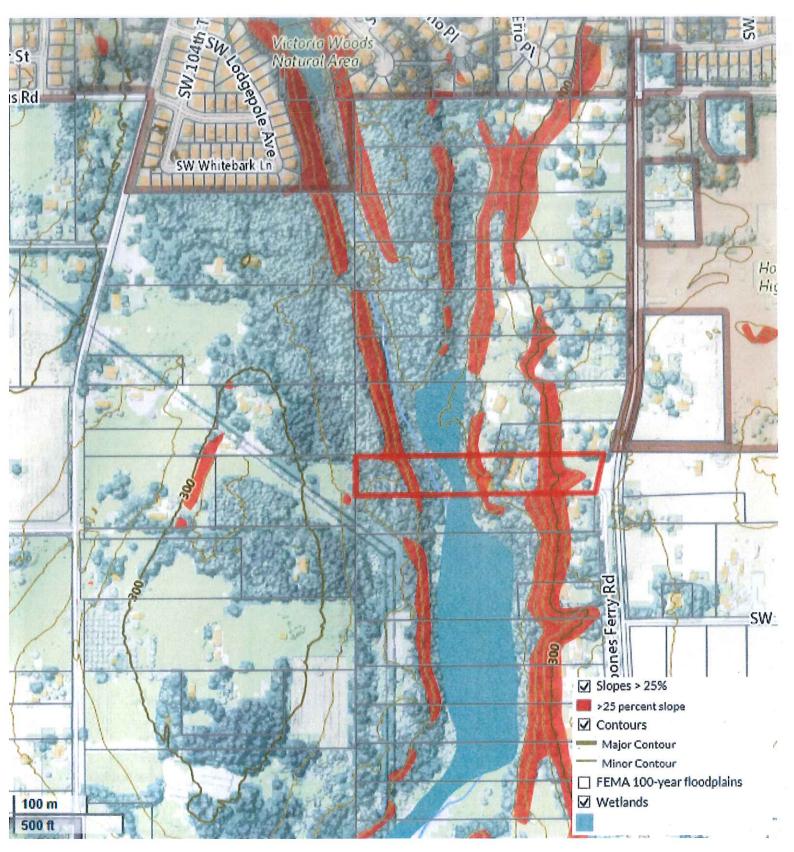
Citizen Comments- Grace Lucini

- 1. Give consideration to gradient residential housing from the NE to the SW to buffer existing neighborhoods.
- 2. Include future concept planning for--- local road access and infrastructure for <u>all</u> buildable land west of wetlandsplease see maps attached.
- 3. Recognize that major constraints within the area for development
 - a. Topography
 - b. Wetlands and Storm/Road Drainage
 - c. BPA power lines
 - d. Volume, Speed, Type (freight vs residential), and potential destination of traffic adjacent to residential area
 - e. Size and Scope of Area with multiple property owners
- 4. Develop recommendation as to how to incorporate health and safety concerns into Concept Plan for residential areas for Items 2a through 2d
- 5. Do not limit ideas for future development plans to one plan (Proposal "C") at this time
 - a. Allow ONLY Concept planning at the appropriate level at this time
 - b. Provide a level playing field for all property owners and/or developers once Concept Planning is established.
 - i. Allow individual property owners to decide when they and how they want to develop their property.
 - ii. Allow property owners to present their vision for their property for development either individually/ in groups/ or through a developer- through existing due process.
 - iii. Many developers are beginning to contact existing property owners-
 - 1. Why should only one property owner/developer be able to forward his business proposal at this time?
 - 2. Several viable development ideas may arise once the Concept Plan is established.
- 6. Due to the fact the area under consideration is not currently within the jurisdiction of the City of Tualatin, but is within the Concept Planning stage, a greater responsibility is placed on the City to be cognizant of the various claimant groups within the area, which requires a continuing need to provide transparency of the process.
 - It is requested the all members of the Basalt Creek Concept Planning staff, their consultants and the City of Tualatin (now and in the future) encourage collaborative communication between affected property owners and potential developers prior to presenting development proposals to the city. This may help avoid existing property owners from being blindsided by a development proposal which directly impacts their property-being prematurely presented for consideration to the City Council.

Attachments- Maps (5)



LOCATION OF LUCINI PROPERTY WITHIN BASALT CREEK AREA Topographical View (Same Perspective As Road Identification & BPA Lines Map)



CLOSER VIEW OF LUCINI PROPERTY WITHIN BASALT CREEK AREA
Development

Same Perspective as Property Lines –Contours- Slopes Greater than 25%- Wetlands

From: <u>Eric Rouse</u>

To: kperlfox@ci.tualatin.or.us
Cc: Aquilla Hurd-Ravich; bateschell@ci.wilsonville.or.us

Cc: Aquilla Hurd-Ravich; bateschell@ci.wilsonville.c

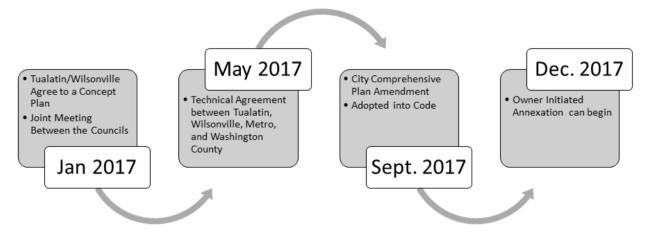
Subject: Basalt Creek Concept Plan

Subject: Basalt Creek Concept Plan
Date: Monday, October 24, 2016 9:20:20 AM

Attachments: image005.png image003.png

Hi Karen,

I noticed that there were several meetings this month on the Basalt Creek Concept Plan Calendar (two Planning Commission and One Council meeting), I'm wondering if our path forward and associated timelines have become any clearer? The way I understand the process and some "penciled-in" dates include the following:



Do I clearly understand the process and expected dates?

This schedule has changed since the open house in April. At that time we anticipated the Joint Council Session in the Summer of 2016, Technical Agreement in Oct. 2016, Comp Plan adopted Spring of 2017, and Annexation to commence Spring of 2017.

I've signed up for the e-mail updates. I'd appreciate a heads up on any public meeting where the Concept Plan is discussed.

Thanks,

Eric

Eric Rouse

Phone 503.572.0295 | Fax: 503.214.4281 CCB #204140 • WA #SUMMIDG856KA

DEVELOPMENT GROUP
www.summitdevelopmentgroup.com

From: Wendy Martin

To: <u>ahurd-ravich@ci.tualatin.or.us</u>

Subject: Basalt Creek

Date: Thursday, November 10, 2016 5:52:03 PM

Good afternoon,

I was asked to do some research on this particular project of over 700 acres. I understand originally, this was brought into the Urban Growth Boundary as industrial. Has it been decided what portion of the land has been designated residential?

Any updated information is greatly appreciated.

Kindly, Wendy

Wendy Martin
OR Licensed Broker
License number 201107012
HomeStar Brokers
License number 200906111
Proudly Serving ~
Portland * Tigard * Beaverton * Sherwood * Wilsonville
(503) 740-1285



From: Herb Koss

Lou Ogden; LouOgden; Alice Cannon; Aquilla Hurd-Ravich; Karen Perl Fox; EdTruax; Monique Beikman; wbrooksby@ci.tualatin.or.us; Frank Bubenik; Joelle Davis; Nancy Grimes To:

robertekellogg@yahoo.com; paul@paulmorrison.com Cc:

Subject: FW: Basalt Creek

Monday, November 28, 2016 4:12:10 PM Date: Attachments: Zoning for 41 AcresLtr HerbKoss 11-28-2016.pdf

Dear Mayor Ogden, City Councilors and City Planning Staff

Please see attached letter regarding the zone of part of the Basalt Creek area.

I am out of town and Don Hanson of Otak will be at the meeting this evening.

Sincerely

Herb Koss

Herb Koss 22400 Salamo Road, Suite 106 West Linn, OR 97068

November 28, 2016

City of Tualatin 18880 SW Martinazzi Avenue Tualatin, OR 97062

Subject: Zoning for 41 acres (Southern Border – Basalt Creek Parkway / Northern Border Victoria Gardens, West Border Grahams Ferry Road)

Dear Mayor Ogden, City Councilors, and Planning Staff:

I am the managing member of the LLC that owns the southernmost 10 acre parcel within the 41 acres described above. During my career I have been a banker, builder, real estate broker, and developer. Having been involved in many land purchases and developments, I never moved forward to either purchase or develop a parcel without obtaining other professional opinions before acquiring or developing a parcel of land.

As you are aware, I have retained the services of Don Hanson a senior planner with Otak, a well known planning and engineering firm. With Don's assistance we planned and developed a project in the city of West Linn named Cascade Summit. As a part of this project a shopping center and small office park was incorporated into the design. This was my first experience of grading costs and what it took to meet the American with Disabilities Act (ADA) standards. The good news was there was no rock on the site and the site was graded by cuts and fills from dirt within the 100-acre development. The result of the mass grading was successful, but costly since a lot of dirt had to be moved in order to level the site. Fortunately, we did not have to deal with basalt rock on the site. The development known as Cascade Summit is the location of the West Linn City Hall.

In response to the Washington County Road Department we have granted access to our land in order for them to survey and determine the future road grades for the extension of Basalt Creek Parkway. To our surprise I was informed that it will be necessary to lower the grade of the road along a good portion of our southern boundary 18 to 20 feet.

As the Basalt Creek study process has moved forward I have been working with Otak in order to determine the best plan for not only our 10 acres, but the remaining 41 acres, keeping in mind the that our land owners to east will need access to service any development potential of their land. In speaking with Don we decided it would be a good idea to get the opinion of other developers and contractors who have developed business centers.

of Tualatin Page 2

I then contacted Peter Bechen the CEO of PacTrust, Brian Clopton of Clopton Excavation, and Mike Diamond a commercial broker in the Portland area with extensive experience. Mr. Bechen assigned one a PacTrust vice president to visit the 41 acres and determine if they may be interested in developing the site. PacTrust as well the other letters pertaining to the 41 acres have been submitted to you and I understand are in your council packets.

Sherman Lietgeb, the property owner on the north end of the 41 acre site, and I have been in contact with all nine of the other owners of land within the 41 acres as well as many of the property owners to the east of the 41 acres. Every one of the land owners do not want an employment zone designation. The site is not in the right location for a professional office business park like Kruse Way or Center Point. Flex warehouse development requires expansive truck turning radius and fairly level topography. The 41 acre site does not meet these requirements. Staff points to the South Center development in Tualatin as an example. Don Hanson designed this site and the topography had far less slope, no basalt rock to deal with, and was built before the current ADA rules were in effect. Don has said that this project would not meet the ADA standards if a development application was applied for today.

In summary a residential zone, which will supply needed housing supply for the surrounding employment land is the highest and best use of this land. A residential zone will also allow for good access for the land owners to the east who need good access to their land. The current concept plan that Otak has prepared more closely meets Metro's job and housing goals and the trip count is neutral.

With all of the property owners desiring a residential zone, the site not conducive to employment zoning due to too many constraints and too much basalt rock a residential zone with a mix of low and high density is the best use of the land.

I would like your support to zone the 41 acres to a residential zone for the reasons that I have listed below:

- Topography- Slopes too steep for employment land
- Basalt rock, which will affect any mass grading- cost and feasibility
- Limited or no market for employment land on this site
- ADA requirements difficult to adhere too
- Provides good access through a residential neighborhood for land owners to the east
- Metro Ordinance 04 -1040B --- states land north of the bypass should be residential "Council states that, so long as the alignment for the Connector falls close to the South Alignment shown on the 2040 Growth Concept map, it will serve as the buffer between residential development to the north (the portion least suitable for industrial uses) and industrial development to the south (the portion of the area most suitable for industrial use)"
- 18 to 20 foot cut on the south end will greatly restrict any land for employment use
- Professionals in the business have stated the 41 acres are not suited for employment
- Transition between residential and existing neighborhoods to the north are far more compatible
- The land owners are 100% in favor of a residential zone versus employment zone
- Metro goals for housing and jobs are in balance more with a residential zone
- Tualatin is , as is the region, very short of land for housing

- 329 acres (within one mile) of employment land is already available for development without the land proposed within the Basalt Creek Study area. Supportive land for housing is needed for this employment base.
- The request for a residential zone versus the staff recommendation is only a 3 to 5% change in the overall land use mix

Your designation of a residential zone for the 41 acres, which will provide good access for the land owners to the east, is requested for the reasons as outlined above.

Sincerely,

On behalf of Herb Koss

From: <u>Don Hanson</u>
To: <u>Karen Perl Fox</u>

 Cc:
 Herb Koss; Tanya Williams

 Subject:
 Basalt plan amendment request.

Date: Monday, November 21, 2016 4:46:20 PM

Attachments: <u>image001.jpg</u>

17713A BasaltCreek AmendConceptPlan Revised 11-21-16.pdf

Hello Karen.

Please find attached our materials supporting an amendment to the concept plan for Basalt. Please provide this material to city council for review prior to the work session on November 28th,2016. I reviewed the agenda today and surmise there is no time allotted to provide testimony during the work session or during the actual council hearing.

I imagine there will be an actual council public hearing scheduled to take testimony and make a decision. Please let me know when that will occur. Also please confirm that you have received this email.

Enjoy thanksgiving.

Thanks Karen

Don



Don Hanson | Principal 808 SW Third Ave., Suite 300 | Portland, OR 97204 v. 503.415.2317 | f. 503.415.2304 www.otak.com

at Otak, we consider the environment before printing emails.

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808 sw third avenue, suite 300 • portland, oregon 97204 503.287-6825 • fax 503.415-2304 www.otak.com

BASALT CREEK/TUALATIN CONCEPT PLAN

Amendment Request to the Concept Plan Tualatin, Oregon August 23, 2016, Revised November 21, 2016

Introduction

• Otak Inc. (Otak) represents The Sherwood Grahams Ferry Investors LLC, headed by Herb Koss, who hold 10 acres in the 41 acre northeast quadrant of the overall district. The property is located near the northeast corner of Grahams Ferry Road and extends over to the Basalt Creek Canyon along the proposed new east-west arterial road. This summary of concerns and the amended concept plan lay out our intended direction moving forward.

Project Concerns

- Otak's concern is that the northeast quadrant area is not well suited to industrial zoning or employment transition proposed by the concept plan.
 - Topography. Much of the site contains slopes in excess of 10 percent (10%) and 25 percent (25%). The site would be extremely difficult to flatten out to accommodate industrial or employment transition site development requirements. Attached is a topographic map of the South Center project provided to City of Tualatin (City) staff. Otak designed this flex-space project. The topography is half as severe as portions of the 41 acres site. The site would be extremely difficult to develop given today's American with Disabilities Act (ADA) requirements.
 - Access. Vehicular access will be limited to Grahams Ferry Road and extending Tonquin
 Loop into the site. No access will be permitted on the proposed new east-west arterial road.
 - o Basalt Creek Canyon. The industrial land abuts the Basalt Creek Canyon with no transition.
- o This is not a big change but rather a refinement to the concept plan. It is a defined site area that makes up about 3 to 5 percent (3-5%) of the total Basalt Creek Study Area. Also there are currently 329 acres of undeveloped industrial land within a one mile radius of the study area.

Land Use Context

• The following shows a comparison of Metro's initial goal for the district, the City's current plan, and the proposed amended plan.

Metro	2500 Jobs	1200 Households
City Plan	4500 Jobs	600 Households
Amended Plan	4070 Jobs	1194 Households

The amended plan proposes a more balanced approach that is well within the intended mix proposed by Metro when the land came into the Urban Growth Boundary (UGB).

A group of mayors in our region have gone to Metro and asked Metro for flexibility related to UGB expansions. They have asked Metro to look at lands and appropriate zoning designations on a sub-regional basis. They have asked that Metro consider factors such as slope, and proximity to infrastructure, to help avoid situation like Damascus. We are asking you to do the same. We recognize that the region anticipated that the Basalt Creek area would primarily be zoned employment uses.

It is certainly anticipated that the vast majority of the land will be used for that purpose. But, within the Basalt Creek Planning Area, there are sub-areas that cannot reasonably be developed as employment land because of topographic and other issues. The 41 acres that we have asked the City to zone for residential purposes is one of those sub-areas. There is land to the west and south of this land that is zoned employment, that land is flatter than the subject 41 acres, and it is closer to transportation infrastructure than the subject 41 acres. Neither PacTrust Pacific Realty Associates, LP nor Brian Clopton Excavating believed that an employment designation was possible given the slope and soil quality. Instead of designating the property with a designation that will result in it never developing, we ask that you give it a designation that will make development feasible. If you do not do so, it will sit vacant; counting as developable employment land, just as Damascus has sat vacant, counting as available housing stock. Its designation will prevent further necessary expansions.

There is a housing crisis in our region and the latest modeling has demonstrated the importance of having residential land and employment land in close proximity. This is an opportunity to provide housing, on land which cannot be feasibly developed as employment land.

Amended Plan Options

- The attached concept plan option summarizes the requested amendment for proposed land uses that fit the site and its unique conditions.
- The plan anticipates building Tonquin Loop as an actual loop with two access points on Grahams Ferry Road. This road extension will provide complete access to the properties and also access to property owners east of the site.
- Three densities of residential are shown as transition to the neighborhood to the north and canyon to the east and also along the new east-west arterial, which is down 25 vertical feet from the site area. A center core area of potential retail, high density residential, and open space could serve as a walkable destination in the neighborhood. Also secondary access can be provided to the developable lands to the east above the canyon.
- Property uses can be molded to fit actual site conditions and provide a mix of housing (including workforce housing) close to jobs anticipated to the south and west.
- The programmed development will "be trip cap neutral" compared to the current city concept plan.

Benefits

- A walkable neighborhood with appropriate transitions and destinations
- Land uses that are adaptable to actual site conditions. The mix of uses will act as a **catalyst to create activity in the district**. The high-density residential (HDR) land provides the best opportunity for workforce housing next to employment lands. Residents won't need a car to commute.
- A plan that meets Metro's initial objectives when the land was brought into the UGB.

• A more complete quality neighborhood for the City of Tualatin.

Attachments: Basalt Creek Site Topo

Basalt Creek Slope Analysis

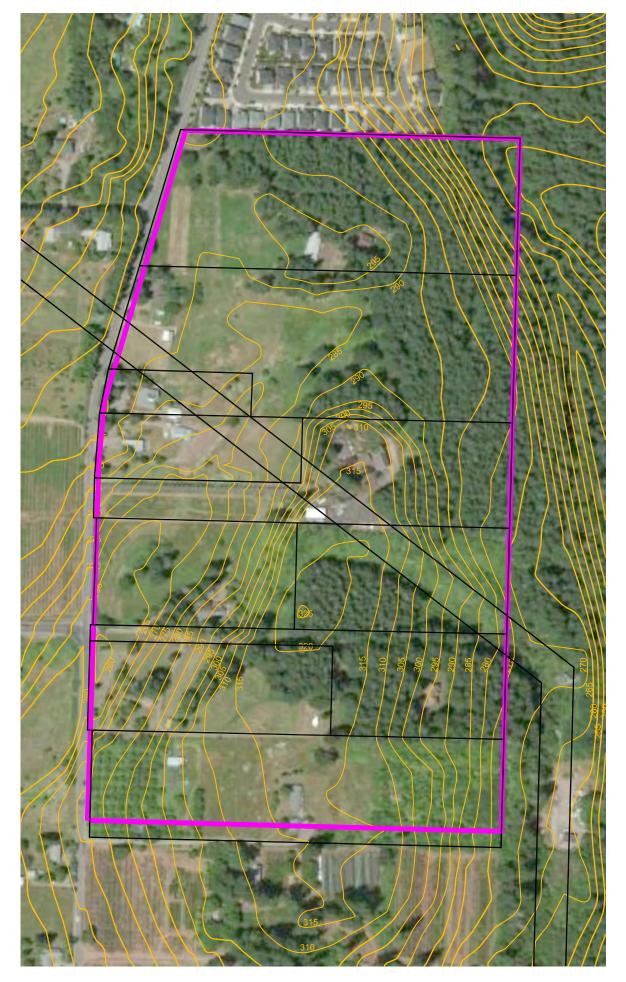
South Center Site Topo (Comparison) Basalt Creek Land Use Concept

Letter from PacTrust Pacific Realty Associates, L.P.

Letter from Brian Clopton Excavating

Letter from Micheal Diamond, Real Estate Investment Group

Basalt Creek nearby Job Lands Map

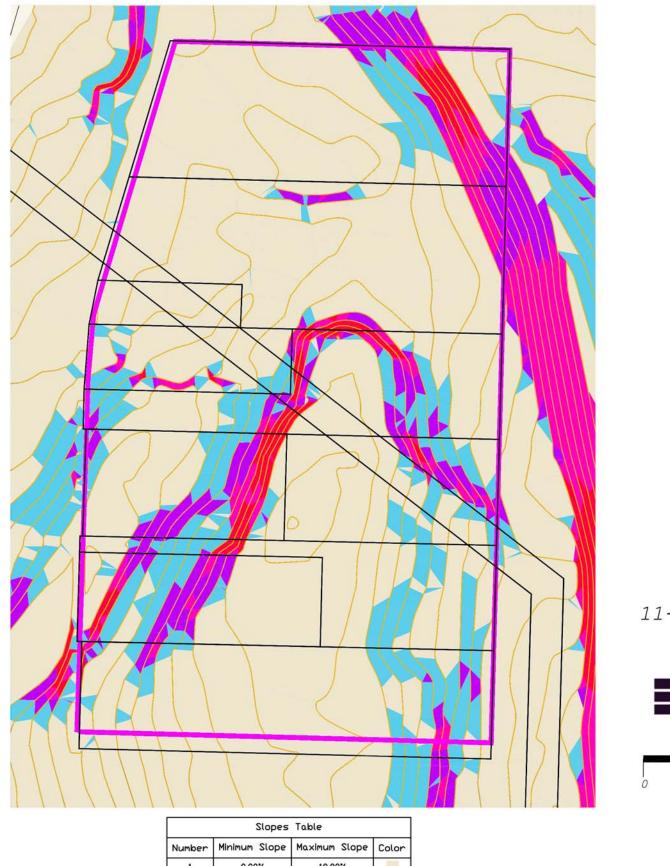


11-16-2016





BASALT CREEK SITE TOPO



11-16-2016





Slopes Table			
Number	Minimum Slope	Maximum Slope	Color
1	0.00%	10.00%	
2	10.00%	15.00%	
3	15.00%	20.00%	
4	20.00%	25.00%	
5	25.00%	357.23%	

BASALT CREEK SLOPES ANALYSIS

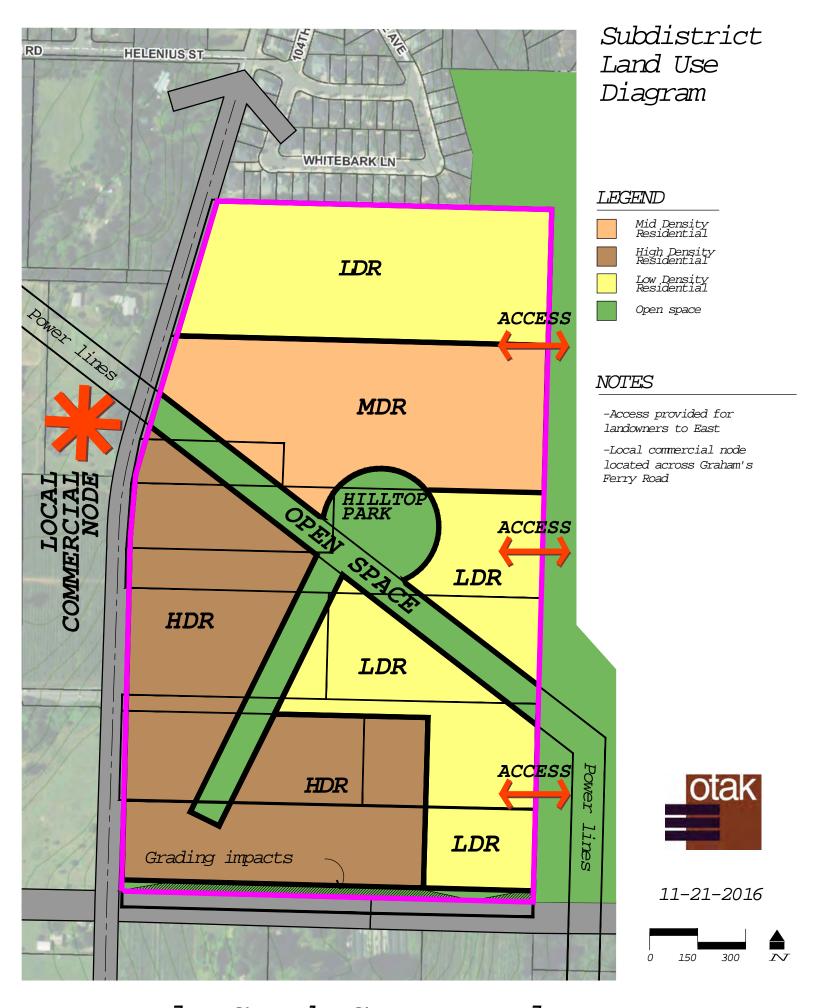


11-16-2016





SOUTH CENTER SITE TOPO



Basalt Creek Concept Plan



PO Box 509 Wilsonville, OR 97070 P: 503-682-0420 F: 503-570-3235 www.cloptonexcavating.com

November 18, 2016

Dear Mr. Koss

You have asked me to visit the 41 acre site located in the Basalt Creek Planning area. Your question was the feasibility of grading this site for employment land vs. a residential zone.

For your information my company has just purchased another four acres next to our Clay Street property. With this acquisition we now have 16 acres of land on Clay Street. I am very familiar with this area and as you know my company has mass graded many sites in the Portland Metro Area. I have been asked many times to inspect potential projects in order to determine problems that may be associated with a developer's site plans --- slopes, access and feasibility.

Thank you for providing me with topography of the site. It was very helpful and to be honest the slopes on the site were more severe then I first thought. The other big issue is the amount of rock that would be encountered with any grading necessary to accommodate any development on this site. This site is far better suited for Residential use since grading for this does not require the same topographic grading in comparison to employment uses. The Basalt Creek area does feature other land that is suited for employment; however the 41 acres you have asked me to visit is not in that category. I was also surprised by the 18 to 20 foot cut in order to accommodate the extension of Basalt Creek Parkway.

If you require any additional information please let me know.

Sincerely

Brian Clopton

President/Owner



November 21, 2016

Herb Koss 2643 South Shore Blvd. Lake Oswego, Or 97034

VIA: EMAIL

RE: 41-acre Basalt Creek southern boarder 23960 SW Grahams Ferry Rd.

Dear Herb.

I visited the site and spent a considerable amount of time driving the area. It is an exciting development area especially when the Basalt Creek Parkway is completed.

The topography of the site is such that developing an industrial project would be very difficult and if done would be at best marginal and very inefficient. Industrial, flex buildings require large foot prints, large drive areas for loading and turning radius. There are better sites in the area for this type of use.

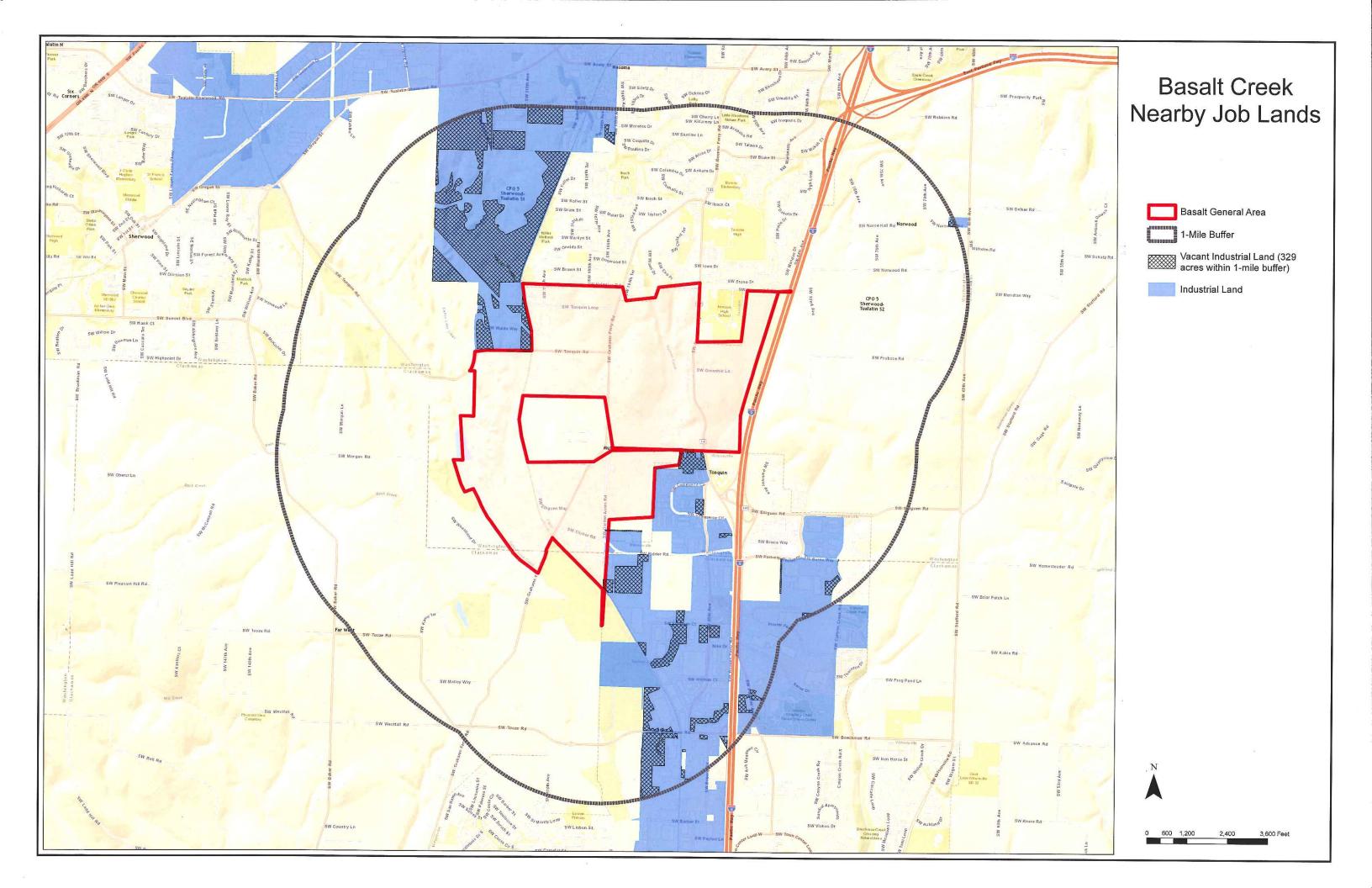
I also looked at the site for office park use and concluded that due to the steep topography of the site it could have a negative impact on the proximity of the parking that may pose an issue with ADA requirements. I also believe that the extraordinary site cost and small office footprints would not be cost effective and competitive in the office market Furthermore, the location does not readily lend itself to that use

This site lends itself to smaller foot print buildings such as housing and multifamily that can be planned around the steep grades and terraced into the topography. It is my opinion that the highest and best use for this site are single family homes buffered along the frontage with multifamily housing.

Our office has forty years of experience in commercial real estate and have procured sites for commercial developers such as Gramor, Holland Development LLC and West Hills

Let me know if you have any questions.

Michael N Diamond Principal Broker



From: <u>G Lucini</u>

To: Council; Ed Truax; Frank Bubenik; Joelle Davis; Lou Ogden; Monique Beikman; Nancy Grimes

Cc: <u>Aquilla Hurd-Ravich</u>; <u>Karen Perl Fox</u>

Subject: Citizen Comments-Tualatin City Council-Work Session-11-28-2016 Basalt Creek "Central Sub-Area"

Date: Wednesday, November 23, 2016 7:27:02 PM

Attachments: 2016 11-28 Tualatin CC Work Sess-Basalt Creek-Central Sub Area.pdf

Please find attached a letter to the Tualatin City Council.

I am requesting inclusion of my Citizen Comments into the Basalt Creek Concept Planning file, and also into the informational packet provided to the Tualatin City Council members ---prior to their meeting on November 28, 2016 for their Work Session Topic -Basalt Creek Land Use Map.

I have added Aquilla Hurd-Ravich and Karen Fox to the distribution of the letter, as representatives of the Basalt Creek Concept Planning staff.

Regards, Grace Lucini

FOR THE RECORD

November 23, 2016

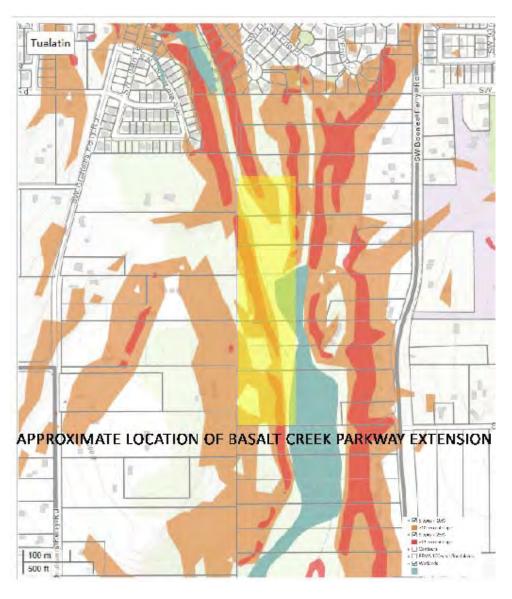
Citizen Comments- Tualatin City Council Work Session 11-28-16 Topic: Concept Planning- Basalt Creek "Tualatin Central Sub Area"

Discussion on concept planning for Basalt Creek- Tualatin-Central Area Land Use is scheduled as an agenda item for the Tualatin City Council Work Session for November 28, 2016.

As was presented to the Tualatin City Planning Commission on October 20, 2016, property owners directly adjacent to the east side of the Tualatin Central Sub Area, wish to remind the Council and staff of the existence of buildable acreage west of the wetlands, and east of the Central Sub Area (the area under discussion during the November 28, 2016 Council Work Session).

MAP- BUILDABLE ACERAGE (highlighted in yellow)

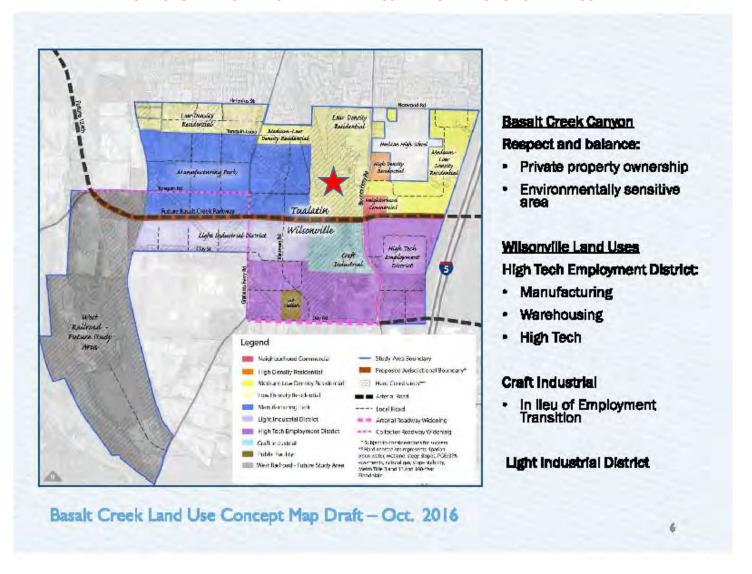
DIRECTLY EAST OF "TUALATIN CENTRAL SUB-AREA"



Most recent concept planning maps have the properties within the Basalt Creek Concept Planning area--- which face Boones Ferry Road and extend west ---- identified for land use as ----Low Density Residential.

The mid portions of these properties include natural resources/wetlands (identified with hash markings). These properties are directly east and adjacent to the Central Sub Area under discussion at the Work Session.

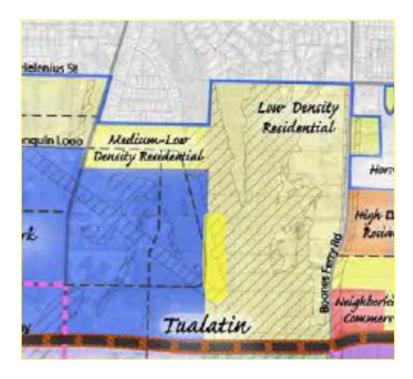
BASALT CREEK LAND USE CONCEPT MAP 10-2016 INDICATES LOW DENSITY RESIDENTIAL LAND USE DIRECTLY EAST OF CENTRAL SUB AREA



A CLOSE-UP DETAIL OF THE MOST CURRENT MAPS INDICATE A LOCAL ROAD WITHIN CENTRAL SUB AREA-

EXTENDING FROM GRAHAMS FERRY ROAD

EAST TO THE COMMON PROPERTY LINES WITH THE BOONES FERRY NEIGHBORS -PROVIDING DIRECT CONNECTION AND ACCESS TO THE WESTERN PORTION OF THE BOONES FERRY ROAD PROPERTIES



The need to provide a local road from Grahams Ferry Road, extending east entirely through the Central Sub Area, is extremely important for any future development of the buildable acreage directly east of the Central Sub Area and west of the wetlands.

- Any change which alters a direct road connection to the western portion of the Boones Ferry Road properties will cause difficulties when attempting to implement the concept planning for that area.
 - Land use (Low Density Residential development) has already been identified within the concept plan for the properties east of the Central Sub Area and west of the wetlands
 - o Direct road access to the western portion of the Boones Ferry road properties from the south is not permitted due to the planned limited access Basalt Creek Parkway Extension running the entire width of the southern portion of the area-which is a primary and guiding Concept Planning factor.
 - Any development for this area will require utilities from the west- as access through the wetlands on the east would be problematic.
 - o Most utilities are located along local roads- which also heightens the need for a direct local road from Grahams Ferry Road extending to the west side of the Boones Ferry properties.

Future land use for the Central Sub Area should include requirements for primary, not secondary, direct road access from Grahams Ferry Road ----east to the buildable land on the west side of the Boones Ferry Road properties.

- Additional Considerations for land use of the Central Sub Area should include:
 - o Compatibility with the topography
 - o Compatibility with known significant natural resources-
 - o Surface/Storm water management considerations
 - proximity to known wetlands within the National Wetlands Inventory.
 - impact upon down-stream property owners
 - o Compatibility with BPA power lines health and safety concerns
 - Compatibility of land use with existing property owners (or those anticipated in future concept plans).
 Boones Ferry Road property owners should be extended the same considerations as given current
 Tualatin residents with regard to buffering issues and other quality of life concerns for development adjacent to their existing properties.

Respectfully submitted,

Grace Lucini 23677 SW Boones Ferry Road Tualatin, Oregon 97062 From: <u>tom.re@comcast.net</u>

To: "logden@ci.tualatin.or.us:"; slombos@ci.tualatin.or.us; acannon@ci.tualatin.or.us; "Aquilla Hurd-Ravich"; "Karen

Perl Fox", jfuchs@ci.tualatin.or.us; mbeikman@ci.tualatin.or.us; ngrimes@tualatinoregon.gov;

fbubenik@tualatinoregon.gov; jdavis@tualatinoregon.gov; etruax@tualatinoregon.gov; "Craig Dirksen", brian.harper@oregonmetro.gov; andy_duyck@co.washington.or.us; andrew_singelakis@co.washington.or.us;

"John Fregonese"

Subject: Basalt Creek

Date: Tuesday, November 29, 2016 11:41:12 AM

Lou Ogden / Mayor of Tualatin

Sherilyn Lombos / Tualatin City Manager

Alice Cannon / Tualatin Asst. Manager

Aquilla Hurd-Ravich / Tualatin Planning Manager

Karen Perl Fox / Tualatin Senior Planner

Jeff Fuchs / Tualatin Engineer

Monique Beikman Tualatin Council President

Nancy Grimes / Tualatin Councilor Position 5

Frank Bubenik / Tualatin Councilor Position 1

Joelle Davis / Tualatin Councilor / Position 6

Ed Truax / Tualatin Councilor Position 4

Craig Dirksen / Metro Councilor District 3

Brain Harper / Metro Planning

Andy Duyck / Chairman Wa. County Board of Commissioners

Andrew Singelakis / Director Land Use and Transportation

John Fregonese / Basalt Concept Planner

Everyone:

I'm going to cut to the chase.

Last evening (11/28) I attended both the City of Tualatin's work session and Council Meeting and listened in utter amazement.

After years of discussions and private meetings and public meetings the Basalt Creek area was brought into the UGB in 2004 for an expansion of Industrial lands (that Tualatin lobbied for). And – just now (end of 2016) we are just finding out the newly named "Tualatin's Central Sub Area" is "scab lands" that are unbuildable and unwanted for industrial uses? Really? Seriously? As Mayor Odgen put it "... a square peg and a round hole".

I think we all need to look at ourselves in the mirror both individually and collectively as a group working together and that includes land owners and residents. When I hear directly from the Mayor "... well that's what they want but what are they going to do?" I think that in itself is a problem. When I hear from a Tualatin Councilor that because this is a public meeting he can't say what he thinks of Wilsonville – I think that is a problem as well. How could Planning (countless hours and money spent) get this far then find a letter dated October 27, 2016 from Andy Duyck Wa. County Chairman of Commissioners reminding Tualatin that there is an IGA agreement that is not being followed. Does the IGA agreement mean anything? If so what and what are the ramifications?

I feel for the Tualatin Planning Staff and Tualatin Council Members (are they being giving all the

information to succeed making the right decision?)—I could not do their jobs either paid or volunteer—it has to frustrating to keep rehashing things (food carts anyone?). If this were a privately run business either this project would have easily been under construction by now or people fired.

Our Metro Councilor Dirksen gave us a nice update on the Convention Hotel (that no private developer was interested in), on the Zoo Holiday Lights and polar bears and extra monies that were found and needed to be spent. Then left before the Basalt Project Meetings began?

No representation from Washington County? Why?

As property owners, my wife and I have been graciously invited by Aquilla and Karen to discuss what we felt would be best suited development for our property. My wife and I both know the property will be there a lot longer than we will — we want what is best for the area and there are a lot smarter people than us to decide what that would be best for the long run. We did not lobby for a multi family designation but now I wonder if we should hire a lawyer and a concept planner and decide what is best for US because that's what I'm hearing from everyone.

Tom Re
Tualatin resident since January 1987

From: Herb Koss

To: Sherilyn Lombos; Alice Cannon; Aquilla Hurd-Ravich; Karen Perl Fox

Cc:Lou Ogden; LouOgden; Don HansonSubject:FW: Basalt Creek Analysis and ResponseDate:Wednesday, November 30, 2016 10:54:51 PMAttachments:PacTrust Letter to Herb Koss 11-14-2016.pdf

To: Alice Cannon and Tualatin Staff

Subject: Letter from PacTrust that was shown as an exhibit in the Otak package

The attached letter from PacTrust was left out of the package that Otak had prepared for the council.

Mayor Ogden asked me to forward the letter so it can be entered into the record and distributed to the council.

Please confirm that you have received the letter and it will entered into the record.

Thank you.

Herb Koss 503 730 2431



15350 S.W. Sequoia Pkwy., Suite 300 Portland, Oregon 97224 503/624-6300 • Facsimile: 503/624-7755

November 14, 2016

VIA EMAIL

Herb Koss 2643 South Shore Boulevard Lake Oswego, OR 97034

Dear Herb,

At the request of Peter Bechen, I toured your site north of the future Basalt Creek Parkway last week. PacTrust is developing an industrial park several miles north at 115th Avenue and Tualatin-Sherwood Road in Tualatin known as Koch Corporate Center. We are interested in locating a site to develop in the Coffee Creek area for light industrial uses. Unfortunately, the topography of your site makes development of industrial or flex buildings uneconomic. We believe housing would be a more appropriate use for the site. The smaller floor plates for housing enable it to work with slope conditions present on your property. Industrial/employment land requires sites to be much more flat due to dramatically larger floor plates, parking requirements, loading areas for trucks and ingress/egress concerns for trucks. There are several sites in the area that are more appropriate for industrial/employment development.

Let me know if you would like to discuss this further.

Yours very truly,

PACIFIC REALTY ASSOCIATES, L.P.

Eric A. Sporre Vice President



Attachment H4:

Public Comment Record 2017



Tualatin Plan Com Meeting 1-19-17

Hi Grace,

This line should not be on this map and I am sorry I didn't catch it before it went out. I have asked multiple time for this line to be removed and it keeps showing up. I'll ask our consultant again to take this line off as I do not know where it came from or what it represents.

My apologies.

Aquilla Hurd-Ravich, AICP

Planning Manager
City of Tualatin | Community Development Department
503.691.3028 | www.tualatinoregon.gov.

From: G Lucini [mailto:grluci@gmail.com]
Sent: Thursday, January 12, 2017 4:43 PM

To: Karen Perl Fox; Aquilla Hurd-Ravich; Bateschell, Miranda; Karushaar, Nancy **Subject:** Trail or Road Markings on Basalt Creek Concept Plan Map-Posted

Tualatin Plan Com Meeting 1-19-17

Karen, Aquilla, Miranda, and Nancy,

I know we have previously discussed maps which have indicated various public (or other) access through existing residential properties within the Basalt Creek Concept Area.

My understanding of these discussions was that <u>no</u> trail or other public access--were anticipated or intended to be placed through my property.

I have included a copy of a map which is being presented to the Tualatin Planning Commission on Jan. 19,2017 as part of the Basalt Creek Concept Planning Update Agenda Item. I have drawn a red circle around a broken grey line which meanders in a general north-south direction either through or next to my property.

<image001.jpg>

Would you provide me information as to what this line is to indicate-a proposed road, trail, utility?

Has there been a change in anticipated use/ access to this area of privately owned property, as part of the Basalt Creek Concept Planning?

If the broken grey line does not have any anticipated use, I request that it be removed from this and any future maps produced for public dissemination.

I also ask that contractors and subcontractors of the Basalt Creek Concept Planning process be informed of this and previous requests pertaining to the removal of unnecessary and/or unapproved markings on Basalt Creek Concept Planning maps produced for public dissemination.

I look forward to hearing back from you.

Thanks, Grace Lucini From: Herb Koss

To: Alice Cannon; Aquilla Hurd-Ravich; kperlfox@ci.tualatin.or.us

Cc: Lou Ogden; logden@ci.tualatin.or.us; fbubenik@ci.tualatin.or.us; jdavis@ci.tualatin.or.us;

ngrimes@ci.tualatin.or.us; Paul Morrison; Jeff Dehaan; Robert Kellogg; Lois Fox; Heather Hutchinson; Matthew Johansen; Lark Leitgeb; Hannah Childs; DonHanson; Sherman Leitgeb; Grace Lucini; Herb Koss; John andGrace

Lucini; Marvin Mast (marvinmast@gmail.com); Mehdi A-Sanaei (mehdiasanaei@yahoo.com);

nicksummersfs00@gmail.com; r.alvstad@comcast.net; srcs6914@aol.com

Subject: FW: Basalt Creek

Date: Tuesday, January 17, 2017 1:01:46 PM

Alice, Aquilla, or Karen

Could you please make sure that the Planning Commission receives this memo.

Thank you

Herb Koss 503 730 2431

Subject: Zoning of land not suited for an employment zone

Memo to the Tualatin Planning Commission Chair and Members of the Commission

CC: Mayor Ogden, Tualatin City Council, Alice Cannon, Aquila Hurd-Ravich, Karen Fox, Property owners affected by a proposed Employment Zone.

Testimony submitted by Herb Koss the managing member of the 10 acres just north of Basalt Creek Parkway.

Property location:

Property located between Victoria Gardens on the North, Basalt Creek Parkway on the South, Grahams Ferry on the West and Basalt Creek on the East.

I am unable to attend the Planning Commission meeting on January 19th. Don Hanson, a principle at Otak will be attending the meeting weather permitting. Don was hired to assist in helping to plan the property described above for a zone that was conducive to the topography and the factor of limited access to the property. The site grading for an employment use would not be feasible due to the vast amounts of Basalt Rock. Access from Basalt Creek Parkway will be limited and Washington

County plans a 18 to 20 foot cut on the south end of the property owned by the LLC that I manage and represent.

A month has almost passed since I was informed that Washington County was going to retain the services of EcoNW to visit the site and provide their opinion as to whether the property was suited for an employment zone. As of Jan 13th according to the administrative director of EcoNW the County had not retained the services of EcoNW to visit the site. **This is troublesome, because all of us want to make sure that Washington County understands the challenges associated with the site,**

so that it is zoned properly.

I was informed that Tualatin Staff had a tour of the site arranged by Lois Fox a property owner. A site

visit is certainly the best way to determine and experience what property owners have been stating about the problems with an employment zone. The elevation from the low to the high

Point is 60 feet and the access to the South from Basalt Creek Parkway is not feasible.

I would also like to point out that in order to ensure an employment zone was not the correct zone, a well-known office park developer was contacted. PacTrust is well known and a quality developer. A senior VP visited the site and reviewed topography and the feasibility of mass grading the site. His comment upon visiting the site was mass grading of the site was not feasible because of the vast amounts of Basalt Rock and the 60 foot elevation. Mayor Ogden has had conversations with Tony Weller of CES engineering and a past Council Member, Ken Leahey a site development contractor,

and John Fregonese of Fregonese and Associates. After these conversations Mayor Ogden contacted

Andy Dyck at Washington County. Mayor Ogden told me the conversation was why does everyone he

has talked to not support an employment zone and the county still maintained the land was well suited for employment. This is a very good question and we were encouraged that EcoNW was being

retained. The disappointment is to our knowledge no contract has been entered into and time continues

to pass by.

It would be very unfair to property owners to improperly place a zone land that will never be developed and restrict the use of the land to the property owners presently living on the land. The County Loses, The City Loses and the land owners are treated unfairly after many months of planning, public meetings, and a large financial commitment to pay for the planning.

The property can be developed into supportive housing and become as asset to the City and the County.

A residential zone is adaptable to elevation changes and access is not as restricted compared to the access requirements needed for truck traffic. All of the property owners within the acreage described

and the land owners to the east of this land support a residential zone.

I realize that a formal vote is not taking place on Jan 19th, 2017, however I wanted to enter our concerns into the record.

Sincerely

Herb D Koss

From: Herb Koss
To: Alice Cannon

Cc: Sherman Leitgeb; Don Hanson; Ed Trompke (Ed.Trompke@jordanramis.com)

Subject: RE: Mackenzie Study of Basalt Creek/Grahams Ferry Site

Date: Thursday, January 19, 2017 1:49:21 PM

Alice

Thank you for emailing me the information. Like I said it was disappointing to have Andy Duyck tell Ed Trompke one thing and then have signed a letter like he did.

If you really read the detail in the GM letter some data that they assumed is incorrect. First of all no residential zone on the North was taken into consideration. The North South Road connecting to Basalt Creek Parkway is not feasible --- 20 foot cut will be made to accommodate Basalt Creek Parkway. Basalt Creek Parkway is shown in the wrong location – It is on the south property line of Our 10 acres.

Don Hanson will attend tonight's PC meeting as well as Sherman Leitgeb. Don will present our Concerns and recommendations at the PC meeting.

Again thank you for forwarding me the information.

Sincerely Herb Koss

From: Alice Cannon [mailto:acannon@tualatin.gov] Sent: Thursday, January 19, 2017 12:21 PM

To: Herb Koss

Subject: Mackenzie Study of Basalt Creek/Grahams Ferry Site

Herb,

Here is the latest information from information from Washington County.

Thanks for the conversation just now.

Kind regards,

Alice

Alice Cannon

Assistant City Manager
City of Tualatin | Community Development
503.691.3018 | acannon@ci.tualatin.or.us | www.tualatinoregon.gov

Citizen Comments to Tualatin Planning Commission 1-19-2017 Agenda Item 5 B-Basalt Creek Concept Planning -Update

Grace Lucini

23677 SW Boones Ferry Road, Tualatin Oregon

My home is within the Basalt Creek Concept Planning area. I do not have elected representation within the Basalt Creek Concept Planning process, as I am not a resident of either the cities of Tualatin or Wilsonville- which are the governmental entities determining the process.

I appreciate that additional reviews of the Central Sub-Area continues- but evaluations for use need to be done within the context of the plan --for the successful health of the entire concept plan area.

I understand members of the City staff did an on-site visit to the area- which is necessary to understand the topography and uniqueness of the area. Let me express my appreciation of this action.

I also appreciate the actions the staff, stated they will take action to remove unnecessary or out dated markings on Concept Planning Maps which are disseminated to the public.

In this case the removal of some markings which overlay and potentially indicate actions to private properties west of SW Boones Ferry Road and north of the proposed Parkway. A map with these markings was included within the informational packet provided to this Commission, and was available for public review.

1-11-17 Mackenzie Report Evaluation of Central Sub Area- Analysis for Industrial Use- commissioned by Washington County

However, I question the usefulness of an evaluation commissioned by Washington County which resulted in the 1-11-17 Report by Mackenzie.

- 1. The Mackenzie Report did very little to address the actual question this Commission is discussing-which is: **what** *is the most appropriate* land use for the land in question.
- 2. The Mackenzie Report specifically states the topic of the report is ---for "planning and design for development of industrial and employment lands in the Portland region".

These are two very distinctly different questions and issues- and any information gained from the Mackenzie Report should be utilized only within the context of the question it addresses... that question is simply if any of the land COULD be used for employment ---The answer to that question is yes, but very little land is appropriate for industrial use.

- A. The report did not address what should happen to the balance of the land not appropriate for industrial use.
 - Will this land become waste land?
 - An eye sore- who will be responsible for maintaining so many acers of land which is zoned for industrial use, but cannot be developed?

In addition, there are several factual problems which are presented within the Mackenzie Report as it is written...

- B. A major issue is the location of the limited access Parkway--- which is a major focal point of the entire Basalt Creek Concept Planning Process.
- C. The potential concept planning maps created and provided by Mackenzie indicate road access north from the Parkway which is again contrary to previous primary planning concepts.
- D. There is no indication of any effort to co-exist with existing neighborhoods or adjacent properties the Mackenzie Report:
 - does not indicate or state any attempt to have compatible of zoning with adjacent residential properties
 - does not indicate or state any attempt to provide buffering of existing neighborhoods- which was another primary guiding principle of the planning process
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 - There is little comment within the Mackenzie Report on the cost involved in resolving the topography and solid basalt rock benches which are found within this area--- to make it compatible for grading for industrial use. Cost is a significant factor when planning any development. If the cost is too high, the land will be the last to be developed -if ever
- E. Consequently, the information gained from this report should only be used within the context of the question it addresses.
- F. The ability to use this report for determining the <u>best</u> use of the land is extremely limited.

EXISTING PROPERTY OWNERS WITHIN BASALT CREEK AREA

- 1. Existing property owners directly affected by the planning process should be heard as to their goals, and should be respected for the knowledge they provide about the limitations of the land they own.
- 2. Existing neighbors within the Tualatin City limits, and those existing outside the current limits should be heard and their comments incorporated into the concept plans as a basic livability issue.

I request that the Planning Commission acknowledges the extensive limitations of the Mackenzie Report when considering what is the best land use for this area- within the context of the entire Tualatin area and forward these concerns to the Tualatin City Council.

Respectfully,

Grace Lucini



City of Tualatin

www.tualatinoregon.gov

OFFICIAL

TUALATIN PLANNING COMMISSION

MINUTES OF January 19, 2017

TPC MEMBERS PRESENT:

Alan Aplin
Bill Beers
Angela Demeo
Travis Stout
Mona St. Clair
Janelle Thompson
Kenneth Ball

STAFF PRESENT

Aquilla Hurd-Ravich Karen Perl Fox Jeff Fuchs Lynette Sanford

TPC MEMBER ABSENT:

GUESTS: Don Hanson, Grace Lucini, Sherman Leitjab, Tom Childs, Lois Fox, Jim Odams, George DeDoux, and Marrin Mast.

1. CALL TO ORDER AND ROLL CALL:

Alan Aplin, Chair, called the meeting to order at 6:30 pm and reviewed the agenda. Roll call was taken.

2. <u>APPROVAL OF MINUTES:</u>

Mr. Aplin asked for review and approval of the October 20, 2016 TPC minutes. MOTION by Thompson SECONDED by St.Clair to approve the minutes as written. MOTION PASSED 7-0.

3. COMMUNICATION FROM THE PUBLIC (NOT ON THE AGENDA):

None

4. <u>ACTION ITEMS:</u>

A. Elect a Chair and Vice Chair to Represent the Tualatin Planning Commission

Mr. Aplin asked the Commission members if they would like to become the Chairman and Vice Chairman of the Planning Commission. Bill Beers offered to be the Chairman and Kenneth Ball volunteered to be the Vice Chairman. MOTION PASSED 7-0.

These minutes are not verbatim. The meeting was recorded, and copies of the recording are retained for a period of one year from the date of the meeting and are available upon request.

5. <u>COMMUNICATION FROM CITY STAFF:</u>

A. Capital Improvement Plan 2018-2027

Jeff Fuchs, City Engineer, presented the Capital Improvement Plan (CIP) which included a PowerPoint presentation. Mr. Fuchs stated that he is filling in for Kelsey Lewis who was unable to attend the meeting. Mr. Fuchs noted that the CIP is a ten year project roadmap and is more of a planning tool than a schedule. This plan is reviewed and revised annually.

The project categories of the CIP are Facilities and Equipment, Parks and Recreation, Technology, Transportation and Utilities. Mr. Fuchs noted that Ms. Lewis programmed the Transportation System Plan (TSP) into the CIP to balance revenue against planned expenditures.

Mr. Fuchs stated that the priorities are Council goals, health and safety, regulatory requirements, master plans, and service delivery needs. Funding sources include system development charges, water, sewer and storm rates, gas taxes, general fund, and grants and donations. The summary total is \$6,029,000.

Mr. Fuchs went through the slides that detailed the project categories and the costs for each. The CIP schedule includes presenting to the various Committees in January and it goes to Council for approval in February.

Mr. Aplin asked if the new City Hall is part of this plan. Mr. Fuchs replied that it does not fall within a 10 year window so it was not included.

Mr. Stout asked how the five year portion compares to last year. Mr. Fuchs replied that the projects shift around depending on the delivery. The general fund is the category that changes the most. Mr. Fuchs added that the majority of the transportation projects are on a sliding schedule.

Ms. Thompson asked if the developer was supporting the project on 65th & Sagert or if it is derived from City funds. Mr. Fuchs replied that the Sagert project is a System Development Charge (SDC) reimbursement expense - they will pay for the impact of their development and we will reimburse them for the portion above and beyond their development. Mr. Fuchs added that the traffic signal in that area should be installed by early summer.

Ms. Demeo asked if the Sagert and Martinazzi intersection project will surface next year. Mr. Fuchs responded that they will take a midterm look at the traffic study and reexamine the high traffic areas.

B. Update on Basalt Creek Land Use Concept Plan Map

Karen Perl Fox, Senior Planner, and Aquilla Hurd-Ravich, Planning Manager, presented an update on the Basalt Creek Land Use Concept Map. This includes an overview of the work staff carried out on the exploration of the central subarea as directed by City Council at their October 10, 2016 work session. This update will also include Council's confirmation on the Concept Map at the November 28, 2016 work session.

Ms. Hurd-Ravich stated that Metro brought the Basalt Creek Planning area into the Urban Growth Boundary in 2004 as employment land and Metro was awarded the CET Grant to fund the concept planning. In 2011-2013 Tualatin worked with partners Washington County, Metro and Wilsonville, and ODOT to define the transportation spine. This resulted in a transportation refinement plan and two intergovernmental agreements (IGAs) at the beginning and towards the end of the project. In 2013, the concept planning kicked off with a joint meeting with Wilsonville.

In 2014 staff worked through the guiding principles list which included:

- Maintain and complement the cities unique identities
- Meet regional responsibility for jobs and housing
- Design cohesive and efficient transportation and utility systems
- Maximize assessed property value
- Capitalize on the area's unique assets and natural location
- Explore creative approaches to integrate jobs and housing
- Create a uniquely attractive business community unmatched in the metro region
- Ensure appropriate transitions between land uses
- Incorporate natural resource areas and provide recreational opportunities as community amenities and assets

Ms. Hurd-Ravich presented the maps which detailed the progression and the revisions from the feedback received. This proposed jurisdictional boundary was discussed at a joint council work session in December 2015 and both councils agreed on the proposed jurisdictional boundary following Basalt Creek Parkway. Ms. Hurd-Ravich added that this information was presented to Council on June 13, 2016. Council feedback posed the question of how this concept could support campus industrial and how the trip cap would be managed.

Ms. Perl Fox stated that feedback from the public, Council, and the intergovernmental partners led to minor refinements. These include 93 acres of Manufacturing Park, 3 acres of neighborhood commercial, and 88 acres of residential – which represents a balance between employment and residential land.

Ms. Perl Fox added that public input prompted questions on the Basalt Creek central subarea – the area immediately south of Victoria Gardens to the jurisdictional

boundary. This represents approximately 42 buildable acres. Council directed the land to match the same planning district as Victoria Gardens, which is RML (Medium low density). For the central subarea on the Tualatin side, Council directed exploration of the OTAK proposal to determine if the land is suitable for employment uses.

Ms. Perl Fox noted that staff met with OTAK to explore the property owner's proposal, consider opportunities for employment and constraints in the area, and consider infrastructure needed for different proposed uses. Ms. Perl Fox emphasized that we are in partnership with other agencies and they do not want to reduce employment land for more residential. We received a letter from Washington County in October emphasizing that the land is prime for industrial and employment uses.

Ms. Perl Fox continued presenting the slides that detailed the summary of acres and trips, and the most recent land use concept map. Ms. Hurd-Ravich added that based on all the information, staff's position is to recommend that Council accept the land use map as presented.

Ms. St. Clair asked about the area designated for high density and how many homes are expected. Ms. Perl Fox responded that it's approximately 2-3 acres of land, so it would be around 100 units. Ms. St. Clair asked if there will be enough housing for the people who will be working in the industrial/employment area. Ms. Hurd-Ravich responded that the group didn't plan on a housing unit for each employee. Ms. St. Clair stated that the people in the employment area will expect to live where they work. Mr. Aplin asked if we are limited on high density zoning areas. Ms. Hurd-Ravich responded that we are constrained by trip numbers.

Mr. Beers asked if the trip model took into account the different business sectors in the area. He was concerned about the high price of housing in the area and as a result, many employees may have to commute in from other areas. Ms. Hurd-Ravich added that the models accounted for bike and pedestrian transportation as well as public transportation, but doesn't narrow down trip times.

Don Hanson, OTAK, 808 SW 3rd, Portland, OR 97204

Mr. Hanson works for OTAK and was hired to assist the property owners in the ten acres in the southern portion of the study area, north of Basalt Parkway. He has been tracking this process and is concerned about this area being zoned employment land due to the vast amount of Basalt rock. Mr. Hanson distributed a map which detailed the topography concerns. This map has been added as an attachment to the minutes.

Mr. Hanson stated that they consulted an excavator and a broker to obtain their opinion on the area and both expressed concern about the conditions. Mr. Hanson noted that Washington County and the engineering firm Mackenzie viewed the

property. They submitted a map and evaluated the property strictly for employment uses; they did not take into account the residential transition area. Mr. Hanson stated that they were unaware that there is no access road and the access points are limited to Grahams Ferry Rd and Tonquin Rd. Mr. Hanson acknowledged that there should be additional residential land in this area which would be more adaptable to the difficult topography.

Grace Lucini, 23677 SW Boones Ferry Rd

Ms. Lucini is a resident of the unincorporated area of Washington County directly adjacent to the east of the study area. Ms. Lucini has questions and concerns regarding the report evaluation of the central subarea that she bought to the Planning Commission. The handout has been added to the minutes as an attachment.

Sherman Leitgeb, 23200 SW Grahams Ferry Rd

Mr. Leitgeb noted that he is concerned about the subarea because he lives there. Mr. Leitgeb stated that 329 acres is already zoned industrial which has not been built on. He's concerned that the land will not be developed. Mr. Leitgeb noted that experts from Pactrust and excavation companies have stated that they are not interested in the land due to the amount of rock and slope.

Tom Childs, 23470 SW Grahams Ferry Rd

Mr. Childs stated that the people living in the Basalt area need to be acknowledged and if the land is designated industrial, it will not be built upon. Mr. Childs mentioned that there is not enough housing to support retail or small businesses. If this land is developed into industrial property, he will not be able to sell his home for a profit and find another place to live. Mr. Childs believes that the decisions considered should benefit the current homeowners, not Metro, Wilsonville, or Washington County.

Lois Fox, 23550 SW Grahams Ferry Rd

Ms. Fox stated that she toured the property with City staff and acknowledged that there is rock throughout her property which makes it unsuitable to build on. Ms. Fox mentioned that she was taken aback when the City Council mentioned that they will revisit the zoning if it doesn't work out or is not saleable. She has not heard from anyone other than a government official who thinks this is a good use for this property. She added that she would like to invite Washington County staff to tour her property.

Mr. Hanson added that moving forward, it makes sense to have a peer review or workshop for everyone to get together to express ideas clearly and have comments.

Jim Odams, 24005 SW Boones Ferry Rd

Mr. Odams lives in unincorporated Washington County and is not a resident of Wilsonville or Tualatin. He stated that he has not been approached by anyone for permission to tour his property even though the proposed bridge and alignment go through his property. Mr. Odams commented that it is frustrating to be a property owner in the proposed development area without representation.

Ms. Hurd-Ravich added that the alignment is though Washington County and the City can point out to them that the property owners have not been approached. The cities have not been involved in the geotechnical study, but will bring it up with the other agencies.

Ms. Demeo stated that Metro brought the Basalt area in as employment land and asked if the intent was to zone the entire area for employment. Ms. Hurd-Ravich replied that the Council fought back and the City didn't want the land at all. There was a concession to allow some residential to provide transition between employment and residential. Ms. Demeo asked if there was a dictated amount of acreage or percentage for residential and employment in the whole area, including Wilsonville. Ms. Hurd-Ravich replied that it is 70-30 percentage split. Ms. Lucini added that there is a Metro ordinance (04-1040B) which recommends the dividing line at Basalt Creek Parkway should be zoned residential to the north. Mr. Leitgeb added that Tualatin is the only City which stated they need additional housing.

Mr. Ball asked if the land has been surveyed by geotechnical engineers. Ms. Hurd-Ravich said at a concept plan level, they don't go into that detail – this happens in future steps.

Mr. Beers inquired about the jobs goal for the Basalt area and if there is a target to reach. Ms. Hurd-Ravich responded that Metro completes the analysis of population employment growth and projects the numbers. The jobs numbers are reflective of the scenario modeling and employment types, and jobs per acre. Tualatin met the Metro target in terms of employment. Ms. Thompson asked if the targets have to be met for jobs per residence. Ms. Hurd-Ravich responded that Metro has design types, but they don't have an employee per acre type.

Mr. Leitgeb mentioned that he met with a Wilsonville council member and the council member stated that Wilsonville only cares about the trip counts and not receiving Tualatin's sewage. The projected jobs is based on all of the land being developed into employment, if it doesn't get developed because of unsuitable conditions of slope and rock, you will need to take the jobs out of the equation for that section of the property. Ms. Perl Fox stated that she heard from the City of Wilsonville that they are concerned with the clustering of employment as well as the trip counts.

Mr. Childs stated that if the land is designated commercial and doesn't get developed, there will be no SDC fees or taxes collected. If it's developed residential, there will be sewer, water, taxes, and revenue generated. There will also be less land annexed into the City.

Mr. Aplin asked what the next steps were. Ms. Hurd-Ravich responded that this will return to Council on February 13. There are new Council members so there may be different views regarding this process. The concept plan cannot be completed until the land use map is agreed upon.

Ms. Lucini asked the Planning Commission what their thoughts are regarding moving forward. Mr. Aplin responded that the Council will hear feedback from the Commission members, but it is up to them to decide. Ms. Hurd-Ravich added that the minutes will be available to the Council members regarding the comments received.

Mr. Hanson asked if the Planning Commission will make a recommendation to Council. Ms. Hurd-Ravich said that they will eventually do so. Once the draft is complete it will return to the Planning Commission. When it's adopted into the Comprehensive Plan, the recommendation will be made.

C. Framing for Priority Project: Update the Tualatin Development Code

Ms. Perl Fox presented the Framing for Priority Project: Update the Tualatin Development Code, which included a PowerPoint presentation. Ms. Perl Fox stated that at the 2014 Council Advance, the Council identified the Tualatin Development Code (TDC) update as a priority project. This is focused on the TDC - not the Municipal Code or other City requirements.

Ms. Perl Fox provided background information about the Tualatin Community Plan (Comprehensive Plan). This covers Chapters 1-30 of the TDC and provides land use goals and policies for the City. This was adopted in 1979; some chapters were updated in 2012.

Ms. Perl Fox stated that the Development Code (Land Use Regulations) covers Chapters 31-80 of the TDC. These chapters include planning districts (zoning), natural resource and floodplain requirements, community design standards, procedures and application requirements, subdivisions and partitions, and sign regulations.

Ms. Perl Fox noted that there are three phrases of approach These include:

- Phase 1: Code Clean up (Audit and Amendments)
- Phase 2: Outreach and Policy Review
- Phase 3: Writing a Work Program

Mr. Ball asked if the code is written and amended by a committee. Ms. Perl-Fox responded that consultants are involved as well as input from the Planning Commission.

Ms. Perl Fox noted that the amendment process can be a complicated process. The current code has many errors that need to be corrected, as well as it being confusing to read. This process may require several years to implement in total.

Ms. Perl Fox stated that the schedule includes:

- Quarter 1 Audit
- Quarters 2 and 3 Draft Code
- Quarter 4 Hearing
- Quarters 5 and 6 Outreach
- Quarter 7 Policy Review
- Quarter 8 Work program

Ms. Hurd-Ravich added that the Commissioners have an active role in this project and that their advice and comments will be taken to Council. We are almost ready to sign a contract with Angelo Planning Group. They will complete the bulk of the work, but the Planning staff will be working with them directly.

Ms. St. Clair asked if the consultant is an attorney firm. Ms. Hurd-Ravich responded that they are land use planners, but we will be working closely with our City Attorney. Ms. Demeo asked when Quarter 1 will kick off; Ms. Hurd-Ravich answered February 1, 2017.

Mr. Beers asked if the end product will be in printed form or on the web. Ms. Hurd-Ravich responded that it used to be in printed form, but is now exclusively web based. Ms. Demeo asked who our main customer is – business or residents. Ms. Hurd-Ravich responded that our customer is a good cross section of developers, businesses, and residents.

6. FUTURE ACTION ITEMS

Ms. Hurd-Ravich stated that future action items include review of the Annual Report, which will be presented to Council. There will also be a Basalt Creek update.

Mr. Ball asked if there is a plan for the development off SW Nyberg Street - the former RV Park of Portland site. Ms. Hurd-Ravich responded that the application for the Plan Map Amendment is incomplete. Once deemed complete, it will come to the Planning Commission.

7. ANNOUNCEMENTS/PLANNING COMMISSION COMMUNICATION

Mr. Beers asked what is going in next to Cabela's. Ms. Hurd-Ravich responded that Cracker Barrel Restaurant is currently under construction, as well as a retail shell which

will house a bank and a mattress store. Mr. Aplin asked if Cabela's is changing to Bass Pro Shops. Ms. Hurd-Ravich replied that she has not heard anything regarding that.

8. ADJOURNMENT

MOTION by Aplin to adjourn the meeting at 8:39 pm.

Lynette Sanford, Office Coordinator

Citizen Comments to Tualatin Planning Commission 1-19-2017 Agenda Item 5 B-Basalt Creek Concept Planning -Update

Grace Lucini

23677 SW Boones Ferry Road, Tualatin Oregon

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Respectfully,

Grace Lucini

From: G Lucini

To: Aquilla Hurd-Ravich; Karen Fox (City of Tualatin)

Cc: "Lou Ogden"; Joelle Davis; Frank Bubenik; pmorrison@tualatin.gov; jdehaan@tualatin.gov; rkellogq@tualatin.gov; ngrimes@tualatin.gov

Subject: Questions -Basalt Creek Parkway Ext- WA County 2019-2021 RFFA Project Evaluation Date: Monday, January 30, 2017 3:52:45 PM

Attachments: 2016 11-7 WCCC -BC Parkway Ext - Evaluation- Freight Access-Air-Economic.pdf

Aquilla, and Karen,

I saw in the Informational Packet for the **11-7-2016 WCCC Meeting** an Evaluation Matrix for Washington County 2019-2021 RFFA Projects-please see the attachment.

The second item on the matrix, under Regional Freight Initiatives, includes a listing for:

Basalt Creek Extension- Grahams Ferry Road to Boones Ferry Road (ROW)-

The project received a ranking of #3 by Washington County

While looking at the evaluating criteria within this document, I am at a quandary as to how this project ranked as high as it did using the stated criteria, and was also extremely interested in the stated evaluation statements specific to the Basalt Creek Extension-Grahams Ferry Road to Boones Ferry Road Project.

A few of the evaluating factors provided in the document are listed below – with associated comments listed for the Basalt Creek Extension-Grahams Ferry Road to Boones Ferry Road Project:

Freight Delay:

- I gave this score based on the criteria, but would score higher as this provides a new route with safer turn movements.
- Doesn't address delay specifically (focus on reliability)
- Future delay anticipated

Freight Access:

- Not much data given
- · Difficult to full assess project impact

EJ Economic Opportunity

- The answer seems speculative
- I also know that lower-income, EJ communities have a hard time accessing Tualatin jog centers. If they had provided specific benefit numbers/strategies to bring people to this area for jobs, my score would be higher.
- · Not much data given
- · Difficult to full access project impact

Air Toxics

• Project reduces freight VMT; but adds new connection introducing pollutants into project area

Multiple Freight Modes

• Project does not directly improve freight mode connectivity.

This report does not appear to substantiate the effectiveness or utility of the Basalt Creek Parkway Extension project in meeting the stated purpose of the entire project – which was to facilitate the flow of regional freight traffic. The report specifically states, "Project does not directly improve freight mode connectivity."

The document did not substantiate or provide conclusive information of improvement of Economic Opportunities resulting from the Basalt Creek Parkway Extension.

However, the document does identify the Basalt Creek Parkway Extension may introduce pollutants into the project area- although the type and amount are not quantified. Residential properties directly abut the Parkway Extension, and a school yard and day care facility and an anticipated residential development will be in very close proximity along Greenhill Lane.

- Did the City of Tualatin receive this report?
- Is the City of Tualatin satisfied with the information contained in the document- and the ramifications/impact the Basalt Creek Parkway Extension may have upon the local residents?
- Is the City of Tualatin satisfied with the level of Freight Delay anticipated with the Basalt Creek Parkway Extension- in relationship to the stated purpose to improve the flow of regional freight traffic?
- When new information becomes available (which may possibly negate previous assumptions)- is there a process in place for reassessing the proposed location of the Basalt Creek Parkway Extension?

For reference, the following link accesses the entire 11-7-2016 WCCC informational packet.

http://www.co.washington.or.us/LUT/Divisions/LongRangePlanning/PlanningPrograms/TransportationPlanning/upload/WCCC_Packet_110716.pdf I look forward to hearing your response.

Regards,

Grace

From: <u>Lynette Sanford</u>
To: <u>G Lucini</u>

Subject: RE: Copy of My Citizen Comments to Tualatin Planning Commission Meeting 1-19-2017

Date: Friday, January 20, 2017 8:15:52 AM

Thank you – I'll include it with my minutes.

Lynette Sanford

Office Coordinator
City of Tualatin | Planning Division
503.691.3026 | www.tualatinoregon.gov

From: G Lucini [mailto:grluci@gmail.com] Sent: Thursday, January 19, 2017 9:26 PM

To: Lynette Sanford

Subject: Copy of My Citizen Comments to Tualatin Planning Commission Meeting 1-19-2017

Hi Lynette,

Attached is a copy of the Citizen Comments I read to the Tualatin Planning Commission this evening.

Thanks,

Grace



City of Tualatin

www.tualatinoregon.gov

UNOFFICIAL

TUALATIN PLANNING COMMISSION

MINUTES OF January 19, 2017

TPC MEMBERS PRESENT:

Alan Aplin
Bill Beers
Angela Demeo
Travis Stout
Mona St. Clair
Janelle Thompson
Kenneth Ball

STAFF PRESENT

Aquilla Hurd-Ravich Karen Perl Fox Jeff Fuchs Lynette Sanford

TPC MEMBER ABSENT:

GUESTS: Don Hanson, Grace Lucini, Sherman Leitjab, Tom Childs, Lois Fox, Jim Odams, George DeDoux, and Marrin Mast.

1. CALL TO ORDER AND ROLL CALL:

Alan Aplin, Chair, called the meeting to order at 6:30 pm and reviewed the agenda. Roll call was taken.

2. <u>APPROVAL OF MINUTES:</u>

Mr. Aplin asked for review and approval of the October 20, 2016 TPC minutes. MOTION by Thompson SECONDED by St.Clair to approve the minutes as written. MOTION PASSED 7-0.

3. COMMUNICATION FROM THE PUBLIC (NOT ON THE AGENDA):

None

4. <u>ACTION ITEMS:</u>

A. Elect a Chair and Vice Chair to Represent the Tualatin Planning Commission

Mr. Aplin asked the Commission members if they would like to become the Chairman and Vice Chairman of the Planning Commission. Bill Beers offered to be the Chairman and Kenneth Ball volunteered to be the Vice Chairman. MOTION PASSED 7-0.

These minutes are not verbatim. The meeting was recorded, and copies of the recording are retained for a period of one year from the date of the meeting and are available upon request.

5. <u>COMMUNICATION FROM CITY STAFF:</u>

A. Capital Improvement Plan 2018-2027

Jeff Fuchs, City Engineer, presented the Capital Improvement Plan (CIP) which included a PowerPoint presentation. Mr. Fuchs stated that he is filling in for Kelsey Lewis who was unable to attend the meeting. Mr. Fuchs noted that the CIP is a ten year project roadmap and is more of a planning tool than a schedule. This plan is reviewed and revised annually.

The project categories of the CIP are Facilities and Equipment, Parks and Recreation, Technology, Transportation and Utilities. Mr. Fuchs noted that Ms. Lewis programmed the Transportation System Plan (TSP) into the CIP to balance revenue against planned expenditures.

Mr. Fuchs stated that the priorities are Council goals, health and safety, regulatory requirements, master plans, and service delivery needs. Funding sources include system development charges, water, sewer and storm rates, gas taxes, general fund, and grants and donations. The summary total is \$6,029,000.

Mr. Fuchs went through the slides that detailed the project categories and the costs for each. The CIP schedule includes presenting to the various Committees in January and it goes to Council for approval in February.

Mr. Aplin asked if the new City Hall is part of this plan. Mr. Fuchs replied that it does not fall within a 10 year window so it was not included.

Mr. Stout asked how the five year portion compares to last year. Mr. Fuchs replied that the projects shift around depending on the delivery. The general fund is the category that changes the most. Mr. Fuchs added that the majority of the transportation projects are on a sliding schedule.

Ms. Thompson asked if the developer was supporting the project on 65th & Sagert or if it is derived from City funds. Mr. Fuchs replied that the Sagert project is a System Development Charge (SDC) reimbursement expense - they will pay for the impact of their development and we will reimburse them for the portion above and beyond their development. Mr. Fuchs added that the traffic signal in that area should be installed by early summer.

Ms. Demeo asked if the Sagert and Martinazzi intersection project will surface next year. Mr. Fuchs responded that they will take a midterm look at the traffic study and reexamine the high traffic areas.

B. Update on Basalt Creek Land Use Concept Plan Map

Karen Perl Fox, Senior Planner, and Aquilla Hurd-Ravich, Planning Manager, presented an update on the Basalt Creek Land Use Concept Map. This includes an overview of the work staff carried out on the exploration of the central subarea as directed by City Council at their October 10, 2016 work session. This update will also include Council's confirmation on the Concept Map at the November 28, 2016 work session.

Ms. Hurd-Ravich stated that Metro brought the Basalt Creek Planning area into the Urban Growth Boundary in 2004 as employment land and Metro was awarded the CET Grant to fund the concept planning. In 2011-2013 Tualatin worked with partners Washington County, Metro and Wilsonville, and ODOT to define the transportation spine. This resulted in a transportation refinement plan and two intergovernmental agreements (IGAs) at the beginning and towards the end of the project. In 2013, the concept planning kicked off with a joint meeting with Wilsonville.

In 2014 staff worked through the guiding principles list which included:

- Maintain and complement the cities unique identities
- Meet regional responsibility for jobs and housing
- Design cohesive and efficient transportation and utility systems
- Maximize assessed property value
- Capitalize on the area's unique assets and natural location
- Explore creative approaches to integrate jobs and housing
- Create a uniquely attractive business community unmatched in the metro region
- Ensure appropriate transitions between land uses
- Incorporate natural resource areas and provide recreational opportunities as community amenities and assets

Ms. Hurd-Ravich presented the maps which detailed the progression and the revisions from the feedback received. This proposed jurisdictional boundary was discussed at a joint council work session in December 2015 and both councils agreed on the proposed jurisdictional boundary following Basalt Creek Parkway. Ms. Hurd-Ravich added that this information was presented to Council on June 13, 2016. Council feedback posed the question of how this concept could support campus industrial and how the trip cap would be managed.

Ms. Perl Fox stated that feedback from the public, Council, and the intergovernmental partners led to minor refinements. These include 93 acres of Manufacturing Park, 3 acres of neighborhood commercial, and 88 acres of residential – which represents a balance between employment and residential land.

Ms. Perl Fox added that public input prompted questions on the Basalt Creek central subarea – the area immediately south of Victoria Gardens to the jurisdictional

boundary. This represents approximately 42 buildable acres. Council directed the land to match the same planning district as Victoria Gardens, which is RML (Medium low density). For the central subarea on the Tualatin side, Council directed exploration of the OTAK proposal to determine if the land is suitable for employment uses.

Ms. Perl Fox noted that staff met with OTAK to explore the property owner's proposal, consider opportunities for employment and constraints in the area, and consider infrastructure needed for different proposed uses. Ms. Perl Fox emphasized that we are in partnership with other agencies and they do not want to reduce employment land for more residential. We received a letter from Washington County in October emphasizing that the land is prime for industrial and employment uses.

Ms. Perl Fox continued presenting the slides that detailed the summary of acres and trips, and the most recent land use concept map. Ms. Hurd-Ravich added that based on all the information, staff's position is to recommend that Council accept the land use map as presented.

Ms. St. Clair asked about the area designated for high density and how many homes are expected. Ms. Perl Fox responded that it's approximately 2-3 acres of land, so it would be around 100 units. Ms. St. Clair asked if there will be enough housing for the people who will be working in the industrial/employment area. Ms. Hurd-Ravich responded that the group didn't plan on a housing unit for each employee. Ms. St. Clair stated that the people in the employment area will expect to live where they work. Mr. Aplin asked if we are limited on high density zoning areas. Ms. Hurd-Ravich responded that we are constrained by trip numbers.

Mr. Beers asked if the trip model took into account the different business sectors in the area. He was concerned about the high price of housing in the area and as a result, many employees may have to commute in from other areas. Ms. Hurd-Ravich added that the models accounted for bike and pedestrian transportation as well as public transportation, but doesn't narrow down trip times.

Don Hanson, OTAK, 808 SW 3rd, Portland, OR 97204

Mr. Hanson works for OTAK and was hired to assist the property owners in the ten acres in the southern portion of the study area, north of Basalt Parkway. He has been tracking this process and is concerned about this area being zoned employment land due to the vast amount of Basalt rock. Mr. Hanson distributed a map which detailed the topography concerns. This map has been added as an attachment to the minutes.

Mr. Hanson stated that they consulted an excavator and a broker to obtain their opinion on the area and both expressed concern about the conditions. Mr. Hanson noted that Washington County and the engineering firm Mackenzie viewed the

property. They submitted a map and evaluated the property strictly for employment uses; they did not take into account the residential transition area. Mr. Hanson stated that they were unaware that there is no access road and the access points are limited to Grahams Ferry Rd and Tonquin Rd. Mr. Hanson acknowledged that there should be additional residential land in this area which would be more adaptable to the difficult topography.

Grace Lucini, 23677 SW Boones Ferry Rd

Ms. Lucini is a resident of the unincorporated area of Washington County directly adjacent to the east of the study area. Ms. Lucini has questions and concerns regarding the report evaluation of the central subarea that she bought to the Planning Commission. The handout has been added to the minutes as an attachment.

Sherman Leitgeb, 23200 SW Grahams Ferry Rd

Mr. Leitgeb noted that he is concerned about the subarea because he lives there. Mr. Leitgeb stated that 329 acres is already zoned industrial which has not been built on. He's concerned that the land will not be developed. Mr. Leitgeb noted that experts from Pactrust and excavation companies have stated that they are not interested in the land due to the amount of rock and slope.

Tom Childs, 23470 SW Grahams Ferry Rd

Mr. Childs stated that the people living in the Basalt area need to be acknowledged and if the land is designated industrial, it will not be built upon. Mr. Childs mentioned that there is not enough housing to support retail or small businesses. If this land is developed into industrial property, he will not be able to sell his home for a profit and find another place to live. Mr. Childs believes that the decisions considered should benefit the current homeowners, not Metro, Wilsonville, or Washington County.

Lois Fox, 23550 SW Grahams Ferry Rd

Ms. Fox stated that she toured the property with City staff and acknowledged that there is rock throughout her property which makes it unsuitable to build on. Ms. Fox mentioned that she was taken aback when the City Council mentioned that they will revisit the zoning if it doesn't work out or is not saleable. She has not heard from anyone other than a government official who thinks this is a good use for this property. She added that she would like to invite Washington County staff to tour her property.

Mr. Hanson added that moving forward, it makes sense to have a peer review or workshop for everyone to get together to express ideas clearly and have comments.

Jim Odams, 24005 SW Boones Ferry Rd

Mr. Odams lives in unincorporated Washington County and is not a resident of Wilsonville or Tualatin. He stated that he has not been approached by anyone for permission to tour his property even though the proposed bridge and alignment go through his property. Mr. Odams commented that it is frustrating to be a property owner in the proposed development area without representation.

Ms. Hurd-Ravich added that the alignment is though Washington County and the City can point out to them that the property owners have not been approached. The cities have not been involved in the geotechnical study, but will bring it up with the other agencies.

Ms. Demeo stated that Metro brought the Basalt area in as employment land and asked if the intent was to zone the entire area for employment. Ms. Hurd-Ravich replied that the Council fought back and the City didn't want the land at all. There was a concession to allow some residential to provide transition between employment and residential. Ms. Demeo asked if there was a dictated amount of acreage or percentage for residential and employment in the whole area, including Wilsonville. Ms. Hurd-Ravich replied that it is 70-30 percentage split. Ms. Lucini added that there is a Metro ordinance (04-1040B) which recommends the dividing line at Basalt Creek Parkway should be zoned residential to the north. Mr. Leitgeb added that Tualatin is the only City which stated they need additional housing.

Mr. Ball asked if the land has been surveyed by geotechnical engineers. Ms. Hurd-Ravich said at a concept plan level, they don't go into that detail – this happens in future steps.

Mr. Beers inquired about the jobs goal for the Basalt area and if there is a target to reach. Ms. Hurd-Ravich responded that Metro completes the analysis of population employment growth and projects the numbers. The jobs numbers are reflective of the scenario modeling and employment types, and jobs per acre. Tualatin met the Metro target in terms of employment. Ms. Thompson asked if the targets have to be met for jobs per residence. Ms. Hurd-Ravich responded that Metro has design types, but they don't have an employee per acre type.

Mr. Leitgeb mentioned that he met with a Wilsonville council member and the council member stated that Wilsonville only cares about the trip counts and not receiving Tualatin's sewage. The projected jobs is based on all of the land being developed into employment, if it doesn't get developed because of unsuitable conditions of slope and rock, you will need to take the jobs out of the equation for that section of the property. Ms. Perl Fox stated that she heard from the City of Wilsonville that they are concerned with the clustering of employment as well as the trip counts.

Mr. Childs stated that if the land is designated commercial and doesn't get developed, there will be no SDC fees or taxes collected. If it's developed residential, there will be sewer, water, taxes, and revenue generated. There will also be less land annexed into the City.

Mr. Aplin asked what the next steps were. Ms. Hurd-Ravich responded that this will return to Council on February 13. There are new Council members so there may be different views regarding this process. The concept plan cannot be completed until the land use map is agreed upon.

Ms. Lucini asked the Planning Commission what their thoughts are regarding moving forward. Mr. Aplin responded that the Council will hear feedback from the Commission members, but it is up to them to decide. Ms. Hurd-Ravich added that the minutes will be available to the Council members regarding the comments received.

Mr. Hanson asked if the Planning Commission will make a recommendation to Council. Ms. Hurd-Ravich said that they will eventually do so. Once the draft is complete it will return to the Planning Commission. When it's adopted into the Comprehensive Plan, the recommendation will be made.

C. Framing for Priority Project: Update the Tualatin Development Code

Ms. Perl Fox presented the Framing for Priority Project: Update the Tualatin Development Code, which included a PowerPoint presentation. Ms. Perl Fox stated that at the 2014 Council Advance, the Council identified the Tualatin Development Code (TDC) update as a priority project. This is focused on the TDC - not the Municipal Code or other City requirements.

Ms. Perl Fox provided background information about the Tualatin Community Plan (Comprehensive Plan). This covers Chapters 1-30 of the TDC and provides land use goals and policies for the City. This was adopted in 1979; some chapters were updated in 2012.

Ms. Perl Fox stated that the Development Code (Land Use Regulations) covers Chapters 31-80 of the TDC. These chapters include planning districts (zoning), natural resource and floodplain requirements, community design standards, procedures and application requirements, subdivisions and partitions, and sign regulations.

Ms. Perl Fox noted that there are three phrases of approach These include:

- Phase 1: Code Clean up (Audit and Amendments)
- Phase 2: Outreach and Policy Review
- Phase 3: Writing a Work Program

Mr. Ball asked if the code is written and amended by a committee. Ms. Perl-Fox responded that consultants are involved as well as input from the Planning Commission.

Ms. Perl Fox noted that the amendment process can be a complicated process. The current code has many errors that need to be corrected, as well as it being confusing to read. This process may require several years to implement in total.

Ms. Perl Fox stated that the schedule includes:

- Quarter 1 Audit
- Quarters 2 and 3 Draft Code
- Quarter 4 Hearing
- Quarters 5 and 6 Outreach
- Quarter 7 Policy Review
- Quarter 8 Work program

Ms. Hurd-Ravich added that the Commissioners have an active role in this project and that their advice and comments will be taken to Council. We are almost ready to sign a contract with Angelo Planning Group. They will complete the bulk of the work, but the Planning staff will be working with them directly.

Ms. St. Clair asked if the consultant is an attorney firm. Ms. Hurd-Ravich responded that they are land use planners, but we will be working closely with our City Attorney. Ms. Demeo asked when Quarter 1 will kick off; Ms. Hurd-Ravich answered February 1, 2017.

Mr. Beers asked if the end product will be in printed form or on the web. Ms. Hurd-Ravich responded that it used to be in printed form, but is now exclusively web based. Ms. Demeo asked who our main customer is – business or residents. Ms. Hurd-Ravich responded that our customer is a good cross section of developers, businesses, and residents.

6. FUTURE ACTION ITEMS

Ms. Hurd-Ravich stated that future action items include review of the Annual Report, which will be presented to Council. There will also be a Basalt Creek update.

Mr. Ball asked if there is a plan for the development off SW Nyberg Street - the former RV Park of Portland site. Ms. Hurd-Ravich responded that the application for the Plan Map Amendment is incomplete. Once deemed complete, it will come to the Planning Commission.

7. ANNOUNCEMENTS/PLANNING COMMISSION COMMUNICATION

Mr. Beers asked what is going in next to Cabela's. Ms. Hurd-Ravich responded that Cracker Barrel Restaurant is currently under construction, as well as a retail shell which

will house a bank and a mattress store. Mr. Aplin asked if Cabela's is changing to Bass Pro Shops. Ms. Hurd-Ravich replied that she has not heard anything regarding that.

8. ADJOURNMENT

MOTION by Aplin to adjourn the meeting	ng at 8:39 pm.
	Lynette Sanford, Office Coordinator

Citizen Comments to Tualatin Planning Commission 1-19-2017 Agenda Item 5 B-Basalt Creek Concept Planning -Update

Grace Lucini

23677 SW Boones Ferry Road, Tualatin Oregon

My home is within the Basalt Creek Concept Planning area. I do not have elected representation within the Basalt Creek Concept Planning process, as I am not a resident of either the cities of Tualatin or Wilsonville- which are the governmental entities determining the process.

I appreciate that additional reviews of the Central Sub-Area continues- but evaluations for use need to be done within the context of the plan --for the successful health of the entire concept plan area.

I understand members of the City staff did an on-site visit to the area- which is necessary to understand the topography and uniqueness of the area. Let me express my appreciation of this action.

I also appreciate the actions the staff, stated they will take action to remove unnecessary or out dated markings on Concept Planning Maps which are disseminated to the public.

In this case the removal of some markings which overlay and potentially indicate actions to private properties west of SW Boones Ferry Road and north of the proposed Parkway. A map with these markings was included within the informational packet provided to this Commission, and was available for public review.

1-11-17 Mackenzie Report Evaluation of Central Sub Area- Analysis for Industrial Use- commissioned by Washington County

However, I question the usefulness of an evaluation commissioned by Washington County which resulted in the 1-11-17 Report by Mackenzie.

- 1. The Mackenzie Report did very little to address the actual question this Commission is discussing-which is: **what** *is the most appropriate* land use for the land in question.
- 2. The Mackenzie Report specifically states the topic of the report is ---for "planning and design for development of industrial and employment lands in the Portland region".

These are two very distinctly different questions and issues- and any information gained from the Mackenzie Report should be utilized only within the context of the question it addresses... that question is simply if any of the land COULD be used for employment ---The answer to that question is yes, but very little land is appropriate for industrial use.

- A. The report did not address what should happen to the balance of the land not appropriate for industrial use.
 - Will this land become waste land?
 - An eye sore- who will be responsible for maintaining so many acers of land which is zoned for industrial use, but cannot be developed?

In addition, there are several factual problems which are presented within the Mackenzie Report as it is written...

- B. A major issue is the location of the limited access Parkway--- which is a major focal point of the entire Basalt Creek Concept Planning Process.
- C. The potential concept planning maps created and provided by Mackenzie indicate road access north from the Parkway which is again contrary to previous primary planning concepts.
- D. There is no indication of any effort to co-exist with existing neighborhoods or adjacent properties the Mackenzie Report:
 - does not indicate or state any attempt to have compatible of zoning with adjacent residential properties
 - does not indicate or state any attempt to provide buffering of existing neighborhoods- which was another primary guiding principle of the planning process
 - There is no indication of roads to the developable acreage east of the site being examined. As utilities are preferably laid along roads the proposed use maps within the Mackenzie Report effectively blocks any development west of the wetlands and east of the area due to the lack of any road to the area east of the study area.
 - There is little comment within the Mackenzie Report on the cost involved in resolving the topography and solid basalt rock benches which are found within this area--- to make it compatible for grading for industrial use. Cost is a significant factor when planning any development. If the cost is too high, the land will be the last to be developed -if ever
- E. Consequently, the information gained from this report should only be used within the context of the question it addresses.
- F. The ability to use this report for determining the **best** use of the land is extremely limited.

EXISTING PROPERTY OWNERS WITHIN BASALT CREEK AREA

- 1. Existing property owners directly affected by the planning process should be heard as to their goals, and should be respected for the knowledge they provide about the limitations of the land they own.
- 2. Existing neighbors within the Tualatin City limits, and those existing outside the current limits should be heard and their comments incorporated into the concept plans as a basic livability issue.

I request that the Planning Commission acknowledges the extensive limitations of the Mackenzie Report when considering what is the best land use for this area- within the context of the entire Tualatin area and forward these concerns to the Tualatin City Council.

Respectfully,

Grace Lucini